

PB# 02-03

Galella Office Bldg.

17-4-16

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY
DATE: 08-28-02

ORDINANCE NO. _____
Noted by _____ Clerk

AB meeting
3-10-04

(16) 

RE: RECEIVE AND FILE AN IRREVOCABLE LETTER OF CREDIT IN THE AMOUNT OF \$13,300.00 ON BEHALF OF N & A DEVELOPMENT CORPORATION ISSUED BY FIRST FEDERAL SAVINGS OF MIDDLETOWN.

Hearing no objection, the Town Board of the Town of New Windsor receive and file an Irrevocable Letter of Credit received from First Federal Savings of Middletown, dated March 8, 2004 in the amount of \$13, 300.00 covering "1321 Route 9W" project issued on behalf of N & A Development Corporation.

Town Board Agenda: 3/09/2004



**First Federal Savings
of Middletown**

22 JAMES STREET, P.O. BOX 2023, MIDDLETOWN, NEW YORK 10940

TEL.: (845) 343-1401

FAX: (845) 343-1618
344-1174

Irrevocable Standby Letter of Credit # 2004-0308

Beneficiary: Town of New Windsor

Amount: \$13,300.00

Expiration Date: December 1, 2005

Date: March 8, 2004

Beneficiary: Town of New Windsor
555 Union Avenue
New Windsor, New York 12553

Applicant: N & A Development Corporation
For the benefit of "3121 Route 9W"
243 Frozen Ridge Road
Newburgh, New York 12550

Dear Gentlemen:

We hereby issue our irrevocable standby letter of credit number 2004-0308 in your favor for the amount of thirteen thousand three hundred U.S. dollars (\$13,300.00 U.S.) available by your drafts at sight on us accompanied by:

Your notarized statement signed by the Supervisor, Deputy Town Supervisor, or Town Clerk stating that N & A Development Corporation is in default in the performance of the installation of final paving, striping, and /or landscaping as approved by the Planning Board of the Town of New Windsor. Notice and demand have been made of N & A Development Corporation and such work has not been performed notwithstanding the passage of ten (10) days of such notice and demand.

Upon receipt by you of such notice, you may draw the full amount of the Letter of Credit hereunder, against your draft accompanied by the documentation mentioned herein. Drafts must be negotiated not later than the expiration date shown above, or extension thereof, and must state "Drawn Under First Federal Savings of Middletown Standby Letter of Credit Number 2004-0308. Please direct all correspondence in connection with this letter of credit to: Todd J. Rubino, Vice President, First Federal Savings of Middletown, 22 James Street, Middletown, New York 10940.

This credit is subject to the Uniform Customs and Practice for Documentary Credits (1994 Revision), the International Chamber of Commerce Publication No. 500 (the "UCP"). As to matters not governed by the UCP, this Credit is subject to the laws of New York State as in effect from time to time.

We hereby agree with you that drafts drawn under and in compliance with the terms and conditions of this Letter of Credit shall be duly honored upon due presentation at our office.

First Federal Savings of Middletown



Todd J. Rubino, Vice President

3/8/09
Date

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/29/2002

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 2-3

NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
08/28/2002	PLANS STAMPED	APPROVED
03/27/2002	P.B. APPEARANCE - PUB HEAR . ADD 18" CMP FROM 2-3 AND 3 - END - NEET DOT APPROVAL - NEED . COST ESTIMATE - APPROVED CONDITIONALLY	ND:CL PH APPROVED
02/13/2002	P.B. APPEARANCE	LA: SCHED PH
01/16/2002	WORK SESSION APPEARANCE	REVISE & SUBM
09/15/2001	WORK SESSION APPEARANCE	RET TO WS

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/29/2002

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 2-3

NAME: GALELLA OFFICE BUILDING -PA2001-899

APPLICANT: NIMA CONTACTING

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	01/25/2002	EAF SUBMITTED	/ /	WITH APPLICATION
ORIG	01/25/2002	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	01/25/2002	LEAD AGENCY DECLARED	02/13/2002	TOOK LA
ORIG	01/25/2002	DECLARATION (POS/NEG)	03/27/2002	DECL NEG DEC
ORIG	01/25/2002	SCHEDULE PUBLIC HEARING	02/13/2002	SCHED PH
ORIG	01/25/2002	PUBLIC HEARING HELD	03/27/2002	HELD & CLOSED
ORIG	01/25/2002	WAIVE PUBLIC HEARING	/ /	
ORIG	01/25/2002	AGRICULTURAL NOTICES	/ /	
ORIG	01/25/2002	BUILDING DEPT REFER NUMBER	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

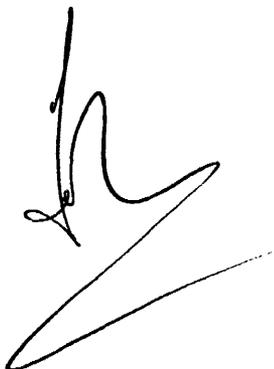
AS OF: 08/27/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/22/2002	2% OF COST EST. 65,200.00	CHG	1304.00		
08/26/2002	REC. CK. #3045	PAID		1304.00	
		TOTAL:	1304.00	1304.00	0.00



**Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611**

**RECEIPT
#764-2002**

08/27/2002

Nima Contracting Inc. #09-13

**Received \$ 100.00 for Planning Board Fees on 08/27/2002. Thank you for
stopping by the Town Clerk's office.**

As always, it is our pleasure to serve you.

**Deborah Green
Town Clerk**

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/27/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/22/2002	P.B. APPROVAL	CHG	100.00		
08/26/2002	REC. CK. #3044	PAID		100.00	
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/27/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 2-3

NAME: GALELLA OFFICE BUILDING -PA2001-899

APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/13/0202	P.B. ATTY. FEE	CHG	35.00		
01/25/2002	REC. CK. #2584	PAID		750.00	
02/13/2002	P.B. MINUTES	CHG	13.50		
03/27/2002	P.B. ATTY. FEE	CHG	35.00		
03/27/2002	P.B. MINUTES	CHG	18.00		
08/22/2002	P.B. ENGINEER FEE	CHG	402.50		
08/26/2002	RET. TO APPLICANT	CHG	246.00		
		TOTAL:	750.00	750.00	0.00

8-27-02
L.R.



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

August 22, 2002

Anthony J. Coppola, Architect
375 Third Street
Newburgh, NY 12550

SUBJECT: SITE PLAN FOR NIMA CONTRACTING, INC. (NICK GALELLA)
YOUR PROJECT #01-69
PLANNING BOARD FILE #02-03

Dear Anthony:

Please find attached printouts of fees due for subject project. There is a balance remaining of \$246.00 in the escrow account that will be returned to the applicant.

Please contact your client, the applicant, and ask that payment be submitted in separate checks as outlined below and made payable to the Town of New Windsor:

Check #1:

Approval Fee..... \$ 100.00

Check #2:

Inspection fee (2% of cost estimate \$65,200.00)..... \$ 1,304.00

Upon receipt of these checks and ten (10) sets of final plans, I will have them stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason
Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

cc: Nicholas Galella - Applicant

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/22/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/22/2002	2% OF COST EST. 65,200.00	CHG	1304.00		
		TOTAL:	1304.00	0.00	1304.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/22/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
08/22/2002	P.B. APPROVAL	CHG	100.00		
		TOTAL:	100.00	0.00	100.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/22/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/13/0202	P.B. ATTY. FEE	CHG	35.00		
01/25/2002	REC. CK. #2584	PAID		750.00	
02/13/2002	P.B. MINUTES	CHG	13.50		
03/27/2002	P.B. ATTY. FEE	CHG	35.00		
03/27/2002	P.B. MINUTES	CHG	18.00		
08/22/2002	P.B. ENGINEER FEE	CHG	402.50		
		TOTAL:	504.00	750.00	-246.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/27/2002

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 2-3

NAME: GALELLA OFFICE BUILDING -PA2001-899

APPLICANT: NIMA CONTACTING

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	01/28/2002	MUNICIPAL HIGHWAY	01/30/2002	APPROVED
ORIG	01/28/2002	MUNICIPAL WATER	01/29/2002	APPROVED
ORIG	01/28/2002	MUNICIPAL SEWER	/ /	
ORIG	01/28/2002	MUNICIPAL FIRE	01/29/2002	APPROVED
ORIG	01/28/2002	NYS DOT	/ /	

Galella Site Work Construction Budget				
Item	Quantity		Unit Price	Total
Site Work:				
◆ Site lighting -	2	PC	1000 \$4,000	\$ 8,000.00
◆ Rough grading/Demolition <i>Old gully</i>	3		300	\$ 900.00
◆ Final grading				\$ 2,000.00
◆ Pavement	15,000	SF	\$ 1.50	\$ 22,500.00
◆ Curbing	700	LF	\$ 11.00	\$ 7,700.00
◆ Sidewalks	800	SF	\$ 3.50	\$ 2,800.00
◆ Storm drainage- drywells	3	DW	\$ 3,500.00	\$ 10,500.00
catch basins	2	CB	\$ 1,000.00	\$ 2,000.00
pipe	500	LF	\$ 25.00	\$ 12,500.00
◆ Site utilities-water	100	LF		\$ 6,000.00
sewer	100	LF		\$ 4,000.00
◆ Signage				\$ 1,000.00
◆ Landscaping	28	pc	\$ 200.00	\$ 5,600.00
◆ Prefab Trash Shed			\$ 500.	\$ 500.00
Total:				\$ 89,900.00

2000
900

2800
500

65,200:00

@ 2% \$1304

Corrected
estimate
AMJ 8/21/02

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 2- 3

FOR WORK DONE PRIOR TO: 08/21/2002

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	-----DOLLARS-----		
									EXP.	BILLED	BALANCE
2-3	191502	01/02/02	TIME	MJE	WS GALELLA SITE PLAN	88.00	0.40	35.20			
2-3	191101	01/16/02	TIME	MJE	WS GALELLA	88.00	0.40	35.20			
2-3	196015	02/13/02	TIME	MJE	MC GALELLA	88.00	0.50	44.00			
2-3	201738	03/21/02	TIME	MJE	MC GALELLA/NEMA	88.00	0.50	44.00			
2-3	201741	03/21/02	TIME	MJE	MC DOT LTR	88.00	0.40	35.20			
2-3	201971	03/27/02	TIME	EAD	MM Galella Cond APPL	65.00	0.10	6.50			
								200.10			
2-3	198908	03/21/02			BILL 02-454 3/21/02						-114.40
2-3	205727	05/15/02			BILL 02-594						-85.70
											-200.10
2-3	209048	06/03/02	TIME	MJE	MC COST RVW/MEMO GALL	88.00	0.50	44.00			
2-3	209055	06/03/02	TIME	MJE	MC GALELLA W/MM	88.00	0.20	17.60			
								61.60			
2-3	210073	06/19/02			BILL 02-706						-61.60
											-61.60
2-3	216566	08/07/02	TIME	MJE	WS GALELLA	88.00	0.40	35.20			
2-3	216665	08/12/02	TIME	MJE	MC GALELLA COST EST NG	88.00	0.40	35.20			
					TASK TOTAL			332.10	0.00		-261.70
					GRAND TOTAL			332.10	0.00		-261.70

cost estimate
& closeout
.8

70.40

402.50

GALELLA SITE PLAN (02-03)

Mr. Anthony Coppola appeared before the board for this proposal.

MR. PETRO: Proposes development of 4950 foot square foot office building on a 6.8 acre parcel on the west side of Route 9W. This plan was previously reviewed at the 13 February, 2002 planning board meeting and is before the board for a public hearing tonight. This project is located in an NC zone, permitted use by right, plan was forwarded to New York State DOT for review and comment, no response has been received to date.

MR. LANDER: Give us a location first.

MR. COPPOLA: This is on Route 9W on the southbound lane, just short of Broad Street, it would be just south of the old Stewart's Furniture building, which is now a doctor's office. So the general area to the rear to the west side is residential, to the south, there's also residential, to the north is commercial but it's zoned NC and the property next door is zoned NC. Basically, it's a pretty straightforward proposal, essentially 4950 square feet retail office building, it will be a single story building going to have one access on the southbound lane of Route 9W that will be on the south of the property. We meet all the zoning requirements for setbacks, for parking, we have total of 33 spaces and all the rest of the zoning requirements for bulk and height, height requirements and everything else we meet all those requirements. The biggest challenge in this site because it's kind of on the small side is the drainage, storm drainage we're able to work this out, fortunately, so that a hundred percent of the storm water from the roofs and the water from the new parking lot is gonna be able to be brought out through the subsurface system and we're going back out into 9W, we're setting two catch basins in our lot, third catch basin out in front of our lot in the DOT right-of-way and then a new 15 inch storm sewer down to there's an existing, it's a large catch basin down, I think it's 150 feet from the corner of the property.

MR. PETRO: Where don't you just put an underground system? Why are you putting all the catch basins in?

MR. COPPOLA: I'm not going to touch that.

MR. BABCOCK: Because he's in New Windsor. Is that where it crosses under 9W?

MR. COPPOLA: It's very large, I think it's 36 inch so this is kind of a wet area back over in here and I think wherever this comes from that's where the water leads and then down and out to the river.

MR. PETRO: That drains under there, there's a lot of water there.

MR. COPPOLA: Yeah, I think there is. So we have solved that problem, so that the neighbors will not be impacted at all by our pavement and our roof, any of the hard surfaces. We have screened the rear yard here that's shown in our landscaping schedule, we're not developing the rear, the parking is just going to kind of end adjacent to the corner of the building, so there will be no parking in the rear. All the parking will be on the front and the side.

MR. PETRO: From catch basin two to three and from three to the exit look at making that an 18 inch CMP because you're going to pick up a lot of water, I know that site.

MR. COPPOLA: Two to three?

MR. PETRO: And three to the end, I would size it up one shot.

MR. COPPOLA: Sure.

MR. PETRO: I'm not an engineer, but I think it makes good sense. This is a public hearing, 10 addressed envelopes were mailed out on March 13, 2002. If someone would like to speak for or against this application, be recognized by the Chair, come forward, state your name and address. Is there anyone here? Let the record show that no one's showed up to speak, therefore, I'll entertain a motion to close.

MR. BRESNAN: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board close the public hearing for

the Galella site plan.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. BABCOCK: Could you clarify for us what you had said about the catch basins?

MR. PETRO: Catch basin two to three and three over to the exit 18 inch. Open it up to the board for further comment. Motion for a negative dec.

MR. BRESNAN: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec for the Galella site plan. Is there any further comment? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Planning board requires that a bond estimate be submitted in accordance with Chapter 19 of the Town Code.

MR. LANDER: Anthony, how much higher is Parisi's property in the back than this property? Are we going to be looking down at this?

MR. COPPOLA: It's about the midpoint because the finished floor is 109 and you can see 106 there, so it just goes down, the low spot is really way down here, that's where the water is.

MR. PETRO: Highway approval on 1/30/02 and fire approval 1/29/02. Applicant should be directed to

submit a public improvement bond estimate to the town for review. What we can do? If you'd like, we can do a final approval subject to New York State DOT approval.

MR. COPPOLA: That would be perfect.

MR. PETRO: Motion to that effect.

MR. BRESNAN: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Galella site plan on Route 9W, subject to the sizing of the pipe being upgraded and New York State DOT approval, the site plan bond and public improvement bond in place before the plan is signed. Do you understand all that?

MR. COPPOLA: Absolutely.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. KARNAVEZOS	AYE
MR. LANDER	AYE
MR. PETRO	AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

- **Main Office**
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@att.net
- **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@ptd.net

*Writer's E-mail Address:
mje@mhepc.com*

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: GALELLA SITE PLAN
PROJECT LOCATION: NYS ROUTE 9W (West Side)
SECTION 17 – BLOCK 4 – LOT 16
PROJECT NUMBER: 02-03
DATE: 27 MARCH 2002
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF A 4950 S.F. OFFICE BUILDING ON A 0.62 +/- ACRE PARCEL ON THE WEST SIDE OF RT. 9W. THE PLAN WAS PREVIOUSLY REVIEWED AT THE 13 FEBRUARY 2002 PLANNING BOARD MEETING AND IS BEFORE THE BOARD FOR A PUBLIC HEARING AT THIS MEETING.

1. The project is located in the NC Zoning District of the Town. The bulk information indicated on the plan appears correct, and the site appears to comply with all the bulk requirements. All my previous comments were addressed by the Applicant's architect.
2. The plan was forwarded to the NYSDOT for review and comment. No response has been received to date.
3. If the Board believes they have received adequate information, they may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
4. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 19 of the Town Code.
5. The applicant should be directed to submit the Public Improvement Bond Estimate to the Town for review, and subsequent approval of the Town Board.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

Public Hearing
RESULTS OF P.H. MEETING OF: *March 2002*

PROJECT: *Yabella Site Plan* P.B.# *02-03*

LEAD AGENCY:

NEGATIVE DEC:

- 1. AUTHORIZE COORD LETTER: Y__ N__
- 2. TAKE LEAD AGENCY: Y__ N__

M) L S) K VOTE: A 5 N 0
CARRIED: YES NO

M) S) VOTE: A N
CARRIED: YES NO

Closed
WAIVE PUBLIC HEARING: M) B S) L VOTE: A 5 N 0 *Closed*
WAIVED: Y N

SCHEDULE P.H. Y__ N__

SEND TO O.C. PLANNING: Y__

SEND TO DEPT. OF TRANSPORTATION: Y__

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) S) VOTE: A N APPROVED:
M) S) VOTE: A 5 N 0 APPROVED CONDITIONALLY: 3-27

NEED NEW PLANS: Y__ N__

DISCUSSION/APPROVAL CONDITIONS:

<i>Add 18" cmp from 2-3 +3 to end</i>
<i>Need D.O.T. Approval</i>
<i>Site Bond Pub. Imp. Bond</i>



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

□ **Main Office**
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@att.net

□ **Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhpa@ptd.net

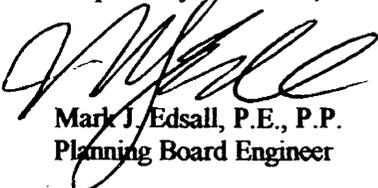
Writer's E-mail Address:
mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: GALELLA SITE PLAN
PROJECT LOCATION: NYS ROUTE 9W (West Side)
SECTION 17 – BLOCK 4 – LOT 16
PROJECT NUMBER: 02-03
DATE: 13 FEBRUARY 2002
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF A 4950 S.F. OFFICE BUILDING ON A 0.62 +/- ACRE PARCEL ON THE WEST SIDE OF RT. 9W. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The project is located in the NC Zoning District of the Town. The bulk information indicated on the plan appears correct, and the site appears to comply with all the bulk requirements.
2. I have made a concept review of this plan and all previous requests from the worksessions have been addressed. I have no additional comments at this time.
3. Submittal of this application/plan to the NYSDOT will be necessary. If the Board finds the layout generally acceptable, I will forward the plan following this meeting.
4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
5. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
6. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 48-19.C of the Town Zoning Local Law.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR, WATER DEPT.,
SEWER DEPT., HIGHWAY DEPT.

RECEIVED
TOWN OF NEW WINDSOR
MAR 12 2002
ENGINEER & PLANNING

P.B. FILE # 02-02 DATE RECEIVED: _____

PLEASE RETURN COMPLETED FORM TO MYRA BY: 3-20-02

THE MAPS AND/OR PLANS FOR:

Galella - Nina Cont.
Applicant or Project Name

SITE PLAN , SUBDIVISION , LOT LINE CHANGE , SPECIAL PERMIT

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

Signature: [Signature] 4/1/02
Reviewed by: _____ Date



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenny@att.net

 Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@ptd.net

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF: New Windsor **P/B APP. NO.:** 02 . 03

WORK SESSION DATE: 7 Aug 02 **PROJECT:** NEW OLD X

REAPPEARANCE AT W/S REQUESTED: No **RESUB. REQ'D:** No

PROJECT NAME: Galella

REPRESENTATIVES PRESENT: Anthony C.

MUNICIPAL REPS PRESENT:

BLDG INSP.	<u> </u>	FIRE INSP.	<u>B.6</u>
ENGINEER	<u>X</u>	PLANNER	<u> </u>
P/B CHMN	<u> </u>	OTHER	<u> </u>

ITEMS DISCUSSED:

- DOT -
15" vs 12" on hwy.
- need memo to Buras.
re status
- Does this have cond app'l
already?

STND CHECKLIST:

~~DRAINAGE~~

~~DUMPSTER~~

~~SCREENING~~

~~LIGHTING
(Streetlights)~~

~~LANDSCAPING~~

~~BLACKTOP~~

~~ROADWAYS~~

Action needed



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
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- Main Office
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e-mail: mhety@mhepc.com
- Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2766
e-mail: mhpe@mhepc.com

*Writer's E-mail Address:
mje@mhepc.com*

MEMORANDUM

(via fax)

3 June 2002

TO: MYRA MASON, PLANNING BOARD SECRETARY
FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER
**SUBJECT: GALELLA - NIMA CONTRACTING SITE PLAN
 PLANNING BOARD APPLICATION NO. 02-03**

With reference to this application, two items are outstanding. First, we must get a response from the NYSDOT for the plans. Anthony Coppola should prepare a corrected plan (responding to the NYSDOT comments) and submit it to your office, so we can forward it on the Newburgh DOT. (He should not submit it directly).

Second, with regard to the estimate, I cannot review the estimate as final, until I am assured of the final layout and requirements of the DOT.

I did make a preliminary review of the cost estimate submitted. The format is unacceptable. As Mr. Coppola has been told numerous times in the past, the cost estimate should be based on unit costs and quantities of items. Lump sum values for lighting, storm drainage, landscaping and walls are not acceptable. When he resubmits the estimate, it will need to be corrected.

Contact me if you have any questions.

NW02-02-Myra Memo 060302.doc
MJE/ix

8/14/02
Estimate still not per req'd format

Galella Site Work Construction Budget			
Item	Quantity	Unit Price	Total
Site Work:			
◆ Site lighting -			\$ 8,000.00
◆ Rough grading/Demolition			\$ 5,000.00
◆ Final grading			\$ 2,000.00
◆ Pavement	15,000 SF	\$ 1.50	\$ 22,500.00
◆ Curbing	700 LF	\$ 11.00	\$ 7,700.00
◆ Sidewalks	800 SF	\$ 3.50	\$ 2,800.00
◆ Storm drainage			\$ 8,000.00
◆ Site utilities			\$ 10,000.00
◆ Signage			\$ 1,000.00
◆ Landscaping			\$ 5,000.00
◆ Prefab Trash Shed			\$ 300.00
◆ Retaining Wall & Stairs			\$ 3,000.00
Total:			\$ 75,300.00

#02-03



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
4 BURNETT BOULEVARD
POUGHKEEPSIE, NY 12603

WILLIAM D. FITZPATRICK, P.E.
REGIONAL TRAFFIC ENGINEER
(845) 575-6040

ROBERT A. DENNISON III, P.E.
REGIONAL DIRECTOR

JOSEPH H. BOARDMAN
COMMISSIONER

Richard A. Burns
NYSDOT Permits
112 Dickson Street
Newburgh, NY 12550
☐ (845) 565-9762

24 April, 2002

Mr. Mark J. Edsall, P.E., P.P.
Town of New Windsor Planning Board Engineer
555 Union Avenue
New Windsor, NY 12553

Re: GALELLA/NIMA CONTRACTING PLAN- RT. 9W
NEW WINDSOR PLANNING BOARD NO. 02-03

Dear Mr. Edsall,

I have conceptually reviewed the plans by Anthony Coppola dated 1/17/02 revised 3/5/02. I have comments/ requirements as follows:

- * The plans are not complete enough to fully evaluate this project. I have enclosed an excerpt from our entrance policy and standards that outlines most of the information we need. This list is not necessarily exhaustive, however, it can be used as sort of a punch list for this project or any other projects on state highways.
- * The type of retail must be included.

8/12/02
Per telecon from Burns to Myra 7/16/02 - no problem conceptually - Never got confirmation.
[Signature]

FAXED

M.E. & A. Coppola 4/30/02

- * They propose to connect their drainage to our system. We need to know the volume. If the water is too much for our system to readily handle, on site retention will be required. Also, any drainage installed under permit is the responsibility of the permittee and / or the property owner who benefits by it.
- * The radii of the curbing is not symmetrical.
- * The plans show a deceleration lane and 12 foot wide shoulders. This is not standard.
- * The speed limit is not indicated on the plans. This is important to determine the type of curbing required. Curb the whole front.
- * The driveway is not perpendicular.
- * The design professional should always include the nearest Highway Reference Marker. The policy and standards excerpt has a referential sample for any other recipients of this letter who are not familiar with reference markers.
- * The distance to the nearest road is not included. The type of business and dimensions of the accesses of the adjoining properties must be include also.
- * In and out arrows on the pavement are considered a traffic control device. Road markings need a sign to validate them.(And a traffic order) Generally, arrows are not necessary for this type of entrance and sometimes they are specifically prohibited.

This list is not exhaustive. We can fully evaluate this project once we receive plans (3 copies) with the necessary revisions included.

Please contact me at the included phone number and address if you would like to discuss this project. Thank you for taking the time to consult with NYSDOT on this project.

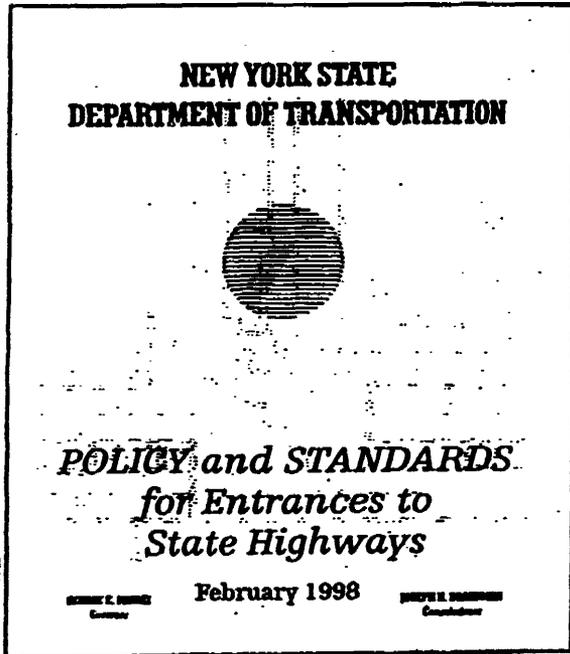
Sincerely,

A handwritten signature in black ink, appearing to read "Richard A. Burns". The signature is fluid and cursive, with the first name being the most prominent.

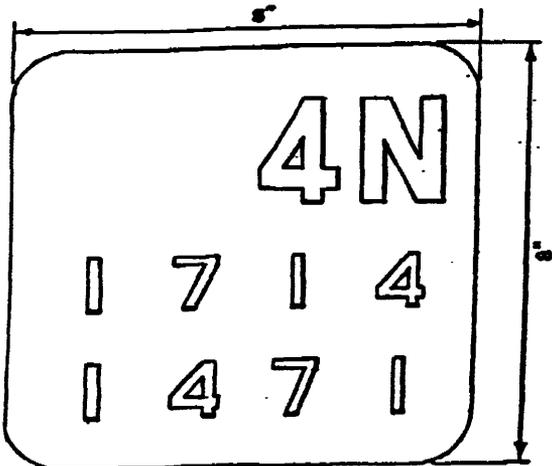
Richard A. Burns, Permits for Eastern Orange County

cc: Glenn Boucher, Traffic

EXCERPT FROM :



HIGHWAY REFERENCE MARKER



Plan Details

The plans shall include the following details prepared by a licensed design professional.

- Location and dimensions of existing highway pavement, curbs, guide rail, medians, sidewalk, utilities, traffic signs, signals, pavement markings and right-of-way and property lines.
- Existing and proposed buildings and appurtenances.
- Design features to be incorporated in proposed construction or reconstruction:
 - Width, pavement type and thickness of driveways.
 - Radii of driveway returns and other points of curvature.
 - Driveway grades or profile view of driveway.
 - Angle of driveways relative to the roadway centerline.
 - Location of proposed median openings and guide rail.
 - Dimensions of roadside control islands and driveway medians.
 - Dimensions and elevations of curbs and sidewalks relative to the pavement edge.
 - Location of authorized traffic signs, pavement markings and proposed advertisement signs.
- Existing and proposed drainage features and a report addressing their impacts:
 - Size, type and grade of driveway culverts.
 - Highway drainage structures.
 - Direction of surface water flow on applicant's property.
- Distance from each existing and proposed driveway on the site to:
 - The nearest side road in each direction if within 1000 feet (300 m).
 - Nearest driveway on adjacent properties.
 - Streets, roads or driveways opposite the site.
 - Adjacent property lines.
 - North directional arrow.
- Provisions for maintaining safe traffic flow, pedestrian access and work site safety during construction and any work or work space restrictions required by the Department to minimize traffic impacts during peak traffic flow periods.
- The Department may require additional information as site specific conditions warrant.

For major commercial entrances, a Traffic Impact Study (TIS) including details of internal vehicular, transit and pedestrian traffic circulation, parking, traffic control devices, actual and estimated traffic volumes and any proposed additional pavement lanes or widening on the highway shall be provided. The TIS and the plans submitted shall be prepared by a licensed Professional Engineer.



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

21 March 2002

New York State Department of Transportation
Permit Inspection Unit Office
112 Dickson Street
Newburgh, New York 12550

ATT: Richard Burns

SUBJECT: GALELLA/NIMA CONTRACTING SITE PLAN – RT. 9W
NEW WINDSOR PLANNING BOARD NO. 02-03

Dear Mr. Burns:

The Town of New Windsor Planning Board has received an application for site plan approval of an office/retail building/site plan located on NYS Route 9W within the Town. The Planning Board has determined that the applicant will be required to obtain a Highway Work Permit from your Department. The project also involves a drainage connection to the state system.

We are forwarding herewith a copy of the plan submitted with the application for your review and comment. We request that you notify the Planning Board of any concerns regarding this application, which should be considered by the Board during their review of the project.

It is not the intent that these plans be considered the plans required for the Permit application, as these will be the responsibility of the applicant following site plan approval from the Town.

We look forward to your input regarding this application before the Board.

Very truly yours,

TOWN OF NEW WINDSOR PLANNING BOARD

Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW02-03-DOT Ltr 032102.doc



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-4693

Assessors Office

February 28, 2002

Nima Contracting
C/o Anthony Coppola
16 Gala Drive
Newburgh, NY 12550

Re: 17-4-16

Dear Mr. Coppola:

According to our records, the attached list of property owners are abutting to the above referenced property.

The charge for this service is \$25.00, minus your deposit of \$25.00.

There is no further balance due.

Sincerely,

A handwritten signature in cursive that reads "Leslie Cook".

Leslie Cook
Sole Assessor

LC/lrd
Attachments

CC: Myra Mason, PB

9-1-88.2
Dorothy Ann Toback
Roxanne Crawley
248 Carter Avenue
Newburgh, NY 12550 ✓

9-1-91
Greg & Cristina Fischer
3126 Rte. 9W South
New Windsor, NY 12553 ✓

17-4-15
Charles Valois
4 Jersey Court
New Windsor, NY 12553 ✓

17-4-25
Irene Parisi
5 Fanewood Drive
New Windsor, NY 12553 ✓

17-4-26
Joseph & Olga Parisi
7 Fanewood Drive
New Windsor, NY 12553 ✓

George J. Meyers, Supervisor
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553 ✓

Deborah Green, Town Clerk
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553 ✓

Andrew Krieger, ESQ.
219 Quassaick Avenue
New Windsor, NY 12553 ✓

James Petro, Chairman
Planning Board
555 Union Avenue
New Windsor, NY 12553 ✓

Mark J. Edsall, P.E.
McGoey and Hauser
Consulting Engineers, P.C.
33 Airport Center Drive, Suite 202
New Windsor, NY 12553 ✓

10

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the
TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a
PUBLIC HEARING AT Town Hall, 555 Union Avenue, New Windsor, New York
on March 27th at 7:30 P.M. on the approval of the
date

proposed SITE PLAN / SUBDIVISION / SPECIAL PERMIT approval
for Galella Site Plan located at _____
name of project
West side of NYS Route Tax Map # 17 4 16
Address of project section, block, lot

Map of the project is on file and may be inspected at the PLANNING BOARD
OFFICE, Town Hall, 555 Union Avenue, New Windsor, NY prior to Public
Hearing.

March 8th
Date

By Order of
TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr., Chairman

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 01/28/2002

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 2-3
NAME: GALELLA OFFICE BUILDING -PA2001-899
APPLICANT: NIMA CONTACTING

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/25/2002	REC. CK. #2584	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

A. Zappalo

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#90-2002

01/28/2002

Nima Contracting Inc. *#02-03 RB.*

Received \$ 100.00 for Planning Board Fees, on 01/28/2002. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

**TO: FIRE INSPECTOR, WATER DEPT.,
SEWER DEPT., HIGHWAY DEPT.**

RECEIVED
TOWN OF NEW WINDSOR
MAR 12 2002
ENGINEER & PLANNING

P.B. FILE # 02-02 DATE RECEIVED: _____

PLEASE RETURN COMPLETED FORM TO MYRA BY: 3-20-02

THE MAPS AND/OR PLANS FOR:

Habella - Numa Court
Applicant or Project Name

SITE PLAN , SUBDIVISION , LOT LINE CHANGE , SPECIAL PERMIT

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: Water available for this project

DISAPPROVED:

Notes: _____

Signature: Sten D. J. 3-15-02
Reviewed by: _____ Date



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

RECEIVED

MAR 13 2002

OFFICE OF THE PLANNING BOARD N.W. HIGHWAY DEPT.

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR, WATER DEPT.,
SEWER DEPT., HIGHWAY DEPT.

RECEIVED
TOWN OF NEW WINDSOR
MAR 12 2002
ENGINEER & PLANNING

P.B. FILE # 02-02 DATE RECEIVED:

PLEASE RETURN COMPLETED FORM TO MYRA BY: 3-20-02

THE MAPS AND/OR PLANS FOR:

Sabella - Nina Court
Applicant or Project Name

SITE PLAN , SUBDIVISION , LOT LINE CHANGE , SPECIAL PERMIT

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: needs D.O.T approval

DISAPPROVED:

Notes:

Signature: Henry Hall 3/25/02
Reviewed by: _____ Date



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR, WATER DEPT.,
SEWER DEPT., HIGHWAY DEPT.

RECEIVED
TOWN OF NEW WINDSOR
MAR 12 2002
ENGINEER & PLANNING

P.B. FILE # 02-02

DATE RECEIVED:

PLEASE RETURN COMPLETED FORM TO MYRA BY: 3-20-02

THE MAPS AND/OR PLANS FOR:

Diabella Site Plan - Nuxia Court
Applicant or Project Name

SITE PLAN , SUBDIVISION , LOT LINE CHANGE , SPECIAL PERMIT

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

Signature: [Handwritten Signature]

Reviewed by: _____ Date: 18 March 2002

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: March 18, 2002

SUBJECT: Galella Site Plan

Planning Board Reference Number: PB-02-02

Dated: 12 March 2002

Fire Prevention Reference Number: FPS-02-014

A review of the above referenced subject site plan was conducted on 18 March 2002.

This site plan is acceptable.

Plans Dated: 3 March 2002 Revision 1



Robert F. Rodgers

RFR/dh



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

RECEIVED

JAN 29 2002

PLANNING BOARD FILE NUMBER:

02-03

DATE PLAN RECEIVED:

RECEIVED
TOWN OF NEW WINDSOR

N.W. HIGHWAY DEPT.

JAN 25 2002

ENGINEER & PLANNING

The maps and plans for the Site Approval

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved

disapproved

If disapproved, please list reason _____

John J. Keel 1-30-02
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

1763

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: _____

02-03

DATE PLAN RECEIVED: _____

RECEIVED
TOWN OF NEW WINDSOR
JAN 25 2002
ENGINEER & PLANNING

The maps and plans for the Site Approval

Subdivision _____ as submitted by

_____ for the building or subdivision of

Nima Contracting Inc. has been

reviewed by me and is approved

~~disapproved~~ _____

~~If disapproved, please list reason~~

Water is available for this project

HIGHWAY SUPERINTENDENT DATE

Steve D. ... - 1-29-02
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: January 29, 2002

SUBJECT: Nima Contracting Inc.

Planning Board Reference Number: PB-02-03

Dated: 28 January 2002

Fire Prevention Reference Number: FPS-02-007

A review of the above referenced subject site plan was conducted on 29 January 2002.

This site plan is acceptable.

Plans Dated: 17 January 2002



Robert F. Rodgers



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

GALIELLA

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenry@att.net

 Regional Office
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Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhpa@ptd.net

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

1-3

TOWN/VILLAGE OF: New Windsor **P/B APP. NO.:** 02-03

WORK SESSION DATE: 16 JAN 2002 **PROJECT:** NEW OLD

REAPPEARANCE AT W/S REQUESTED: No. **RESUB. REQ'D:** Full

PROJECT NAME: Galietta (Nima)

REPRESENTATIVES PRESENT: Mark & Tony

MUNICIPAL REPS PRESENT:

BLDG INSP.	<input type="checkbox"/>	FIRE INSP.	<u>Kid</u>
ENGINEER	<input checked="" type="checkbox"/>	PLANNER	<input type="checkbox"/>
P/B CHMN	<input type="checkbox"/>	OTHER	<input type="checkbox"/>

ITEMS DISCUSSED:

- sent plans to DOT / send ^{mine} also.
- storm revised
- landscaping on north linked at
- add isolux ^{neighbors}
- add railing on walk. ^{request}
- some landscaping
- add decal
- sign (show)

STND CHECKLIST:

- DRAINAGE done
- DUMPSTER —
- SCREENING ✓
- LIGHTING ✓
(Streetlights)
- LANDSCAPING —
- BLACKTOP —
- ROADWAYS —

next avail agenda



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

□ Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York
(845) 567-3100
e-mail: mheny@att.net
□ Regional Office
507 Broad Street
Milford, Pennsylvania
(570) 296-2765
e-mail: mhpa@ptd.net

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF: New Windsor P/B APP. NO.: _____

WORK SESSION DATE: 2 JAN 2002 PROJECT: NEW OLD _____

REAPPEARANCE AT W/S REQUESTED: YES RESUB. REQ'D: new plan lot

PROJECT NAME: Galletta II

REPRESENTATIVES PRESENT: Anthony C. +

MUNICIPAL REPS PRESENT: BLDG INSP. _____ FIRE INSP. X
ENGINEER X PLANNER _____
P/B CHMN _____ OTHER _____

ITEMS DISCUSSED: NC STND CHECKLIST:

- Sidoli - easement
 - do easement exist or proposed? Public map shows as existing
 - add 1 CB
 - thin row of plantings along Sidoli
she doesn't want spill over onto her property.
 - they need to show water
 - need to show sidoli driveway - conflict
 - get to DOT. after layout finished
- DRAINAGE ←
DUMPSTER want containers
SCREENING need to show
LIGHTING need to show
(Streetlights)
LANDSCAPING _____
BLACKTOP _____
ROADWAYS _____

Pass 1/23/02
mte



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
 Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor

P/B 02-03

WORK SESSION DATE: 19 Sept 01

APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: _____

PROJECT NAME: Galella Office

PROJECT STATUS: NEW X OLD _____

REPRESENTATIVE PRESENT: Nick G.

MUNIC REPS PRESENT: BLDG INSP. _____
FIRE INSP. X _____
ENGINEER X _____
PLANNER _____
P/B CHMN. _____
OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

LOT WAS REZONED
gave bulk
plc OK
buffer to Sidoli? conflicts w/ proposed ease
conc curb. front
Real survey.
deal w/ drainage
landscape - screen rear

CLOSING STATUS

_____ Set for agenda
_____ possible agenda item
_____ Discussion item for agenda
_____ ZBA referral on agenda

pbwsform 10MJ98

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan Special Permit _____

Tax Map Designation: Sec. 17 Block 4 Lot 16

BUILDING DEPARTMENT REFERRAL NUMBER 2001 - 899

1. Name of Project Galella Office Building

2. Owner of Record Nima Contracting Phone 565-3008

Address: 16 Gala Drive, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Nima Contracting Phone 565-3008

Address: 16 Gala Drive, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Anthony J. Coppola, RA Phone 561-3559

Address: 375 Third Street Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Anthony Coppola, 561-3559
(Name) (Phone)

7. Project Location: On the _____ side of 9w and Broad Street _____ feet
(Direction) (Street) (No.)
of _____
(Direction) (Street)

8. Project Data: Acreage 0.6256 Zone NC School Dist. Newburgh Enlarged

PAGE 1 OF 2

(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

RECEIVED TOWN OF NEW WINDSOR JAN 25 2002 ENGINEER & PLANNING

02-03

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

*This information can be verified in the Assessor's Office.

*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Description of Project: (Use, Size, Number of Lots, etc.) _____
One story retail building 4950 Sq ft

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION

SWORN BEFORE ME THIS:

28th DAY OF December 2001

Kathy Pascale
NOTARY PUBLIC

KATHY PASCALE
NOTARY PUBLIC - STATE OF NEW YORK
RESIDING IN ORANGE COUNTY
#4902384
COMMISSION EXPIRES
8-03-03

Nicholas Galella
APPLICANT'S SIGNATURE

Nicholas Galella
Please Print Applicant's Name as Signed

TOWN OF NEW WINDSOR
RECEIVED
JAN 25 2002
DATE APPLICATION RECEIVED
ENGINEER & PLANNING

02-03
APPLICATION NUMBER

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Nicholas Galella, deposes and says that he resides
(OWNER)
at 16 Gala Drive, Newburgh in the County of Orange
(OWNER'S ADDRESS)
and State of New York and that he is the owner of property tax map
(Sec. Block Lot)
designation number (Sec. 17 Block 4 Lot 16) which is the premises described in
the foregoing application and that he authorizes:

(Applicant Name & Address, if different from owner)
Anthony J. Coppola, RA, 375 Third Street, Newburgh, NY
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 12/28/01
Nathy Pascone
Witness' Signature

[Signature]
Owner's Signature

Applicant's Signature if different than owner

Representative's Signature

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.

02-03

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PROJECT I.D. NUMBER

617.21

SEQR

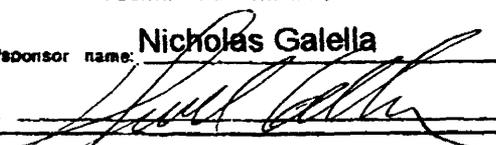
Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Nicholas Galella	2. PROJECT NAME Galella Office Building
3. PROJECT LOCATION: Municipality New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 9W and Broad Street	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: One story retail building 4950 sq ft	
7. AMOUNT OF LAND AFFECTED: Initially 0.6256 acres Ultimately 0.6256 acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: Nicholas Galella	Date: 12/28/01
Signature: 	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

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PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.8? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
 No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
 No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
 No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
 No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.
 No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.
 No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.
 No

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

 Name of Lead Agency

 Print or Type Name of Responsible Officer in Lead Agency

 Signature of Responsible Officer in Lead Agency

 Title of Responsible Officer

 Signature of Preparer (If different from responsible officer)

 Date

02-03

REC'D BY
"XX"

ATTACHMENTS

- A. Flood Hazard Area Development Permit Application Form.
- B. Certificate of Compliance

Not in a flood zone

PLEASE NOTE: IF PROPERTY IS NOT IN A FLOOD ZONE, PLEASE INDICATE THAT ON THIS FORM AND SIGN YOUR NAME. RETURN FORM WITH PLANNING BOARD APPLICATION.

IF PROPERTY IS LOCATED IN A FLOOD ZONE, PLEASE COMPLETE THE ATTACHED (LEGAL SIZE) PAPERS AND RETURN WITH PLANNING BOARD APPLICATION.

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SITE PLAN CHECKLIST

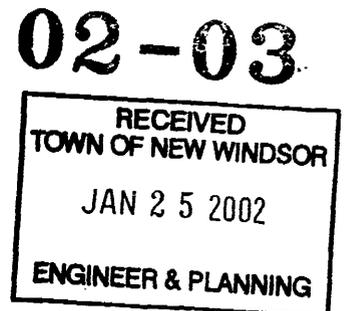
ITEM

- 1. Site Plan Title
- 2. Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



- 3. Applicant's Name(s)
- 4. Applicant's Address
- 5. Site Plan Preparer's Name
- 6. Site Plan Preparer's Address
- 7. 12-28-01 Drawing Date
- 8. Revision Dates
- 9. Area Map Inset and Site Designation
- 10. Properties within 500' of site
- 11. Property Owners (Item #10)
- 12. Plot Plan
- 13. Scale (1" = 50' or lesser)
- 14. Metes and Bounds
- 15. Zoning Designation
- 16. North Arrow
- 17. Abutting Property Owners
- 18. Existing Building Locations
- 19. Existing Paved Areas
- 20. Existing Vegetation
- 21. Existing Access & Egress



PROPOSED IMPROVEMENTS

- 22. Landscaping
- 23. Exterior Lighting
- 24. Screening
- 25. Access & Egress
- 26. Parking Areas
- 27. **N/A** Loading Areas
- 28. Paving Details (Items 25 - 27)
- 29. Curbing Locations
- 30. Curbing through section
- 31. Catch Basin Locations
- 32. Catch Basin Through Section
- 33. Storm Drainage
- 34. Refuse Storage
- 35. **N/A** Other Outdoor Storage
- 36. Water Supply
- 37. Sanitary Disposal System
- 38. Fire Hydrants
- 39. Building Locations
- 40. Building Setbacks
- 41. **N/A** Front Building Elevations
- 42. **N/A** Divisions of Occupancy
- 43. **N/A** Sign Details
- 44. Bulk Table Inset
- 45. Property Area (Nearest 100 sq. ft.)
- 46. Building Coverage (sq. ft.)
- 47. Building Coverage (% of total area)
- 48. Pavement Coverage (sq. ft.)
- 49. Pavement Coverage (% of total area)
- 50. Open Space (sq. ft.)
- 51. Open Space (% of total area)
- 52. No. of parking spaces proposed
- 53. No. of parking spaces required

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CLIENT'S COPY

Bloom & Bloom, P.C.
ATTORNEYS AND COUNSELORS AT LAW

DANIEL J. BLOOM
PETER E. BLOOM

530 BLOOMING GROVE TURNPIKE
(AT THE PROFESSIONAL CIRCLE)
P.O. BOX 4323
NEW WINDSOR, NEW YORK 12553
TELEPHONE (845) 561-6820
FAX 845-561-0978

December 17, 2001

Richard D. Forbes, Esq.
Hankin, Hanig, Stall,
Caplicki, Redl & Curtin, LLP
Post Office Box 7229
Newburgh, New York 12550

RE: N & A Development Corporation from Sidoli
Our File No. R-9695

Dear Richard:

Enclosed please find our client's check in the amount of \$4,500.00 in substitution of our client's original down payment check which became "stale".

We have been advised that our mutual clients have agreed to ~~omit~~ ^{change} Paragraph "5 (g)" from the Contract of Sale. If this is your understanding also, please confirm this change by signing the bottom of this letter and fax it to my attention.

THAT ALONG THE NORTHERN BOUNDARY OF THE PROPERTY THE CONCRETE CURBING FOR PARKING PURPOSE WILL COME NO CLOSER THAN 12' TO THE PORTION OF MRS. SIDOLI'S HOUSE. ALSO THAT SCREENING SHRUBS WILL NOT HINDER VEHICLES THAT MAY PASS TO ENTER MRS. SIDOLI'S REAR YARD.

Thank you.

Very truly yours,

Daniel J. Bloom
DANIEL J. BLOOM
djblp enc.

please change this Mick Galan

02-03

cc: N & A Development Corporation, Inc.

Seller agrees to the ^{change} deletion of Paragraph "5 (g)" of the Contract of Sale.

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[Signature]
Richard D. Forbes, Esq.