

PB# 04-11

Central Valley Real Estate

9-2-2

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY
DATE: 5-11-2025

— B. # **04-11** CENTRAL VALLEY REAL —
EST. 3062 RT 9W SITE PLAN (COPPOLA)



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Writer's e-mail address:
bmasterson@mhepc.com

MEMORANDUM
(via email)
29 January 2006

TO: MARK J. EDSALL, P.E., PRINCIPAL

FROM: BRENDAN MASTERSON, PROJECT ENGINEER

**SUBJECT: 3062 RTE 9W – BOND REDUCTION
TOWN OF NEW WINDSOR PB # 04-11**

Pursuant to your request, I've reviewed the bond for the outstanding items along with the appropriate field representatives of this office. The clients engineer submitted bond totaling \$44,864.00 to which the following needs to be addressed:

- Asphalt top-course (1.5" thickness; 1760 SY @\$7.80/SY): \$13,728.00
- Striping: \$ 264.00
- Plantings: \$ 1,050.00
- Handicap Signage: \$ 300.00
- Reflectors between properties: \$ 500.00

All other items either complete or outstanding appear to be correct.

As a result of the added costs I recommend a total reduced bond of: **\$15,842.00**

REGIONAL OFFICES
• 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •



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MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENT@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: 3062 ROUTE 9W – CENTRAL VALLEY REAL ESTATE
PROJECT LOCATION: US RT. 9W (Northbound Side)
SECTION 9 – BLOCK 2 – LOT 2
PROJECT NUMBER: 04-11
DATE: 27 APRIL 2005
DESCRIPTION: THE APPLICATION PROPOSES DEVELOPMENT OF A 2-STORY OFFICE BUILDING ADDITION (FRONTING ON 9W) AND A SEPARATE OFFICE/STORAGE BUILDING (OLD RT.9W SIDE). THE PLAN WAS PREVIOUSLY REVIEWED AT THE 26 MAY 2004 AND 14 JULY 2004 PLANNING BOARD MEETINGS.

1. The project is located in a NC zoning district of the Town. The existing office building will be substantially expanded with a 2-story addition on the south side, and the existing non-conforming apartment building is being eliminated and replaced with a contractor's office/storage building near Old Rt. 9W. The office use is use A-7, and the contractor's office and storage building could also be classified as A-7.
2. The application received conditional final approval on 7-14-04 and has expired. A re-approval is required. The re-approval should be conditional on the correction of the setback from Old Route 9W being corrected, and payment of a re-approval fee and review fees.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-11-27Apr05.doc

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- 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/16/2005

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 4-11

NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE

APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
05/11/2005	PLANS STAMPED	APPROVED
04/27/2005	P.B. APPEARANCE	REAPPROVED
07/14/2004	P.B. APPEARANCE . APPROVED SUBJECT TO MARK MEETING WITH D.O.T. AND MARK'S . COMMENTS OF 7/14/04	ND:WVE PH APP COND
05/26/2004	P.B. APPEARANCE	LA COORD LETTER
05/05/2004	WORK SHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/16/2005

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-11

NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE

APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/19/2004	REC. CK. #27990	PAID		750.00	
05/26/2004	P.B. ATTY. FEE	CHG	35.00		
05/26/2004	P.B. MINUTES	CHG	27.50		
07/14/2004	P.B. ATTY. FEE	CHG	35.00		
07/14/2004	P.B. MINUTES	CHG	27.50		
04/27/2005	P.B. MINUTES	CHG	11.00		
05/05/2005	P.B. ENGINEER	CHG	524.70		
05/09/2005	RET. TO APPLICANT	CHG	89.30		
		TOTAL:	750.00	750.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/16/2005

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-11

NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE
APPLICANT: CENTRAL VALLEY REAL ESTATE

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	05/19/2004	EAF SUBMITTED	05/05/2004	WITH APPLIC
ORIG	05/19/2004	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	05/19/2004	LEAD AGENCY DECLARED	05/26/2004	TOOK LA
ORIG	05/19/2004	DECLARATION (POS/NEG)	07/14/2004	DECL NEG DEC
ORIG	05/19/2004	SCHEDULE PUBLIC HEARING	/ /	
ORIG	05/19/2004	PUBLIC HEARING HELD	/ /	
ORIG	05/19/2004	WAIVE PUBLIC HEARING	07/14/2004	WAIVED PH
ORIG	05/19/2004	PRELIMINARY APPROVAL	/ /	
ORIG	05/19/2004		/ /	

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#433-2005

05/10/2005

Sandcastle Homed *P.B.# 04-11*

Received \$ 250.00 for Planning Board Fees, on 05/10/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/10/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 4-11
NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE
APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/05/2005	2% OF 44,864. COST EST	CHG	897.28		
05/09/2005	REC. CK. #7112	PAID		897.28	
		TOTAL:	897.28	897.28	0.00

Rec'd
J.R.
5/10/05

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/10/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-11
NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE
APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/19/2004	REC. CK. #27990	PAID		750.00	
05/26/2004	P.B. ATTY. FEE	CHG	35.00		
05/26/2004	P.B. MINUTES	CHG	27.50		
07/14/2004	P.B. ATTY. FEE	CHG	35.00		
07/14/2004	P.B. MINUTES	CHG	27.50		
04/27/2005	P.B. MINUTES	CHG	11.00		
05/05/2005	P.B. ENGINEER	CHG	524.70		
05/09/2005	RET. TO APPLICANT	CHG	89.30		
		TOTAL:	750.00	750.00	0.00

5/10/05
L.R.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/10/2005

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-11
NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE
APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/14/2004	APPROVAL FEE	CHG	125.00		
04/27/2005	REAPPROVAL FEE CHARGED	CHG	125.00		
05/09/2005	REC. CK. #7111	PAID		250.00	
		TOTAL:	250.00	250.00	0.00



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

May 5, 2005

Coppola Associates
3 Washington Center, 2nd Floor
Newburgh, NY 12550

ATTN: A.J. COPPOLA

SUBJECT: 3062 RT. 9W - FEES DUE

Dear Anthony:

Please find attached printouts of fees due for subject project. There is a balance remaining in the escrow account that will be returned to the applicant.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 - Approval and Re-Approval Fee.....	\$ 250.00
Check #2 - 2% of \$44,864. Cost Estimate.....	\$ 897.28

Upon receipt of these checks and ten (10) sets of plans, I will have them stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM



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**WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM**

MEMORANDUM

**(via fax)
15 April 2005**

FAXED

**TO: MYRA MASON, PLANNING BOARD SECRETARY
MICHAEL BABCOCK, TOWN BUILDING INSPECTOR**

FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER

**SUBJECT: 3062 Route 9W - SITE PLAN - SITE BOND AMOUNT
PLANNING BOARD APPLICATION NO. 04-11**

The subject application received conditional site plan approval on 7-14-04.

We have reviewed the site improvement estimate submitted for the subject application. We recommend a revised bond amount of \$44,864 for the work (see attached).

I have received and reviewed the survey for existing conditions on the property (as prepared by Robert Murray, LS). The purpose of asking for this survey was to verify the pre-existing non-conforming setbacks on Old Route 9W. Based on the survey received, the proposed plan is increasing a pre-existing non-conformance.

Either the "Office/Storage Building" must be set back 9.1 ft (currently shown as 7'-11") or the application must be sent to the ZBA. The applicant should make this decision.

NW04-11-Memo MM 04-15-05
MJE/s

*4/18/05
Need new plans -*

*2%
897.28*

REGIONAL OFFICES

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• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3388 •**

3062 Route 9W Site Work Construction Budget				
Item	Quantity		Unit Price	Total
Site Work:				
◆ Rough grading/Demolition				\$ 1,000.00
◆ Final grading				\$ 1,000.00
◆ Pavement	1,760	SY	\$ 10.00	\$ 17,600.00
◆ Curbing	450	LF	\$ 15.00	\$ 6,750.00
◆ Sidewalks	1,600	SF	\$ 4.00	\$ 6,400.00
◆ Storm drainage				\$
catch basins	1	pc	\$ 1,000.00	\$ 1,000.00
drywell	1	pc	\$ 1,000.00	\$ 1,000.00
pipng	20	LF	\$ 25.00	\$ 500.00
◆ Striping	33	space	\$ 8.00	\$ 264.00
◆ Signage	4		\$ 200.00	\$ 800.00
◆ Landscaping	21	pc	\$ 50.00	\$ 1,050.00
◆ Lighting	3	pc	\$ 1,000.00	\$ 3,000.00
◆ Dumpster Enclosure	1	pc	\$ 2,000.00	\$ 2,000.00
Total:				\$ 42,364.00

1100
1600

4500

H/C sign/striping

2 ea

150

300

Ⓡ 4/6/5

\$ 44,864

M/w 04-11

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 11

FOR WORK DONE PRIOR TO: 05/05/2005

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	-----DOLLARS-----			
								TIME	EXP.	BILLED	BALANCE
4-11	235454	05/05/04	TIME	MJE	WS 3062 RT 9W S/P	99.00	0.50	49.50			
4-11	236767	05/23/04	TIME	MJE	MC 3062 RT 9W S/P	99.00	0.70	69.30			

								118.80			
4-11	240816	06/30/04			BILL 04-687						-118.80

											-118.80
4-11	241877	07/07/04	TIME	MJE	WS 3062 RT 9W	99.00	0.40	39.60			
4-11	242265	07/14/04	TIME	MJE	MM 3062 9W COND APPD	99.00	0.10	9.90			
4-11	242932	07/14/04	TIME	MJE	MC 3062 RT 9W S/P	99.00	0.50	49.50			

								99.00			
4-11	246834	07/30/04			BILL 04-952 8/31/04						-178.20

											-178.20
4-11	244600	08/04/04	TIME	MJE	WS 3062 ROUTE 9W S/P	99.00	0.40	39.60			
4-11	245989	08/18/04	TIME	MJE	PM SIBY Z(DOT):3062 9W	99.00	0.40	39.60			
4-11	247881	09/01/04	TIME	MJE	WS 3062 RT 9W S/P	99.00	0.40	39.60			

								118.80			
4-11	250645	10/08/04			BILL 04-1148						-39.60

											-39.60
4-11	272299	04/15/05	TIME	MJE	MC RVW/MEMO TO MM	99.00	0.50	49.50			
4-11	273751	04/18/05	TIME	MJE	MC TC/MM RE 3062	99.00	0.30	29.70			
4-11	273767	04/27/05	TIME	MJE	MM CVRE 3062-9W reapp	99.00	0.10	9.90			
4-11	274254	04/27/05	TIME	MJE	MR 3062 RT 9W S/P REAPP	99.00	0.50	49.50			
								=====	=====	=====	=====
					TASK TOTAL			475.20	0.00	-336.60	138.60
								=====	=====	=====	=====
					GRAND TOTAL			475.20	0.00	-336.60	138.60

5/4/05 1/2 49.50

 248.70

3062 Route 9W Site Work Construction Budget				
Item	Quantity		Unit Price	Total
Site Work:				
◆ Rough grading/Demolition				\$ 1,000.00
◆ Final grading				\$ 1,000.00
◆ Pavement	1,760	SY	\$ 10.00	\$ 17,600.00
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◆ Sidewalks	1,600	SF	\$ 4.00	\$ 6,400.00
◆ Storm drainage				\$ -
catch basins	1	pc	\$ 1,000.00	\$ 1,000.00
drywell	1	pc	\$ 1,000.00	\$ 1,000.00
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◆ Signage	4		\$ 200.00	\$ 800.00
◆ Landscaping	21	pc	\$ 50.00	\$ 1,050.00
◆ Lighting	3	pc	\$ 1,000.00	\$ 3,000.00
◆ Dumpster Enclosure	1	pc	\$ 2,000.00	\$ 2,000.00
Total:				\$ 42,364.00



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
112 DICKSON STREET
NEWBURGH, NY 12550-5324
(845) 562-8368

ROBERT A. DENNISON, III, P. E.
REGIONAL DIRECTOR

JOSEPH H. BOARDMAN
COMMISSIONER

March 7, 2005

Anthony J. Coppola, R.A.
375 Third Street
Newburgh, NY 12550

**RE: Access Improvement for 3062 Route 9W
Town of New Windsor, Orange County**

Dear Mr. Coppola:

This letter is to inform you that the New York State Department of Transportation has reviewed the plans submitted by your office for the above referenced project. The Department finds the conceptual plan acceptable. Please revise the plan to include the One-Way sign that shall be installed in the median on Route 9W facing the exiting traffic in the proposed driveway, as per our telephone conversation.

Upon receiving the Town of New Windsor Planning Board approval for this project, the owner will be required to submit the revised sets of site plans, including traffic control plans, as well as application forms and fees to obtain a Highway Work Permit.

Please remind the applicant that no work shall be performed within the state right-of-way until a Highway Work Permit has been issued by the Department. If you have any questions, please call me at the phone number above. Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Siby Mary Zachariah-Carbone".

Siby Mary Zachariah-Carbone
Permit Engineer, Orange County East

cc: Kenneth Dodge, R.E., Res. 8-4
Glenn Boucher, R-8 Permits
Mark J. Edsall, P.E., P.P., New Windsor Planning Board Engineer
file



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TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: 3062 ROUTE 9W – CENTRAL VALLEY REAL ESTATE
PROJECT LOCATION: US RT. 9W (Northbound Side)
SECTION 9 – BLOCK 2 – LOT 2
PROJECT NUMBER: 04-11
DATE: 14 JULY 2004
DESCRIPTION: THE APPLICATION PROPOSES DEVELOPMENT OF A 2-STORY OFFICE BUILDING ADDITION (FRONTING ON 9W) AND A SEPARATE OFFICE/STORAGE BUILDING (OLD RT. 9W SIDE). THE PLAN WAS PREVIOUSLY REVIEWED AT THE 26 MAY 2004 PLANNING BOARD MEETING.

1. The project is located in a NC zoning district of the Town. The existing office building will be substantially expanded with a 2-story addition on the south side, and the existing non-conforming apartment building is being eliminated and replaced with a contractor's office/storage building near Old Rt. 9W. The office use is use A-7, and the contractor's office and storage building could also be classified as A-7.
2. I have reviewed the plan and resubmittal, and have the following comments:
 - The survey from licensed surveyor which documents current 2' 5' setback for the easterly building has not been received.
 - The parking calculation has been corrected, adequate parking is provided, and the distribution between the upper and lower levels of the site is very good.
3. Approval of the NYSDOT is necessary. I am currently trying to set a meeting with the new representative at the Newburgh Permit Office to review this application and establish coordination procedures for the board with that new representative.
4. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 48-19.C of the Town Zoning Local Law.

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• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

5. A bond estimate has been submitted for the site work, in conformance with the code. It is currently under review.
6. Other than the coordination with DOT and closing out SEQRA, I am aware of no other outstanding issues.

Respectfully Submitted,



Mark P. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-11-14 July04.doc



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

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□ Main Office
33 Airport Center Drive
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e-mail: mhany@mhepc.com

□ Regional Office
507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2765
e-mail: mhpea@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor **P/B APP. NO.:** _____

WORK SESSION DATE: 1 Sept 2004 **PROJECT:** NEW _____ OLD X

REAPPEARANCE AT W/S REQUESTED: No **RESUB. REQ'D:** _____

PROJECT NAME: 3062 9W

REPRESENTATIVES PRESENT: Mario + Nick Jr.

MUNICIPAL REPS PRESENT:

BLDG INSP. _____	FIRE INSP. _____
ENGINEER <u>X</u>	PLANNER _____
P/B CHMN _____	OTHER _____

ITEMS DISCUSSED:

- waiting for DOT resp.

- was cost est submitted

- need Murray my survey stamped for rev bldg

STND CHECKLIST:

DRAINAGE _____

DUMPSTER _____

SCREENING _____

LIGHTING _____

(Streetlights) LANDSCAPING _____

BLACKTOP _____

ROADWAYS _____

APPROVAL BOX _____

PROJECT TYPE

SITE PLAN _____

SPEC PERMIT _____

L L CHG. _____

SUBDIVISION _____

OTHER _____

PROJECT STATUS

ZBA Referral: Y _____ N

Ready For Meeting Y _____ N

Recommended Mtg Date _____



RESULTS OF P.B. MEETING OF: July 14, 2004
 PROJECT: 3062 Rt. 9W - Cent. Valley Real Estate P.B. # 04-11

LEAD AGENCY:

AUTHORIZE COORD. LETTER: Y N
 TAKE LEAD AGENCY: Y N

M) S) VOTE: A N
 CARRIED: Y N

NEGATIVE DEC:

M) A S) L VOTE: A 5 N 0
 CARRIED: Y N

PUBLIC HEARING: WAIVED: CLOSED:

M) A S) S VOTE: A 5 N 0 SCHEDULE P.H.: Y N

SEND TO O.C. PLANNING: Y
 SEND TO DEPT. OF TRANSPORTATION: Y

REFER TO Z.B.A.: M) S) VOTE: A N

RETURN TO WORK SHOP: Y N

APPROVAL:

M) A S) S VOTE: A 5 N 0 APPROVED: 7/14/04

NEED NEW PLANS: Y N

CONDITIONS - NOTES:

Mark will meet w/D.O.T.
Need Cost est - have it
Mark's Comments



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
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e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor **P/B APP. NO.:** 04-11

WORK SESSION DATE: 4 AUG 2004 **PROJECT:** NEW OLD X

REAPPEARANCE AT W/S REQUESTED: **RESUB. REQ'D:**

PROJECT NAME: Sandcath / CV Real Est.

REPRESENTATIVES PRESENT: Anthony Capella

MUNICIPAL REPS PRESENT: BLDG INSP. FIRE INSP.
ENGINEER X PLANNER
P/B CHMN OTHER

ITEMS DISCUSSED:

- need survey still
MJK need
DUT
Letter
(already has conditional approval)

STND CHECKLIST: **PROJECT TYPE**

DRAINAGE **SITE PLAN**
DUMPSTER **SPEC PERMIT**
SCREENING **L L CHG.**
LIGHTING **SUBDIVISION**
(Streetlights)
LANDSCAPING **OTHER**

BLACKTOP
ROADWAYS
APPROVAL BOX

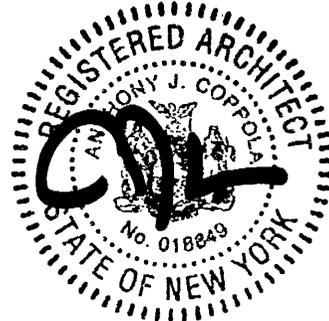
PROJECT STATUS:
ZBA Referral: Y X N
Ready For Meeting Y X N

Recommended Mtg Date: next avail
date

3062 Route 9W Site Work Construction Budget

Item	Quantity		Unit Price	Total
Site Work:				
◆ H/C signage	2	pc	\$150	\$ 300.00
◆ Rough grading/Demolition				\$ 1,000.00
◆ Final grading				\$ 1,000.00
◆ Pavement	1,760	SY	\$ 10.00	\$ 17,600.00
◆ Curbing	450	LF	\$ 15.00	\$ 6,750.00
◆ Sidewalks	1,600	SF	\$ 4.00	\$ 6,400.00
◆ Storm drainage				\$ -
catch basins	1	pc	\$ 1,100.00	\$ 1,100.00
drywell	1	pc	\$ 1,600.00	\$ 1,600.00
piping	20	LF	\$ 25.00	\$ 500.00
◆ Striping	33	space	\$ 8.00	\$ 264.00
◆ Signage	4		\$ 200.00	\$ 800.00
◆ Landscaping	21	pc	\$ 50.00	\$ 1,050.00
◆ Lighting	3	pc	\$ 1,500.00	\$ 4,500.00
◆ Dumpster Enclosure	1	pc	\$ 2,000.00	\$ 2,000.00
Total:				\$ 44,864.00

COPPOLASSOCIATES



Wednesday, April 20, 2005

Hand Delivery
Town of New Windsor Building Department
555 Union Avenue
New Windsor, New York 12553
Attn: James Petro

PROJECT: 3062 ROUTE 9W – CARDAROPOLI (02-118)

Dear Mr. Petro:

Please accept this letter as our request to re-approve our previous conditional approval for the site plan application at 3062 Route 9W.

Last July 2004, the planning board granted conditional approval to the site plan, subject to D.O.T. review and approval. It has taken us the last eight (8) months to receive an approval letter from the resident engineer.

As always, please contact my office if you have any other questions.

Very Truly Yours,

Anthony J. Coppola

Anthony J. Coppola, R.A.
cc: Nick Cardaropoli, Jr.

*Note:
Approved for 180 days - Then
you are able to get 2 90-day
extensions*

Myra



3062 RT. 9W (CENTRAL VALLEY REAL ESTATE) (04-11)

Mr. Anthony Coppola appeared before the board for this proposal.

MR. PETRO: Proposed two story office building adjoining existing one story office building for Ben Harris. Application proposes development of a two story office building addition fronting on 9W and a separate office storage building on old Route 9W. Site plan was previously reviewed at the 26 May, 2004 planning board meeting, NC zone. All right you're going to have a few comments here from Mark that you're going to have to straighten out with him. What's the resolution here?

MR. EDSALL: That's a separate issue. Mr. Chairman, they made a lot of real good progress. The only thing we want to document for the record including for the building inspector is that the old building in fact was two foot five inches off so I asked for a copy of an old survey. And second comment just letting you know that we worked out the parking, it's fine now. The only open item is for us complete with DOT, DOT changed some personnel, there's a new person up in the Dixon Street permitting office, I have contacted them to set up a meeting to go over this application and some other issues and I'm hopeful that we can get that on the record very soon.

MR. PETRO: What's the change on the plans since the last time we've seen it?

MR. COPPOLA: Mostly they're housekeeping items, they had to do with the parking calculation, I believe there was a correction made in the bulk table, we had added handicapped parking space down here, we reworked the area right around the dumpster, the overall parking stayed the same, the building location stayed the same, we really kind of went right through Mark's comments

and really there was a no parking sign that we corrected, I think they're in basically details and things like that, nothing substantial as far as the building or the parking.

MR. PETRO: Didn't we have a public hearing on this or we waived it I think?

MR. COPPOLA: No.

MR. PETRO: Planning board should determine for the record if a public hearing will be required for this site plan per its discretionary judgment. I will listen to all the members. Ron, we'll start with you.

MR. LANDER: Well, first time I've seen it, Mr. Chairman.

MR. PETRO: I think they're taking down a couple old houses behind Ben, there's shacks down there, I hate to call your property shacks, but they're not in good shape, they're cleaning it up and they want to put up a newer building there.

MR. LANDER: Is this by the Chess Federation?

MR. PETRO: Right next door.

MR. SCHLESINGER: Is that Eric's building?

MR. PETRO: Eric bought the Chess Federation so he'd be the neighbor we'd be contacting so I don't think, and you've got the big hole on the other side then you have the doctor's office on the other side.

MR. MASON: There's really nobody around there.

MR. SCHLESINGER: We waived it for Eric, right, same area.

MR. ARGENIO: We shouldn't of.

MR. COPPOLA: I can remember for the triangle building nobody came to the public hearing.

MR. ARGENIO: I agree with the flavor that we're getting from the other members.

MR. PETRO: What or you think Eric should come back here?

MR. ARGENIO: I think Eric should definitely come back. I said that last meeting. But I think we should waive the public hearing for this.

MR. PETRO: Do you have anything?

MR. KARNAVEZOS: I have no problem with that.

MR. PETRO: Motion to waive the public hearing.

MR. ARGENIO: So moved.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment for the 3062 Route 9W Central Valley Real Estate 9W site plan. Any further comment from the board members? If not, roll call.

ROLL CALL

MR. LANDER	AYE
MR. SCHLESINGER	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. EDSALL: Approval from New York State DOT is

necessary, I'm currently trying to set a meeting with the new rep, I guess somebody quit down there, Mr. Burns is no longer there. I've heard some positive comments but I can tell you that if you're so inclined as to grant a conditional approval since this is not a new curb cut but they're merely reorienting some curbing along the access, I think that would be fair if you agree and I will just make sure that we--

MR. COPPOLA: For what it's worth, I checked the file when this was originally approved, I was, we got approval ten years ago.

MR. EDSALL: That's 14 employees at DOT years ago.

MR. ARGENIO: Did you apply for the work under the 14 year old permit, is that what you tried to do?

MR. COPPOLA: No.

MR. EDSALL: I'll check with Elgie, see if he signed off on it.

MR. PETRO: Bond estimate has to be submitted for the site work.

MR. EDSALL: We've got that and it's in review.

MR. PETRO: And motion for negative dec.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec for the 3062 Route 9W Central Valley Real Estate on 9W site plan. Any further discussion? If not, roll call.

ROLL CALL

MR. LANDER AYE
MR. SCHLESINGER AYE
MR. KARNAVEZOS AYE
MR. ARGENIO AYE
MR. PETRO AYE

MR. PETRO: Entertain a motion for conditional approval, final approval subject to.

MR. ARGENIO: I'll make that motion subject to DOT approval which Mark is working on.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval subject to the DOT signing off on the plan, survey from the licensed surveyor which documents, the setback being received, parking calculation being corrected and the bond estimate being accepted by Mr. Edsall. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. LANDER AYE
MR. SCHLESINGER AYE
MR. KARNAVEZOS AYE
MR. ARGENIO AYE
MR. PETRO AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhapa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF: NEW Windsor P/B APP. NO.: 04-11

WORK SESSION DATE: 7 JULY 2004 PROJECT: NEW OLD

REAPPEARANCE AT W/S REQUESTED: NO RESUB. REQ'D: new plan

PROJECT NAME: 3062 Rt 9W

REPRESENTATIVES PRESENT: Nick Jr. + Maria

MUNICIPAL REPS PRESENT: BLDG INSP. ENGINEER FIRE INSP. PLANNER OTHER
P/B CHMN OTHER

<u>ITEMS DISCUSSED:</u>	<u>STND CHECKLIST:</u>	<u>PROJECT TYPE</u>
- will send work documentation w/ cover letter showing existing setbacks (NY/PE) 2'-5" - 7'-11"	DRAINAGE _____	SITE PLAN
- Cost est. -	DUMPSTER _____	SPEC PERMIT
depth and size - reduce to get 5' clear.	SCREENING _____	L.L. CHG.
	LIGHTING _____	SUBDIVISION
	(Streetlights)	OTHER
	LANDSCAPING _____	
	BLACKTOP _____	
	ROADWAYS _____	
	APPROVAL BOX _____	

PROJECT STATUS:
ZBA Referral: Y N
Ready For Meeting Y N

Recommended Mtg Date next avail

3062 RT. 9W (CENTRAL VALLEY REAL ESTATE) (04-11)

Mr. Anthony Coppola and Mr. Nick Cardaropoli appeared before the board for this proposal.

MR. PETRO: This is not the hole, this is the other thing that we worked on but didn't we do this years ago?

MR. COPPOLA: Yes. I'll begin with that, this a very, very similar plan, site plan was approved probably was over five years ago by this planning board and the similarities basically are a new office expansion to existing one story office building where Ben Harris Real Estate used to be, which is kind of a cape style house.

MR. PETRO: Existing is the Chess Federation?

MR. COPPOLA: Well, the Chess Federation is here, that's not our property. On the other adjacent parcel is the long rectangular property that we're going, the facade renovation on that is all the way to the corner, but our parcel's right in the middle of the two, there's two buildings build goes exist on this parcel now, one is the office building, when you say very small cape house that fronts on 9W, the second building is a four dwelling unit which the building which is on the back side of the property. So really one of our fundamental differences between this proposal and the last one that was approved is what we're proposing to do now is to completely, demolish those four dwelling units which are a non-conforming use and really just discontinue that use entirely. Part of the reasoning there was one for such a small building it took up 8 parking spaces but we felt that really this would be a better use to do something different there and bring the whole property up to a conforming use.

MR. PETRO: Where is the building you're knocking down,

show me that?

MR. COPPOLA: That's this footprint here, taking down those cabins in the back of the building that the Town didn't like. So what we're proposing there is to demolish that entirely down to the footings and the foundation wall and reconstruct a new building in the same footprint but for an office warehouse or office, contractor's office use.

MR. PETRO: Which is a conforming use?

MR. COPPOLA: Right, we'd probably put an overhead door there which would be adjacent to the lower parking lot and one small office in there. It's non-conforming in terms of the setbacks but I guess that's one of the things we're looking at tonight is what we would be required to do for that. And then the front building is basically a large expansion addition to that existing office building and that's two stores and that's a total of it says 1,900 square feet but that's per floor so that's a total of 3,800 square feet there. And that fronts 9W. There's 16 parking spaces up on top and then the bottom parking lot is 17 parking spaces so that essentially equals out top and bottom.

MR. PETRO: Anthony, did you get a copy of Mark's comments?

MR. COPPOLA: Just right now. So that's our proposal, new office building, contractor's office in the rear, parking lot above and below, the rest of the features, the drainage features, the landscaping, the connecting parking lot, those are the same as the original site plan, even though that was years ago.

MR. CARDAROPOLI: We have to clean up this side before we can start over here because this needed a lot of work so if you drive by, you'll see this building looks like a new building. It's been all done over and the

cabins have always been a sore spot with New Windsor because they're non-conforming so we'll take them down even though they were cash cows.

MR. PETRO: I know that you will do a fine job. The planning board may wish to assume the position of lead agency, entertain a motion.

MR. ARGENIO: Make a motion we take lead agency.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the Central Valley Real Estate on 9W application. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Anything from fire or highway on this? Anthony, there's a lot of bullets on Mark's comments, we're not going to go over them all, you'll cover whatever he's asking put on the next set of plans, preliminarily this looks fine, I don't really foresee any problems.

MR. COPPOLA: Yeah, we'll make those corrections, go to a workshop and go from there. Planning board may wish to authorize issuance of a lead agency coordination letter for the project to begin a SEQRA review process. Applicant should submit six sets of drawings for this purpose.

MR. EDSALL: Send it DOT I believe is the only involved

agency.

MR. PETRO: Now, are you changing any of the curb cuts at all, doing anything?

MR. COPPOLA: The one here, yes, you can see there's outline of some demo cause it's like an angular access so yeah and that's all in their right-of-way.

MR. PETRO: So we're going to need the permit and the whole thing.

MR. BABCOCK: Why are you changing it?

MR. PETRO: Flow of traffic.

MR. COPPOLA: It's a directional, it's a directional access right now so we're making it two way right there.

MR. BABCOCK: It's too bad you have to change it.

MR. COPPOLA: There's so much land that if you look at the lot line its way in, we're going to be doing the work in the right-of-way almost irregardless.

MR. PETRO: We had that down at the Orange Boat Sales when I did it, I think it was 45 feet from the center line, the property went way over so whatever we did even just grading and stuff, it was a natural, I had to get a permit. Okay, anyway, submittal of this application and plan to New York State DOT will be necessary. Any of the board members have any other comment? I think it's pretty forward. I kind of like the idea they're taking down the cabins, making a conforming use, I think if you clean up a lot of Mark's comments here, get that lead agency coordination letter sent out so 30 days passed just in case we want to be set up for a public hearing, we can get that done, I'm not sure that we will or we won't, we'll cross that

May 26, 2004

30

bridge, get them out anyway and I think it looks fine.

MR. COPPOLA: Thank you very much.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

**RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)**

**MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)**

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: 3062 ROUTE 9W – CENTRAL VALLEY REAL ESTATE
PROJECT LOCATION: US RT. 9W (Northbound Side)
SECTION 9 – BLOCK 2 - LOT 2
PROJECT NUMBER: 04-11
DATE: 26 MAY 2004
DESCRIPTION: THE APPLICATION PROPOSES DEVELOPMENT OF A 2-STORY OFFICE BUILDING ADDITION (FRONTING ON 9W) AND A SEPARATE OFFICE/STORAGE BUILDING (OLD RT.9W SIDE). THE PLAN WAS REVIEWED ON A CONCEPT BASIS.

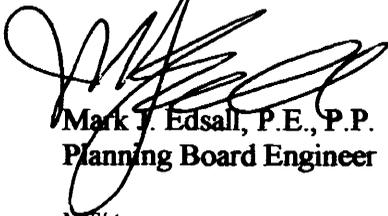
1. The project is located in a NC zoning district of the Town. The existing office building will be substantially expanded with a 2-story addition on the south side, and the existing non-conforming apartment building is being eliminated and replaced with a contractor's office/storage building near Old Rt. 9W. The office use is use A-7, and the contractor's office and storage building could also be classified as A-7.
2. I have reviewed the plan on a concept basis and have the following comments:
 - The required rear yard setback is 15 ft, not 35 ft.
 - The maximum development coverage is 85%, not n/a.
 - Applicant's architect should check the provided lot width value, it appears incorrect.
 - The provided side yard setback (minimum) appears to be 2'-5" which is indicated as identical to the existing apartment building. Correct table. Also, submit survey from licensed surveyor which documents current 2' 5' setback.
 - All building setbacks (both side and front) should be indicated on the plan view.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

- Indicate the building square footage (total floor areas) on the plan or in a table.
 - The parking calculation should reflect the floor areas in the calculation.
 - The plan should provide actual areas proposed for office and materials storage for the rear building.
 - We recommend that the sidewalks be 4000 psi as is indicated for the curbing.
 - Per new code requirements, a sign is require in front of the cross-hatched access lane of the handicapped parking space. The sign must read “No Parking – Any Tiime”
 - Please modify handicapped parking space striping such that the exterior of the handicapped space has both a blue and white striped line.
 - The lower area must have a handicapped parking space.
 - The details include both a catch basin and a drywell, but the plans seem to only have one drywell. What other drainage provisions are intended?
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
 4. The Planning Board may wish to authorize the issuance of a Lead Agency Coordination letter for the project, to begin the SEQRA review process. The applicant should submit six (6) sets of drawings and the environmental form for this purpose.
 5. Submittal of this application/plan to the NYSDOT will be necessary.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-11-26May04.doc

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: James Petro, Planning Board Chairman

FROM: John McDonald, Fire Inspector



SUBJECT: 3062 Route 9W Central Valley Real Estate
PB04-11

DATE: May 21, 2004

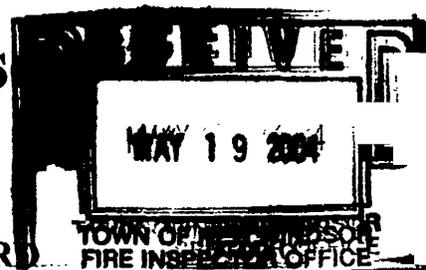
Fire Prevention Reference Number: FPS-04-021

The above referenced site plan was reviewed and deemed to be acceptable.



Town of New Winds

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693



OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: FIRE INSPECTOR

P.B. FILE #04-11 DATE RECEIVED: 05-18-04

**PLEASE RETURN COMPLETED FORM TO MYRA
BY: 05-24-04 TO BE ON AGENDA FOR THE 05-26-04 PLANNING BOARD
MEETING.**

THE MAPS AND/OR PLANS FOR:

3062 RT. 9W - CENTRAL VALLEY REAL ESTATE

Applicant or Project Name

SITE PLAN XXX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

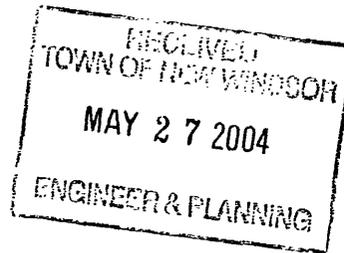
Signature: *J. Donald* 5/20/2004
Reviewed by date

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#491-2004

05/19/2004

Central Valley Real Estate, Inc.



Received \$ 125.00 for Planning Board Fees, on 05/19/2004. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 05/19/2004

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 4-11

NAME: 3062 RT. 9W - CENTRAL VALLEY REAL ESTATE

APPLICANT: CENTRAL VALLEY REAL ESTATE

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/19/2004	REC. CK. #27990	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

Received JN

5/19/04

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan **X** Special Permit _____

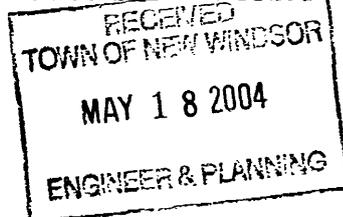
Tax Map Designation: Sec. 9 Block 2 Lot 2

BUILDING DEPARTMENT REFERRAL NUMBER 2002 - 1097

1. Name of Project Site Plan Amendment for Central Valley Real Estate at 3062 Route 9W (formerly 190)
2. Owner of Record Central Valley Real Estate Phone (845)629-4748
Address: P.O. Box 487, Cornwall-on-Hudson, NY 12520
(Street Name & Number) (Post Office) (State) (Zip)
3. Name of Applicant Central Valley Real Estate Phone (845)629-4748
Address: P.O. Box 487, Cornwall-on-Hudson, NY 12520
(Street Name & Number) (Post Office) (State) (Zip)
4. Person Preparing Plan Anthony J. Coppola, Architect Phone (845)561-3559
Address: 375 Third Street, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street Name & Number) (Post Office) (State) (Zip)
6. Person to be notified to appear at Planning Board meeting:
Anthony Coppola (845)561-3559
(Name) (Phone)
7. Project Location: On the east side of Route 9W 100 feet
(Direction) (Street) (No.)
south of Old Route 9W
(Direction) (Street)
8. Project Data: Acreage 26,700 s.f. Zone N.C. School Dist. _____

PAGE 1 OF 2

(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)



04-11

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

*This information can be verified in the Assessor's Office.

*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Description of Project: (Use, Size, Number of Lots, etc.)
Proposed 1,900 s.f. 2 story office addition connected to existing 1 story office building.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

18th DAY OF May, 2004

STEPHANIE L. WATKINS
Notary Public, State of New York
No. 01WA6052534

[Signature]
APPLICANT'S SIGNATURE

[Signature]
NOTARY PUBLIC
Qualified in Dutchess County
Commission Expires December 18, 2007

Richards J. Cardozo, JR.
Please Print Applicant's Name as Signed

TOWN USE ONLY
TOWN OF NEW WINDSOR
MAY 18 2004
DATE APPLICATION RECEIVED
ENGINEER & PLANNING

04-11
APPLICATION NUMBER

RECEIVED
TOWN OF NEW WINDSOR
MAY 18 2004
ENGINEER & PLANNING

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Central Valley Real Estate, deposes and says that he resides
(OWNER)

at P.O. Box 487, Cornwall-on-Hudson in the County of Orange
(OWNER'S ADDRESS)

and State of New York and that he is the owner of property tax map

(Sec. 9 Block 2 Lot 2)
designation number (Sec. _____ Block _____ Lot _____) which is the premises described in

the foregoing application and that he authorizes:

(Applicant Name & Address, if different from owner)

Anthony J. Coppola, Architect, 375 Third Street, Newburgh, NY 12550

(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 5/18/04

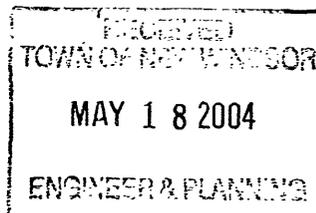
[Signature]
Owner's Signature

[Signature]
Witness' Signature

Applicant's Signature if different than owner

[Signature]
Representative's Signature

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.



04-11

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

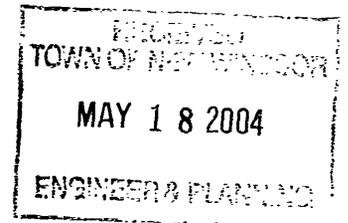
ITEM

- 1. X Site Plan Title
- 2. X Provide 4" wide X 2" high box **(IN THE LOWEST RIGHT CORNER OF THE PLAN)** for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



- 3. X Applicant's Name(s)
- 4. X Applicant's Address
- 5. X Site Plan Preparer's Name
- 6. X Site Plan Preparer's Address
- 7. X Drawing Date
- 8. X Revision Dates
- 9. X Area Map Inset and Site Designation
- 10. _____ Properties within 500' of site
- 11. _____ Property Owners (Item #10)
- 12. X Plot Plan
- 13. X Scale (1" = 50' or lesser)
- 14. X Metes and Bounds
- 15. X Zoning Designation
- 16. X North Arrow
- 17. _____ Abutting Property Owners
- 18. X Existing Building Locations
- 19. X Existing Paved Areas
- 20. X Existing Vegetation
- 21. X Existing Access & Egress



PROPOSED IMPROVEMENTS

- 22. X Landscaping
- 23. X Exterior Lighting
- 24. X Screening
- 25. X Access & Egress
- 26. X Parking Areas
- 27. _____ Loading Areas
- 28. X Paving Details (Items 25 - 27)
- 29. X Curbing Locations
- 30. X Curbing through section
- 31. X Catch Basin Locations
- 32. X Catch Basin Through Section
- 33. X Storm Drainage
- 34. X Refuse Storage
- 35. _____ Other Outdoor Storage
- 36. _____ Water Supply
- 37. _____ Sanitary Disposal System
- 38. _____ Fire Hydrants
- 39. X Building Locations
- 40. X Building Setbacks
- 41. _____ Front Building Elevations
- 42. X Divisions of Occupancy
- 43. X Sign Details
- 44. X Bulk Table Inset
- 45. X Property Area (Nearest 100 sq. ft.)
- 46. _____ Building Coverage (sq. ft.)
- 47. _____ Building Coverage (% of total area)
- 48. _____ Pavement Coverage (sq. ft.)
- 49. _____ Pavement Coverage (% of total area)
- 50. _____ Open Space (sq. ft.)
- 51. _____ Open Space (% of total area)
- 52. X No. of parking spaces proposed
- 53. X No. of parking spaces required

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TOWN OF NEWINGTON
MAY 18 2004
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PROJECT I.D. NUMBER

617.20

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Central Valley Real Estate	2. PROJECT NAME Site Plan Amendment
3. PROJECT LOCATION: Municipality Town of New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 3062 (formerly 190) Route 9W, 100 feet south of Old Route 9W	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Proposed 1,900 s.f. 2 story office addition connected to existing 1 story office building.	
7. AMOUNT OF LAND AFFECTED: Initially <u>0.61</u> acres Ultimately <u>0.61</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly Parking variance is required.	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency name and permit/approval D.O.T. approval for ingress/egress	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Nicholas J. Cardenas Jr</u>	Date: <u>5/18/04</u>
Signature: <u>[Signature]</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

RECORDED
TOWN OF NEW WINDSOR
MAY 18 2004
ENGINEER & PLANNING

OVER
1

04-11

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR. PART 617.4? *if yes, coordinate the review process and use the FULL EAF.*
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR. PART 617.6? *If No, a negative declaration may be superseded by another involved agency.*
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly
No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly
No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly.
No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.
No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.
No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.
No

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA?
 Yes No

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No *If Yes, explain briefly*

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination and significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

 Name of Lead Agency

 Print or Type Name of Responsible Officer in Lead Agency

 Title of Responsible Officer

 Signature of Responsible Officer in Lead Agency

 Signature of Preparer (If different from responsible officer)

 Date

TOWN OF NEW BRUNSWICK
 MAY 18 2004
 ENGINEER & PLANNING

04-11



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenry@mhepc.com

Regional Office
507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor

P/B APP. NO.:

100-3
04-11

WORK SESSION DATE: 5 MAY 2004

PROJECT: NEW OLD

REAPPEARANCE AT W/S REQUESTED: No

RESUB. REQ'D: new plans

PROJECT NAME: 3062 ~~190 Rt 9w~~ STP

new app

REPRESENTATIVES PRESENT: Anthony Coppola, Nick Jr.

MUNICIPAL REPS PRESENT:
3062
BLDG INSP. _____
ENGINEER
P/B CHMN _____

FIRE INSP. _____
PLANNER _____
OTHER _____

ITEMS DISCUSSED: 190 Rt 9w. office.

STND CHECKLIST:

PROJECT TYPE

replanning 4 unit road to
contractor office + large
warehouse

- DRAINAGE _____
- DUMPSTER _____
- SCREENING _____
- LIGHTING _____
(Streetlights)
- LANDSCAPING _____
- BLACKTOP _____
- ROADWAYS _____
- APPROVAL BOX _____

- SITE PLAN
- SPEC PERMIT
- L L CHG.
- SUBDIVISION
- OTHER

next avail meeting
for initial review.

PROJECT STATUS:

ZBA Referral: _____ Y _____ N
CONCEPT
Ready for Meeting Y _____ N
Recommended Mtg Date _____

Site Plan Notes:

- The proposed site plan is for a two story office building and a one story office/storage building, allowable under use A7 of the Town of New Windsor Zoning Ordinance. The proposed building will not be sprinklered.
- The project applicant is Central Valley Real Estate, P.O. Box 487, Cornwall-on-Hudson, New York, 12520.
- All building signs shall conform to the Town of New Windsor sign ordinance Section 48-1811.

The contractor shall obtain a NYSDOT work permit for all work within the NYS Route 9W right of way. All work shall conform to NYSDOT requirements.

Landscaping Schedule:

Symbol	Latin Name	Common Name	Size	Quantity
	Juniperus Sabina	Tamarix Juniper	6"-12" high	13
	Thuja Occidentalis	Globe Arborvitae	18"-30" high	7
	C. Kousa Chinesus	White Dogwood	4'-5' high	1

Parking Calculation

Building	Square Feet	Office Parking @ 1/150 s.f.	Storage Parking @ 1/1000 s.f.
Building 1	685.00	4.39	0.00
Building 1 Addition	3772.00	25.15	0.00
Building 2	396 office, 584 storage	2.64	0.58
Total Required		32.18	0.58
Proposed			33.00

Bulk Table Requirements for NC Zoning District

Town of New Windsor, N.Y.		
Requirements	Required	Actual
Minimum Lot Size	10,000 s.f.	26,385 s.f.
Lot Width	100 feet	175 feet
Front Yard Setback	40 feet	7'-11" * & 45'-5"
Rear Yard Setback	15 feet	NA
Side Yard Setback	15 feet/ 35 feet combined	2'-5" *
Max. Building Height	35 feet	24 feet
Required Street Frontage	NA	NA
Floor Area Ratio	1	0.14
Development Coverage	85%	84%
Parking Space Size	9'-0"x19'-0"	9'-0"x19'-0"
Required HC Parking	2	2
Required Parking	33	33

* Pre-existing non conforming condition

Site Lighting Schedule

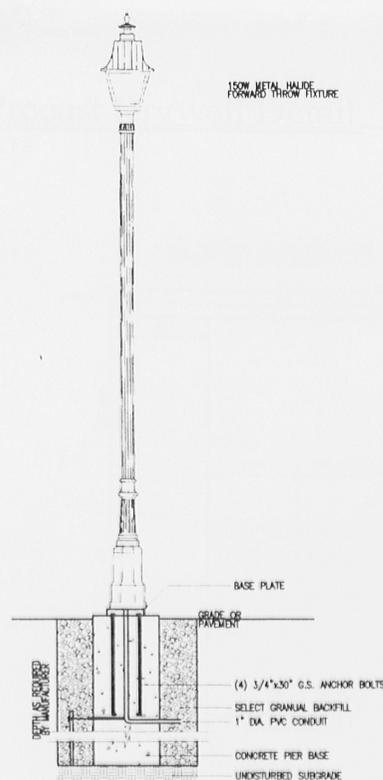
Label	Quantity	Mounting Height	Catalog Number	Detail #
A	3	15'-0"	Lumec 150MH-140-PCC-SGFM-X-1/ RA41-15-DK	2/SP1

Site Lighting Notes:

- All parking lighting as manufactured by Thomas Lighting Co., distributed by Pyramid Lighting Group., (914) 699-1996



1 Site Location Map
SP1 NTS



2 Lighting Detail
SP1 NTS



3 Site Plan
SP1 1"=20'-0"

Anthony J. Coppola
Design, Architecture and Planning
375 Third St., Newburgh, N.Y. 12550
Tel: 845-561-3559 Fax: 845-561-2051
Email: coppolaarchitect@aol.com



License Number: 018849

SITE PLAN AMENDMENT FOR CENTRAL VALLEY REAL ESTATE AT

3062 ROUTE 9W

New Windsor, New York

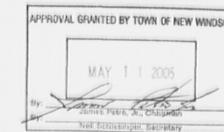
SITE PLAN & DETAILS

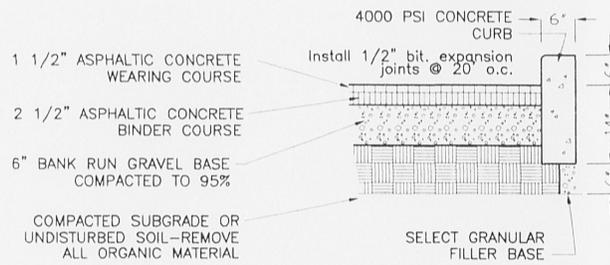
Revisions
3/25/05
4/18/05

Drawn By:
AJC
Date:
12/17/04

AS NOTED
PROJECT NUMBER:
02-118

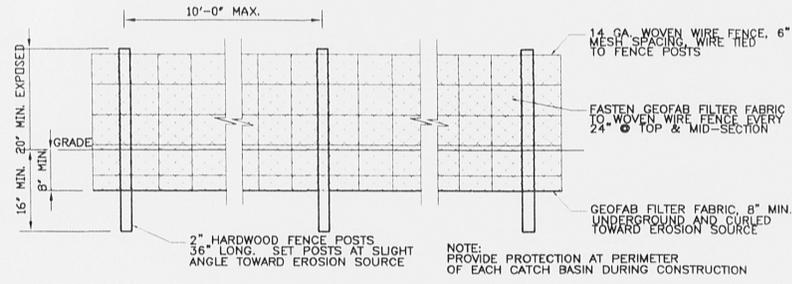
Sheet No.
SP1
OF 3





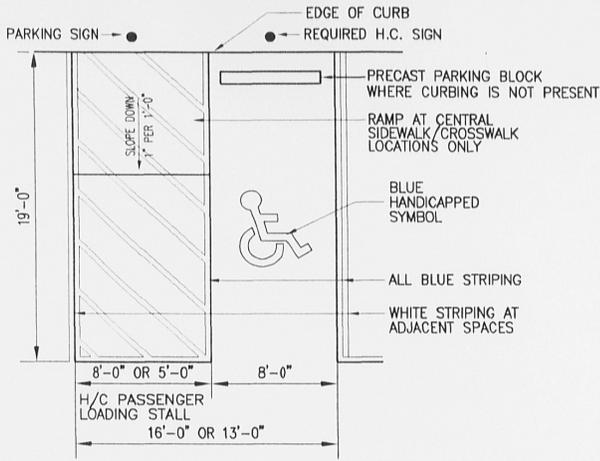
1 Pavement & Curb Detail

SP2 Scale: 1"=1'-0"



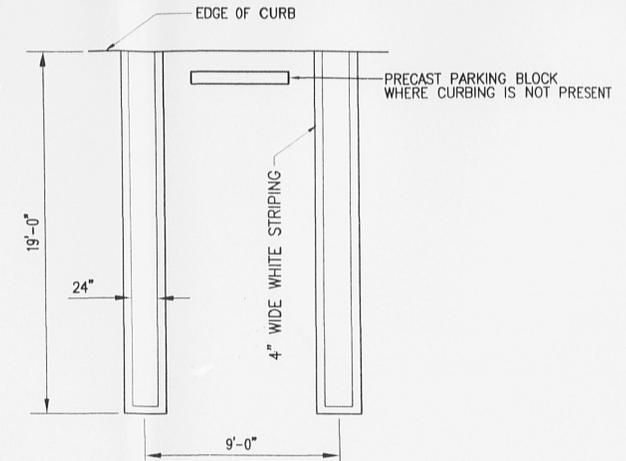
2 Erosion Control Fence Detail

SP2 NTS



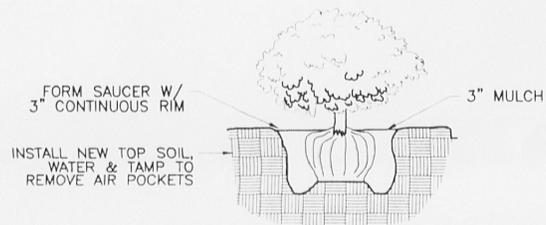
3 HC Space Detail

SP2 Scale: 1-1/2"=1'-0"



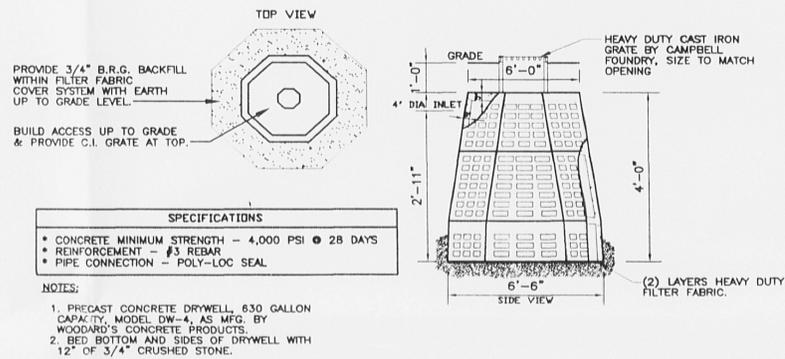
4 Typical Parking Space

SP2 NTS



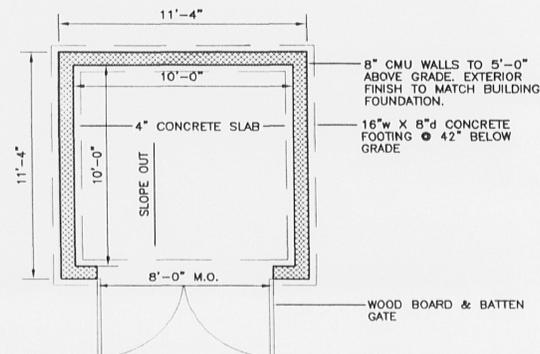
5 Planting Detail

SP2 NTS



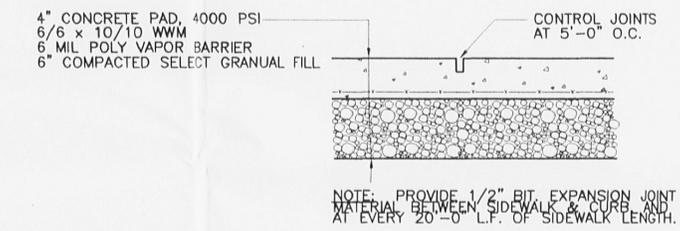
6 Precast Drywell Detail

SP2 NTS



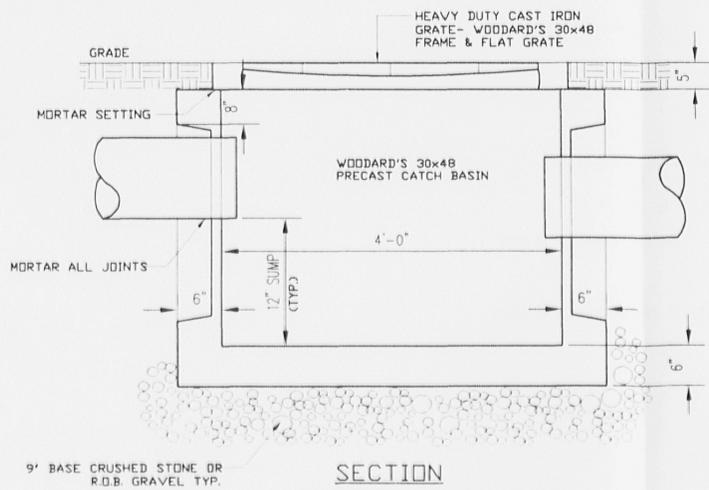
7 C.M.U. Enclosure Detail

SP2 Scale: 1/4"= 1'-0"



8 Walkway Detail

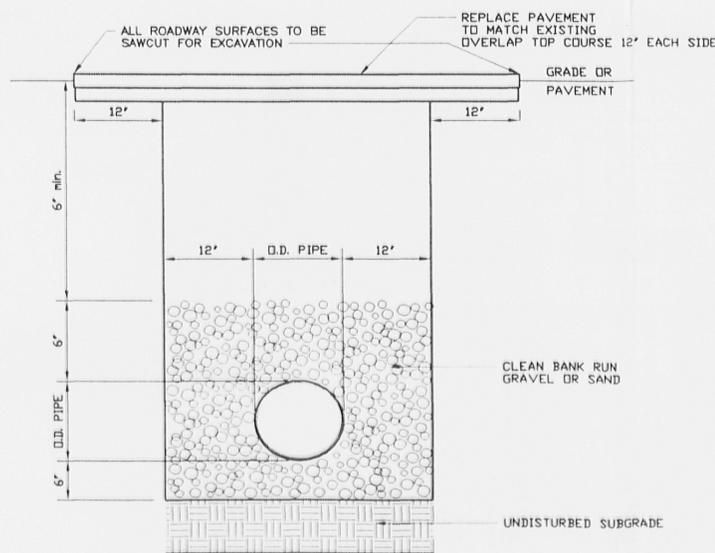
SP2 Scale: 1"=1'-0"



NOTES:
 1. ALL PIPES SHALL BE INSTALLED FLUSH WITH INSIDE WALLS.
 2. TOP OF PIPES ARE TO BE MATCHED WHERE INLET DIAMETER IS SMALLER THAN OUTLET DIAMETER.
 3. CONCRETE STRENGTH OF 4,000PSI @ 28 DAYS.
 4. REINFORCEMENT: 6"x6"x10 GA. WIRE MESH.
 5. HED LOADING REQUIREMENT.
 6. PROVIDE PROTECTION AT PERIMETER OF EACH CATCH BASIN DURING CONSTRUCTION

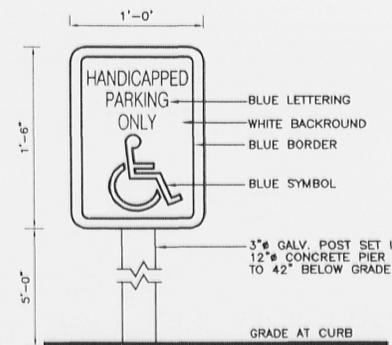
9 Catch Basin Detail

SP2 Scale: 1-1/2"=1'-0"



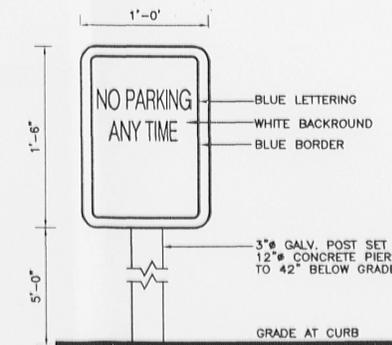
10 Typical Trench Detail

SP2 Scale: 1-1/2"=1'-0"



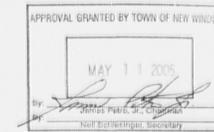
11 Handicapped Parking Sign Detail

SP2 Scale: 1 1/2"= 1'-0"



12 No Parking Sign Detail

SP2 Scale: 1 1/2"= 1'-0"



Anthony J. Coppola
 Design, Architecture and Planning
 375 Third St., Newburgh, N.Y. 12550
 Tel: 845-561-3559 Fax: 845-561-2051
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License Number: 018849

SITE PLAN AMENDMENT FOR CENTRAL VALLEY REAL ESTATE AT

3062 ROUTE 9W

New Windsor, New York

Revisions

Drawn By: AJC

Date: 7/6/04

AS NOTED

PROJECT NUMBER: 02-118

Sheet No.

SP2

Of 2

SITE DETAILS



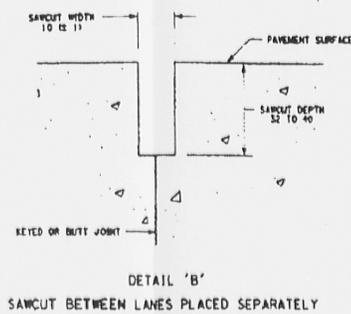
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SITE PLAN AMENDMENT FOR CENTRAL VALLEY REAL ESTATE AT

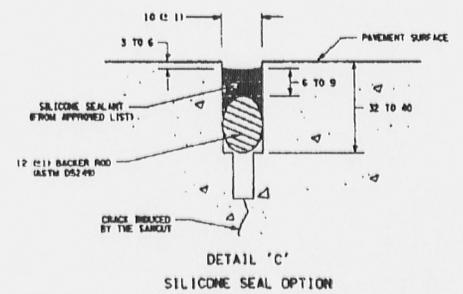
3062 ROUTE 9W

New Windsor, New York

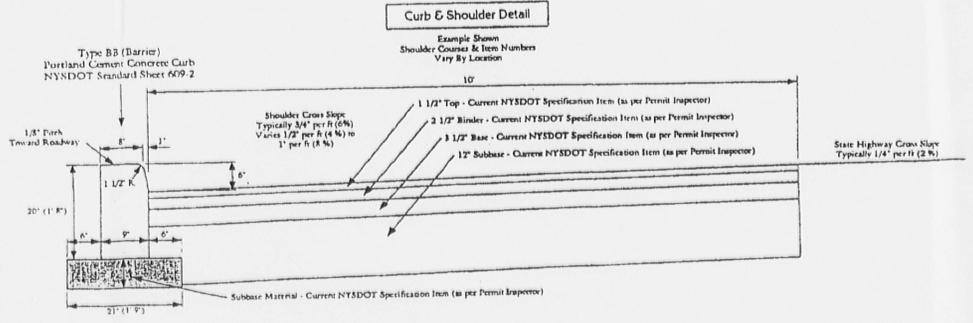
SITE DETAILS



1
 SP3 NYS D.O.T.
 Saw Cut & Sealant Details
 NTS



DETAIL 'C'
 SILICONE SEAL OPTION



2
 SP3 NYS D.O.T.
 New Curb & Shoulder Details
 NTS

APPROVAL GRANTED BY TOWN OF NEW WINDSOR
 MAY 11 2005
 By: [Signature]
 Not Notarized Secretary

Sheet No.
SP3
 OF 3