PB# 04-18

59 Windsor Hwy.
(Medical Office Bldg.

9-1-38.21

P.B. #**04-18** 59 WINDSOR HWY.
MEDICAL OFFICE BLDG (DEVITTS)

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY
DATE: 3-3-05
Scanned

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 01/17/2008 PAGE:

LISTING OF PLANNING BOARD **FEES**
SITE PLAN BOND

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DU
06/24/2005	SITE PLAN BOND	CHG	6500.00		
06/24/2005	REC. CK. #1039	PAID		6500.00	
		TOTAL:	6500.00	6500.00	0.0

1/17/08
Jack,
Please issue a check in the amount of $6,500.00 as return of Site Plan Bond.

Make check to:

Devitt's Medical Arts Bldg.
59 Windsor Hwy - Suite 300
New Windsor, N.Y. 12553

Thank You,
Myra

To: **New Windsor Zoning Board**

From: **Ari Straus**
Owner, Devitt's Medical Arts Building
59 Windsor Highway, New Windsor, NY 12553
Tax Map 9-1-38.21

Date: ~~**August 7, 2007**~~ JANUARY 4, 2008

Re: **Release of Bond for Dumpster**

During the construction of the new Devitt's Medical Arts Building, our dumpster was placed in view of Route 32 while an area on the South-side of the building was cleared. The Town is holding a $6,500 bond from us to ensure that the dumpster is moved to a secure location out of public site.

This side area on the South-side of the building (a "dog-ear" slice of land hidden behind the Occupations, Inc. property and alongside the railroad tracks) once contained an old metal structure in need of repair, hay storage, and piles of rubble as well as hundreds of broken wood pallets. We have spent approximately $50,000 in cleanup including paving the entire area.

Our dumpster is now located at the Southern most end of this area (see attached). It is surrounded by a fence on 3 sides and is not visible from Route 32 whatsoever. The area is further secured by an outdoor 24/7 security camera mounted on the roof on the South-side stair tower. Last, several large signs indicate that the area is being monitored by camera and warns against unauthorized dumping.

At your earliest convenience, please have the Town Engineer inspect this area to confirm the above. Following his or her inspection, we would appreciate the release of our escrowed monies.

Please contact Monica Kerr with any questions at 845-561-3222 ext 4500. Many thanks,

Ari Straus

1/9/07
Mark will call - remail me results

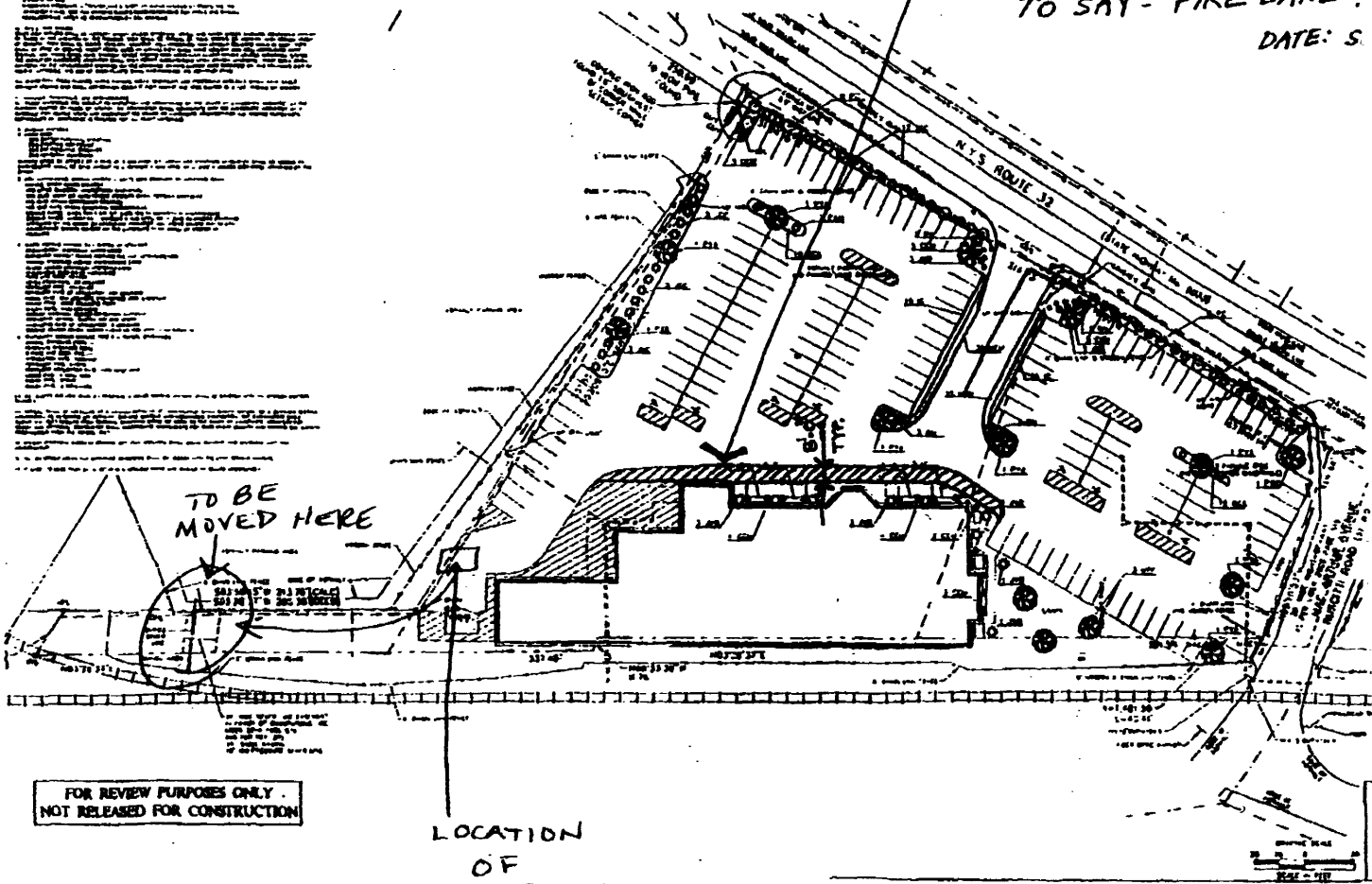
LANDSCAPE NOTES

LANDSCAPE SCHEDULE

NOTE:

PROVIDE 8'-0" WIDE FIR
STRIPING (IN FRONT OF
FROM FACE OF CURB.
SIGNAGE ON BUILDING
TO SAY - "FIRE LANE .

DATE: S



FOR REVIEW PURPOSES ONLY .
NOT RELEASED FOR CONSTRUCTION

Myra Mason

From: mje [mje@mhepc.com]
Sent: Tuesday, November 28, 2006 1:24 PM
To: Myra Mason
Cc: Jerry (home) Argenio; NW - Jerry Argenio
Subject: NW04-18 MDX Medical Site Plan - Bond Release
Attachments: NW04-18-Pic-11-28-06.JPG

Myra

You asked me to do a follow up on the MDX Medical (Devitt) Site Plan for completion and release of the bond.

A site review was previously performed by our office in June 2005. At that time, it was noted that the dumpster enclosure shown on the south side of the building was not installed.

Note that BBL (the project contractor) sent Jim Petro a plan that proposed to relocate the dumpster to the far south corner of the site, at the end of the "dog leg" strip of property (part of site plan). They proposed a chain link enclosure, rather than the masonry enclosure (to match building) as shown on the approved site plan. I do not believe any approval was granted for the change.

At that time, it was indicated to us that they were a medical facility and did not need a dumpster. We suggested the bond be posted and the situation monitored. As per the site cost estimate, the bond was set at $6500.

I visited the site today. See attached picture of dumpster which is un-enclosed on site, generally at the south end, but not in an enclosure as shown on the approved plan. Obviously, they DO NEED a dumpster.
We SHOULD NOT RELEASE the bond. I suggest they be advised to comply with their site plan, and install the required enclosure in the approved location.

Mark

Mark J. Edsall, P.E., Principal
McGoey, Hauser & Edsall, Consulting Engineers, P.C.
33 Airport Center Drive - Suite #202
New Windsor, New York 12553
(845) 567-3100


Marangi

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/24/2005

LISTING OF PLANNING BOARD **FEES**
SITE PLAN BOND

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
06/24/2005	SITE PLAN BOND	CHG	6500.00		
06/24/2005	REC. CK. #1039	PAID		6500.00	
			---	---	---
		TOTAL:	6500.00	6500.00	0.00

D Zappolo

Myra Mason

From: mje [mje@mhepc.com]
Sent: Thursday, June 23, 2005 3:01 PM
To: NW - Myra Mason
Subject: MDX Medical Site Plan (04-18)

Mike & Myra

Bill Elgee of our office performed a site completion review of the subject site. The site was in substantial conformance witht the approved plan. The only missing item of concern was the dumpster enclosure.

It is unclear based on follow-up discussions with the planning board whether the site will deal with medical waste in an internal secure location or if outside waste enclosures will be required. I left a message with a site development representative several weeks ago requesting they clarify this matter, but never heard back.

It is my recommendation that we require a $6500 site bond to cover the construction of the dumpster enclosure and related adjoining work. This is the amount in the applicants site cost estimate. We can monitor operation after the C of O and decide how to handle the dumpster after we have a better handle on their operation.

mark

Mark J. Edsall, P.E., Principal
McGoey, Hauser & Edsall, Consulting Engineers, P.C.
33 Airport Center Drive - Suite #202
New Windsor, New York 12553
(845) 567-3100

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/23/2005 PAGE:

LISTING OF PLANNING BOARD **FEES**
4% FEE

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DU
11/01/2004	2% OF $120,384. INSP FEE	CHG	2407.68		
02/22/2005	REC. CK. #066835	PAID		2407.68	
		TOTAL:	2407.68	2407.68	0.0

2/23/05

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/18/2005

LISTING OF PLANNING BOARD**ACTIONS**

STAGE: STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	MEETING-PURPOSE----------	ACTION-TAKEN--------
03/03/2005	PLANS STAMPED	APPROVED
09/22/2004	P.B. APPEARANCE . NEED BOND ESTIMATE - ADDRESS MARK'S COMMENTS	ND:WVE PH - APP CON
08/11/2004	PLANNING BOARD APPEARANCE . FIND BETTER PLACE FOR DUMPSTER - NEED LANDSCAPING, DRAINAGE . AND LIGHTING PLANS - NO ZBA NEEDED	LA: RETURN
06/16/2004	WORK SHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/18/2005

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

	DATE-SENT	ACTION----------	DATE-RECD	RESPONSE----------
ORIG	08/09/2004	EAF SUBMITTED	08/09/2004	WITH APPLIC
ORIG	08/09/2004	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	08/09/2004	LEAD AGENCY DECLARED	08/11/2004	TOOK LA
ORIG	08/09/2004	DECLARATION (POS/NEG)	09/22/2004	DECL. NEG DEC
ORIG	08/09/2004	SCHEDULE PUBLIC HEARING	/ /	
ORIG	08/09/2004	PUBLIC HEARING HELD	/ /	
ORIG	08/09/2004	WAIVE PUBLIC HEARING	09/22/2004	WAIVE PH
ORIG	08/09/2004	PRELIMINARY APPROVAL	/ /	
ORIG	08/09/2004		/ /	
ORIG	08/09/2004	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/18/2005

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

	DATE-SENT	AGENCY----------	DATE-RECD	RESPONSE----------
REV1	09/13/2004	MUNICIPAL HIGHWAY	09/21/2004	APPROVED
REV1	09/13/2004	MUNICIPAL WATER	/ /	
REV1	09/13/2004	MUNICIPAL SEWER	/ /	
REV1	09/13/2004	MUNICIPAL FIRE	09/16/2004	APPROVED
REV1	09/13/2004	NYSDOT	/ /	
ORIG	08/09/2004	MUNICIPAL FIRE	08/11/2004	APPROVED
ORIG	08/09/2004	E911 COORDINATOR	08/11/2004	APPROVED

PB # 04-18 approval fee

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#194-2005

02/23/2005

Llc, Bbl Construction Services
P.o. Box 12789
Albany, NY 12212

Received $ 125.00 for Planning Board Fees, on 02/23/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/23/2005

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
11/01/2004	APPROVAL FEE	CHG	125.00		
02/22/2005	REC. CK. #066836	PAID		125.00	
		TOTAL:	125.00	125.00	0.00

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

OFFICE OF THE PLANNING BOARD

November 16, 2004

BL Companies
2678 South Road
Poughkeepsie, NY 12601

ATTN: TIM O'BRIEN

SUBJECT: 59 WINDSOR HIGHWAY (P.B. #04-18)

Dear ~~Dan~~ Tim:

Please find attached printouts of fees due for subject project. There is a balance remaining in the escrow account that will be returned to the applicant.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 – Approval Fee.....$ 125.00
Check #2 – 2% of $120,384. cost est. - inspect fee.....$ 2,407.68

Upon receipt of these checks I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra Mason

Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/16/2004

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
11/01/2004	APPROVAL FEE	CHG	125.00		
		TOTAL:	125.00	0.00	125.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/16/2004 PAGE

LISTING OF PLANNING BOARD **FEES**
4% FEE

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-I
11/01/2004	2% OF $120,384. INSP FEE	CHG	2407.68		
			---	---	---
		TOTAL:	2407.68	0.00	2407

TOWN OF NEW WINDSOR
PLANNING BOARD OFFICE
845-563-4615

MEMORANDUM

TO: LARRY REIS, COMPTROLLER

FROM: MYRA MASON, SECRETARY TO THE PLANNING BOARD

DATE: NOVEMBER 16, 2004

SUBJECT: ESCROW BALANCE

PLEASE ISSUE A CHECK IN THE AMOUNT OF $ 231.50 TO CLOSE OUT ESCROW FOR:

PB FILE #04-18

NAME: STRAUS FAMILY CAPITAL GROUP, LLC

ADDRESS: 2 NORTHERN GATE

COLD SPRING, NY 10516

THANK YOU,

MYRA

11/16/04
L.R.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/16/2004

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/26/2004	REC. CK. #81213	PAID		1000.00	
08/11/2004	P.B. ATTY. FEE	CHG	35.00		
08/11/2004	P.B. MINUTES	CHG	60.50		
09/22/2004	P.B. ATTY FEE	CHG	35.00		
09/22/2004	P.B. MINUTES	CHG	44.00		
11/01/2004	P.B. ENGINEER FEE	CHG	594.00		
		TOTAL:	768.50	1000.00	-231.50

AS OF: 11/01/2004 PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant) CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 4- 18

FOR WORK DONE PRIOR TO: 11/01/2004

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT	DESCRIPTION---------	RATE	HRS.	DOLLARS TIME	EXP.	BILLED	BALANCE
4-18	254466	06/16/04	TIME	MJE	WS	MED OFF BLDG/DEVITT	99.00	0.40	39.60			
4-18	256872	07/07/04	TIME	MJE	WS	MDX MED SP (DEVITT)	99.00	0.40	39.60			
4-18	259349	07/21/04	TIME	MJE	WS	MDX MEDICAL S/P	99.00	0.40	39.60			
4-18	260864	08/05/04	TIME	MJE	MC	59 WINDSOR HWY	99.00	0.60	59.40			
4-18	265511	09/01/04	TIME	MJE	WS	MED OFFICE S/P	99.00	0.40	39.60			
4-18	267831	09/22/04	TIME	MJE	MM	Strauss(Devitt) C APP	99.00	0.10	9.90			
4-18	268104	09/22/04	TIME	MJE	MC	59 WINDSOR HWY S/P	99.00	0.60	59.40			
4-18	269150	09/29/04	TIME	MJE	MC	TC/DAN W(BBL)RE:S/P	99.00	0.30	29.70			
4-18	269844	10/08/04	TIME	MJE	MC	MED BLDG ISSUES/WITS	99.00	0.30	29.70			
4-18	270640	10/13/04	TIME	MJE	MC	MDX S/P COST	99.00	0.30	29.70			
4-18	270641	10/13/04	TIME	MJE	MC	MDX BULK TABLE	99.00	0.80	79.20			
4-18	270659	10/14/04	TIME	MJE	WS	MDX	99.00	0.40	39.60			
4-18	272604	10/21/04	TIME	MJE	MC	MDX BULK TABLE REV	99.00	0.50	49.50			

									544.50			
4-18	269452	10/08/04				BILL 04-1148					-316.80	

											316.80	
						TASK TOTAL			544.50	0.00	-316.80	227.70
						GRAND TOTAL			544.50	0.00	-316.80	227.70

½ closing 49.50

594.00

11-1-04

Plan OK to stamp.

Myra Mason

From: mje [mje@mhepc.com]
Sent: Wednesday, October 13, 2004 12:28 PM
To: TObrien@blcompanies.com
Subject: 59 Windsor Hwy MDX Site Plan 04-18

Tim

I got the fax on the bulk info and your email.

I reviewed the "corrected" bulk table and it is still wrong. Note the following:

Required Column
1. front setback is simply 60 feet. You dont list the streets here. Site specific data is in the existing and proposed columns.
2. Max FAR is 0.5 or 50%, but not 0.5%
3. Table should include Total Side Yard (N/A) 4. Bldg Ht should provide value. Since nearest lot line is 0, permitted height is 0.

Existing Column
1. Existing lot area should also be asteriked 2. Lot width can be measured along Rt 32 which would give a conforming value.
3. Front yard setback will have two values here, asterik as applicable.
4. Table should include Total Side Yard (N/A) 5. Building Height should be asteriked.
6. Development coverage value should be asteriked 7. A value should be provided for frontage and FAR

Proposed Column
1. Correct lot width value to match existing column 2. Provide front yard setback values (two) and asterik as applicable.
3. Provide proposed values FOR EACH ITEM IN THIS COLUMN. Filling in with an asterik alone is not acceptable. Asterik items as applicable.

Identify asterik as "Pre-existing Non-Conforming Condition"

Please make sure the corresponding dimensions are indicated on the plans as was previously requested.

Please check the table yourself before having it sent back to me. This was so far off, I should not have had to do this.

mark

Mark J. Edsall, P.E., Principal
McGoey, Hauser & Edsall, Consulting Engineers, P.C.
33 Airport Center Drive - Suite #202
New Windsor, New York 12553
(845) 567-3100

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

RECEIVED
SEP 13 2004
N.W. HIGHWAY DEPT.

TO: HIGHWAY DEPARTMENT

P.B. FILE #**04-18** DATE RECEIVED: **09-13-04**

PLEASE RETURN COMPLETED FORM TO MYRA BY: 09-20-04 TO BE ON AGENDA FOR THE 09-22-04 PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

59 WINDSOR HWY - MEDICAL OFFICE BLDG. (FORMER DEVITS)
Applicant or Project Name

SITE PLAN **XXX**, SUBDIVISION ____, LOT LINE CHANGE ____, SPECIAL PERMIT ____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☑ APPROVED:

Notes:

☐ DISAPPROVED:

Notes:

Signature: Henry J Kerbl 9/21/04
Reviewed by date

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME:	59 WINDSOR HIGHWAY SITE PLAN AMENDMENT (aka STRAUS FAMILY CAPITAL GROUP)
PROJECT LOCATION:	59 WINDSOR HIGHWAY (Former Devitt's site) SECTION 9 – BLOCK 1 – LOT 38.21
PROJECT NUMBER:	04-18
DATE:	22 SEPTEMBER 2004
DESCRIPTION:	THE APPLICATION INVOLVES A CHANGE IN USE FROM THE FORMER (DEVITT'S) RETAIL USE, TO A PROPOSED PROFESSIONAL MEDICAL OFFICE. THE PLAN WAS PREVIOUSLY AT THE 11 AUGUST 2004 PLANNING BOARD MEETING.

1. The application proposes the change in use, with an overall upgrade of the parking lot and site improvements. It is my understanding that the Board has resolved the issue of parking and has accepted this application as reducing the non-conformity on the site. Further, it is my understanding that a referral to the ZBA is not needed, since the setback conditions have been accepted as "pre-existing, non-conforming" conditions. Notwithstanding same, some corrections are required on the bulk table, as follows:

   - Zone is C (design shopping), not General Business.
   - Table should include Frontage (N/A) and FAR (0.5 max).
   - Code has Development Coverage (max 85%) not Building Coverage.
   - This site has two front yard setbacks (Windsor Hwy and Ruscetti). Both should be indicated on the table.
   - Actual value must be indicated for lot width.
   - Total side yard setback provided should be indicated as "n/a"
   - Permissible Max. Building height value is incorrect.
   - All pre-existing, non-conforming conditions should be noted as such and asterisked on the plan

2. I have reviewed this plan set and have the following comments:

   - The plan should depict the zone line adjacent to the property, delineating the C zone and PI zone.

   - All setback dimensions referenced in the bulk table should also be dimensioned on the site plan.

   - Per new code requirements, a sign is require in front of the cross-hatched access lane of the handicapped parking space. The sign must read "No Parking – Any Time".

   - The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Chapter 137 of the Town Code.

3. It is my understanding that the Board assumed the position of Lead Agency under the SEQRA review process at the August meeting. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.

4. It is my understanding that, since this application pre-existed the new referral requirements of the Orange County Department of Planning (referrals per GML 239), the Board has determined that I need not refer this application to the County for action. If the Board determines otherwise, please advise.

5. I am not clear if the Board made a determination with regard to the need for a public hearing. If such a determination has not already been made, the Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.

6. Recognizing that this is an existing site with proposed upgrade, I am not sure if there are any other areas which the Board desires further attention and review. If there are any areas of concern beyond those already considered, please advise such that our office can address the matter(s).

Respectfully Submitted,

Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-18-22Sept04.doc

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

MEMORANDUM
(via fax)
14 October 2004

TO: MYRA MASON, PLANNING BOARD SECRETARY

FROM: MARK J. EDSALL, P.E., PLANNING BOARD ENGINEER

SUBJECT: 59 WINDSOR HIGHWAY (MDX) SITE PLAN – PROJECT COST ESTIMATE
PLANNING BOARD APPLICATIONS NO. 04-18

Our office has reviewed the cost estimate submitted for the subject project. Revisions were required and a have been resubmitted.

It is our opinion that the attached cost estimate is acceptable. The fee associated with the review of the site work by the Town is $ 2408.

The site plan still requires corrections and we are awaiting submittal of a revised plan set.

BBL Construction Services

BBL Construction Services, LLC
302 Washington Ave. Ext.
PO Box 12789
Albany, New York 12212

Phone 518 452-8200
Fax 518 452-2898
www.bblinc.com

04-18

Town of New Windsor
555 Union Avenue
New Windsor, NY
12553

Office of the planning Board

Attn: Myra Mason

Re: Site cost estimate for MDX Medical 59 Windsor Highway, Straus Family Group

Myra
Enclosed is the site estimate along with the landscaping estimate from Devitts Nursery.
The actual count is shown on our landscaping legend.

Dan Wilson

CC: Willie Bruce

M.E.
10/4/04

MDX Management / MDX Price Escalations
BID DATE = _____, Job No ____ Cost Code: _____ Architect
Estimate No 1
Estimate Date 7/23/2004

BBL Construction Services, LLC
Project Estimator dw,jc,pt,bc
Section Estimator: dw,jc,pt,bc

Line No:	Description	Quantity Zone Toff A	Unit	Labor	Equip	Material	Sub	Total
	First floor							
10	Excavation and backfill	149.33	cy				20.00	20.00
		First floor	D	0	0	0 ☑	2,987	2,987
20	Excavate for elevator and stair	59.74	cy				15.00	15.00
		First floor		0	0	0 ☑	896	896
30	Fine grade	1,200.00	sf				.30	.30
		First floor		0	0	0 ☑	360	360
40	Striping	1.00	ls				1,063.00	1,063.00
		First floor		0	0	0	1,063	1,063
50	Site lighting	4.00	ea				2,100.00	2,100.00
		First floor	D	0	0	0	8,400	8,400
60	Pole bases	7.00	ea				500.00	500.00
		First floor		0	0	0	3,500	3,500
70	Landscape allowance base bid	1.00	ls				8,400.00	8,400.00
		First floor		0	0	0	8,400	8,400
80	Base bid 1 1/2" topping and binder partial area	30,000.00	sf				.60	.60
		First floor		0	0	0 ☑	18,000	18,000
90	Revised per town,pave remaining area to be paved 1 1/2"	32,000.00	sf				.60	.60
		First floor		0	0	0 ☑	19,200	19,200
100	Revised per town, added concrete curbing	1,460.00	lf				12.00	12.00
		First floor		0	0	0 ☑	17,520	17,520
110	Revised per town added site lighting	3.00	ea				2,100.00	2,100.00
		First floor	D	0	0	0 ☑	6,300	6,300
120	Revised per town added paving remaining parking lot	32,000.00	sf				.60	.60
		First floor		0	0	0 ☑	19,200	19,200
130	Revised per town added striping	1.00	ls				1,063.00	1,063.00
		First floor		0	0	0 ☑	1,063	1,063
140	Sidewalks	1,110.00	sf				4.50	4.50
		First floor	T	0	0	0 ☑	4,995	4,995
150	Signage	6.00	ea				250.00	250.00
		First floor	T	0	0	0	1,500	1,500
160	Dumpster enclosure	1.00	ls				6,500.00	6,500.00
		First floor		0	0	0	6,500	6,500
170	Top soil in place	20.00	cy				25.00	25.00
		First floor		0	0	0 ☑	500	500
	First floor - Total			0	0	0	120,384	120,384
	22175 Site work break out - Total			0	0	0	120,384	120,384

Section: 22175 Site work break out

9/29/2004 10:56 AM Page 1

MDX Management / MDX Price Escalations

BBL Construction Services, LLC

BID DATE = _____, Job No ____ Cost Code: _____ Architect

Project Estimator dw,jc,pt,bc

Estimate No 1

Section Estimator: dw,jc,pt,bc

Estimate Date 7/23/2004

Line No:	Description	Quantity Zone Toff A	Unit	Labor	Equip	Material	Sub	Total
	First floor							
10	Excavation and backfill	149.33	cy				20.00	20.00
		First floor	D	0	0	0 ☑	2,987	2,987
20	Excavate for elevator and stair	59.74	cy				15.00	15.00
		First floor		0	0	0 ☑	896	896
30	Fine grade	1,200.00	sf				.30	.30
		First floor		0	0	0 ☑	360	360
40	Striping	1.00	ls				1,063.00	1,063.00
		First floor		0	0	0	1,063	1,063
50	Site lighting	7.00	ea				2,100.00	2,100.00
		First floor	D	0	0	0	14,700	14,700
60	Pole bases	7.00	ea				500.00	500.00
		First floor		0	0	0	3,500	3,500
70	Landscape allowance base bid	1.00	ls				8,400.00	8,400.00
		First floor		0	0	0	8,400	8,400
80	Base bid 1 1/2" topping and binder partial area	30,000.00	sf				.60	.60
		First floor		0	0	0 ☑	18,000	18,000
90	Revised per town.pave remaining area to be paved 1 1/2"	32,000.00	sf				.60	.60
		First floor		0	0	0 ☑	19,200	19,200
100	Revised per town, added concrete curbing	1,460.00	lf				12.00	12.00
		First floor		0	0	0 ☑	17,520	17,520
110	Revised per town added site lighting	3.00	ea				2,100.00	2,100.00
		First floor	D	0	0	0 ☑	6,300	6,300
120	Revised per town added paving remaining parking lot	32,000.00	sf				.60	.60
		First floor		0	0	0 ☑	19,200	19,200
130	Revised per town added striping	1.00	ls				1,063.00	1,063.00
		First floor		0	0	0 ☑	1,063	1,063
140	Sidewalks	1,110.00	sf				4.50	4.50
		First floor	T	0	0	0 ☑	4,995	4,995
150	Signage	6.00	ea				250.00	250.00
		First floor	T	0	0	0	1,500	1,500
160	Dumpster enclosure	1.00	ls				6,500.00	6,500.00
		First floor		0	0	0	6,500	6,500
170	Top soil in place	20.00	cy				25.00	25.00
		First floor		0	0	0 ☑	500	500
	First floor - Total			0	0	0	126,684	126,684
	22175 Site work break out - Total			0	0	0	126,684	126,684

FROM : DEVITTS SUPPLY PHONE NO. : 914 561 1968 Aug. 24 2004 11:49AM P2

Devitt's Medical Center

Initials / Date
Prepared By 8/24
Approved By

© WILSON JONES

9	P.Y.A.	Pyrus Calleriana 'Aristocrat' $165.00 Aristocrat Pear 2-2½ cal		$1485.00
3	M.P.F.	Malus 'Prairifire' Prairifire Crabapple	$160.00 2-2½ cal	$480.00
62	I.G.	Ilex Glabra 3gal Inkberry Holly	25.00	$1550.00
21	C.C.M.	Chamaecyparis Pisifera 3gal Gold Mop Cypress	$28.00	$798.00
15 ~~14~~	P.C.	Prunus Cistena 5gal Purple leaf Sandcherry	$35.00	$1015.00
41 ~~45~~ ~~4~~	J.G.C.	Juniperus Chinensis Aurea 5gal Gold Coast Juniper	$30.00	$1350.00
12	J.W.B.	Juniperus scopalorum Wichita Blue Juniper 7gal	$90.00	$1080.00
24	B.N.	Rosa Noatraum Carpet Rose 2gal	$20.50	$492.00
~~50~~	~~B.C.D.~~	~~Rosa 'Carefree Delight'~~ ~~Carefree Delight Rose 3gal~~	~~$24.00~~	~~$1200.00~~
70	HEM.	Hemerocallis 'Happy Returns' $12.00 'Happy Returns' Daylilies 2gal		$840.00
36	R.G.S.	Rudbeckia fulgida 'Goldstrum' Black-eyed-susan 3gal	$14.00	$504.00
4	P.A.H.	Pennisetum Alopecuroides 'Hamelin' Dwf Fountain Grass 3gal	$14.00	$56.00
				10,500.00
		Less 20% landscape		2,100.00
				8,400.00

PREVIOUS

DOCUMENT

IN POOR

ORIGINAL

CONDITION

59 WINDSOR HIGHWAY (CONTINUED)

MR. STRAUS: If I can ask one quick question. As you probably know every week that we're in the existing space we're in Newburgh right now is pretty painful, we're busting at the seams. I'm not sure what the right terminology is but is there any type of permit or some way that we can start the process of getting going with the construction or the demolition?

MR. BABCOCK: Actually demolition I told him that they should ask the board, it's not a problem with me to go inside the building and take out what they don't need, take down the greenhouses that aren't down. I think that one greenhouse is down?

MR. STRAUS: There's one greenhouse left.

MR. LANDER: You own this property?

MR. STRAUS: Yes, we do.

MR. LANDER: I don't have a problem with it.

MR. PETRO: I would say this, you can do that, you can work it out with the building department. In no way does that have any reflection on the planning board, if you go through this process and you're unsuccessful for some reason, there's no recourse to us or the Town of New Windsor.

MR. STRAUS: Thank you.

MR. KRIEGER: You're on your own. Good luck.

MR. PETRO: Good luck to you.

STRAUS FAMILY CAPITAL GROUP (04-18)

Mr. Tim O'Brien appeared before the board for this proposal.

MR. PETRO: Straus Family Capital Group. This application involves change in use from the former Devitt's retail use to a proposed professional medical office. The plan was previously reviewed at 11 August, 2004 planning board meeting. Application proposes change of use and overall upgrading of the parking lot and site improvements. It's my understanding that the board has resolved the issue of the parking and has accepted this application and reducing the conformity on the site. Further it's my understanding that the referral to the ZBA is not needed since the setback conditions have been accepted as pre-existing, non-conforming conditions, notwithstanding some corrections are required to the bulk table as follows. All right, the zone is C zone. Do you have the whole list? I don't have to go over this, some of it is just very minor stuff there.

MR. O'BRIEN: He wants no parking at the hatched areas for the handicapped, no problem.

MR. PETRO: This is all minor stuff.

MR. EDSALL: It's all minor.

MR. PETRO: The planning board should require that a bond estimate be submitted which we always do. It's my understanding that the board assumed the position of lead agency under the SEQRA review at the August meeting. Planning board may wish to make a determination regarding the type of action and make a determination regarding environmental significance. Did we waive the public hearing? No, we have it down here, I'm not clear if the board made a determination regarding need for a public hearing. I think we did

talk about that quite a bit. It should determine for the record if a public hearing is going to be waived or not, discretionary judgment. Let's go back to that first, I want to talk about the public hearing. I think what we, somebody else remind me what we said, what did we say?

MR. MASON: I thought we decided to not have a public hearing because there's nobody around.

MR. PETRO: There was nothing on either side.

MR. ARGENIO: Railroad's behind them, Argenio's are over on the other side, they don't count.

MR. BABCOCK: Jim, we last discussed up the street there was a, where the pool place is, they put a big addition on the back, you didn't like the rip-rap drain that went around so we had a public hearing for that and nobody showed up.

MR. ARGENIO: You're right, Mike, I remember that, you're right.

MR. PETRO: Couple doors up.

MR. MASON: Plus they're not changing the footprint.

MR. EDSALL: Actually, you're removing some square footage.

MR. PETRO: You're taking down the greenhouse on that side?

MR. O'BRIEN: I'd like to point out that we added the dumpster as requested and added a sidewalk right along side here and HVAC units.

MR. SCHLESINGER: Weren't there parking spaces where the dumpster was?

MR. O'BRIEN: There was parking here, we put it here and we made these designs just a little narrower, we made up what we lost.

MR. ARGENIO: They worked it out as they say.

MR. PETRO: They're already working with a demo permit, correct, that was okayed?

MR. BABCOCK: Yes.

MR. PETRO: Motion to waive the public hearing under the board's discretionary judgment.

MR. SCHLESINGER: Motion to waive the public hearing.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. GALLAGHER	AYE
MR. MASON	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. SCHLESINGER: What's the story about the access on the right there?

MR. O'BRIEN: We're making this one a little wider to meet the Town's codes for the truck access, fire truck, and that was only thing we're doing this one here, we're just going to leave this gate closed.

MR. SCHLESINGER: Because that was the problem.

MR. O'BRIEN: Right.

MR. EDSALL: Wasn't that going to be blocked off permanently that one down the intersection?

MR. O'BRIEN: Yeah, we're just leaving the gate closed, lock it.

MR. SCHLESINGER: Why keep it as a gate? Why close it up permanently then?

MR. O'BRIEN: Okay, we'll close it up permanently, no problem.

MR. ARGENIO: I'm sorry, what about the other gate on the other end of the property, what's the intent there?

MR. O'BRIEN: This one here?

MR. ARGENIO: Still going to use the other people's driveway for ingress and egress.

MR. O'BRIEN: We're not sure why the driveway's there, we're not going to touch it.

MR. BABCOCK: What happened in the past when Devitt's had Eggbert down there, they had a gentlemen's agreement.

MR. ARGENIO: Jack sweet-talked the neighbor pretty much.

MR. BABCOCK: They opened the gate and let the people flow out in there to park.

MR. SCHLESINGER: Why don't we permanently close both sides?

MR. O'BRIEN: You want to close that also?

MR. SCHLESINGER: If it's a gate then it's, there's always been--

MR. O'BRIEN: It doesn't work actually so--

MR. ARGENIO: I think he's right, don't you, Jim?

MR. PETRO: I think it's immaterial.

MR. ARGENIO: You're dumping people on the other guy's property, it wasn't an issue with Jack but may become an issue.

MR. PETRO: Then he would complain and he'd have to stop if it's not a complaint, it's an easier flow of traffic.

MR. ARGENIO: The other one's a safety issue.

MR. EDSALL: Exactly.

MR. O'BRIEN: We'll just take that off there, no problem.

MR. EDSALL: Do we know for sure if in the title searches there are no cross-easements to use the drive?

MR. O'BRIEN: I don't know.

MR. EDSALL: I would suggest that you leave well enough alone, we don't know if easements exist. The other one's the safety issue, this one is just a matter if there's a--

MR. ARGENIO: Don't fiddle with it, if somebody complains, you can address it.

MR. EDSALL: Clearly a private arrangement, if they

want to change it, they can.

MR. PETRO: Still having Eggbert?

MR. ARI STRAUS: We were just talking about that. When we purchased the building the condition would be that we'd have access to Eggbert for the rest of the--

MR. PETRO: You make fun of my questions but this is serious stuff.

MR. BABCOCK: We may have a conflict there, Mr. Chairman.

MR. PETRO: I told you not to ask those kinds of questions.

MR. BABCOCK: We may have a conflict with this applicant about the use of Eggbert at Christmas time, I think we can work that out though.

MR. PETRO: Other than Eggberg, can I ask this question? Motion for negative dec.

MR. ARGENIO: So moved.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under SEQRA process for the Straus Family Capital Group on 59 Windsor Highway. Is there any further discussion? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. GALLAGHER	AYE
MR. MASON	AYE
MR. ARGENIO	AYE

MR. PETRO AYE

MR. PETRO: Recognizing that this is an existing site with proposed upgrade, I'm not sure if there are any other areas which the board desires further attention and review. If there are any other areas of concern beyond these already considered, please advise such and our office can address those matters. I will hand that over and I will poll the board. Mr. Mason, do you have anything else you want to discuss?

MR. MASON: One issue exists about a flag, we're having everybody put flags on the buildings and I don't know if there's one there or not.

MR. STRAUS: Yes, actually, last time after the meeting somebody mentioned that to us that we designate for a flag on the building and specifically--

MR. O'BRIEN: We'll have the architect add that.

MR. ARGENIO: I have no problem.

MR. GALLAGHER: No problem.

MR. SCHLESINGER: Looks good.

MR. PETRO: A few odds and ends that you're going to have to take care of which I will call housekeeping items, I'm not going to over all, one of them planning board should require that a bond estimate be submitted in accordance with Chapter 137 and the other ones are small in nature. You can handle them with Mark, ones Mark tells me, once Myra calls me and says the plans are ready to be signed, Neil or I would sign them. So until these small housekeeping items are done that's about it. Motion for final approval.

MR. ARGENIO: I'll make the motion subject to what you just read into the minutes.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and second that the New Windsor Planning Board grant final approval to the Straus Family Capital Group on 59 Windsor Highway, BL Companies, with the couple of subject-tos that I just read in. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. GALLAGHER	AYE
MR. MASON	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: Good luck, guys.

RESULTS OF P.B. MEETING OF: September 22, 2004

PROJECT: 59 Windsor Hwy- Strauss Family P.B. # 04-18

LEAD AGENCY:

AUTHORIZE COORD. LETTER: Y____ N____
TAKE LEAD AGENCY: Y____ N____

M)___ S)___ VOTE: A___ N____
CARRIED: Y____ N____

NEGATIVE DEC:

M) A S) S VOTE: A 5 N 0
CARRIED: Y ✓ N____

PUBLIC HEARING: WAIVED: ✓ CLOSED:____

M) S S) A VOTE: A 5 N 0 SCHEDULE P.H.: Y ✓ N____

SEND TO O.C. PLANNING: Y____
SEND TO DEPT. OF TRANSPORTATION: Y____

REFER TO Z.B.A.: M)____ S)____ VOTE: A____ N____

RETURN TO WORK SHOP: Y___ N____

APPROVAL:

M) A S) G VOTE: A 5 N 0 APPROVED: 9-22-04

NEED NEW PLANS: Y ~~N~~ N____

CONDITIONS – NOTES:

~~Eliminate access to neighbors~~
Need Bond estimate
Mark's Comments

59 WINDSOR HIGHWAY (04-18)

Mr. Ari Straus and Mr. Timothy O'Brien appeared before the board for this proposal.

MR. PETRO: Application involves change in use from the former Devitt's retail use to proposed professional medical use office and the plan is reviewed on a concept basis only. The change in use upgrade in the parking lot and site improvements, critical item of the site is the parking. I will tell you before I even get into all that and don't get too much into the parking tell us what you want to do, just bring the rest of the board up to date.

MR. STRAUS: My name is Ari Straus. Mr. Chairman, members of the board, I run a medical company, we manage about three dozen physicians right now. The group is Oxford Medical Group which was renamed Access Medical Group. In the area we have eight physicians. By the end of this year we'll be at about 12. We have a location right now in Newburgh of about 7,000 square feet. We purchased the Devitt Garden Center which we hope to become the Devitt Medical Center to build some new medical spaces to expand where we're already busting at the seams in Newburgh right now. We have been in the Newburgh location for a few years.

MR. PETRO: Where Dr. Grant is now?

MR. STRAUS: On 372 Fullerton. So what we're proposing to do is take the majority of the physicians and services that we offer into the space and it will be sort of the central hub for everything that we're doing. Then we'll have some satellites in different areas but this will be the central area for Orange County for us.

MR. PETRO: Okay, Mike, this parking calculation, I wish Mark was here, I guess to clarify it, I'm sure you

know as much, we're treating the building as professional office and that's how you're coming up with the amount or all the parking that's required?

MR. BABCOCK: Medical office, yeah. If you remember a few weeks ago we had a project that was two doors up from this, the pool place that put an addition on their building and made the parking less non-conforming. So, therefore, we felt they didn't need a variance. In talking to these gentlemen in the hall, I felt that since they're changing the use of the building they must meet the current standards for parking for that building. Reading Mark's comments, Mark is saying there's no need for the ZBA referral. I have no reason to make him go to the zoning board but I, in my mind, that's the way we've always treated these applicants. You're changing the use from retail to medical office, you must meet the medical office standards for parking.

MR. LANDER: Which is numbers of?

MR. SCHLESINGER: Does it meet it?

MR. BABCOCK: No, it's currently how many short?

MR. O'BRIEN: The current plan actually out in the lobby when we got here we requested additional, this part of the building was going to be reserved for warehouse, we requested additional 2,300 square feet. With that additional 2,300 square feet as medical office space we'd be roughly I just calculated out we'd require 186 parking spaces. What we show on the plan is 160, we maximize the use of the lot which would be 26 spaces short, roughly 13.9%. The plan now shows it 8.6% less. If this was going to retail, this, if this site were retail and parking at the retail requirement you'd require 234 spaces, you'd be 74 spaces short or 31.6 so we're cutting it in half.

MR. BABCOCK: See there's two arguments and Mark is

saying that and in his third comment he's saying that the board should determine whether it needs a referral to the ZBA. So what Mark is saying is that if these gentlemen decide not to buy this building and it becomes retail they're 60 some spaces short. If they make it a medical office, they're 20 spaces short.

MR. PETRO: Andy?

MR. SCHLESINGER: It was retail before.

MR. BABCOCK: That's correct.

MR. PETRO: Andy, the planning board has the power to make that assumption that it doesn't need a variance?

MR. KRIEGER: Correct.

MR. PETRO: Listen, this site has been very hectic all the years that I've been going by it and I think that this is a great use for this site. I can't imagine somebody not liking what they're doing there, cleaning this place up and just having medical offices so close to home. I've talked to the Supervisor, he loves it, the Town Board loves it and I would not like to see them be put through the zoning board for a matter of 20 spaces is it?

MR. O'BRIEN: Twenty-six spaces.

MR. BABCOCK: Well, Jim, one thing that I discussed with them in the hallway is that our smaller doctor's offices within the Town definitely do not have enough parking, we have problems there all the time. The larger complexes like this since they're so large we never have a problem and quite honestly going to the zoning board or not doesn't change anything, doesn't change a thing, it doesn't, it is what it is.

MR. ARGENIO: I fully agree.

MR. PETRO: They're going to get the variance, they're still going to be 26 parking spaces short.

MR. BABCOCK: They've cramped parking spaces into every corner that they can.

MR. ARGENIO: So are we reviewing tonight just conceptually how do we feel about it and this issue in addition to that?

MR. BABCOCK: Yes.

MR. O'BRIEN: Anything else that you want to see on the site, you know, we have provided entrance into the site 30 feet wide, we're not doing any work within the DOT right-of-way, we're extending the curb once it crosses over the property line into the site creating a channel straight to the building, fire access straight across, we're going to eliminate the gate over here, widen the gate over by the railroad tracks and just parking.

MR. PETRO: Greenhouse is to be removed?

MR. O'BRIEN: Yes.

MR. SCHLESINGER: Propose any ambulatory services?

MR. KRIEGER: Before you leave the parking, there's one comment I have to make and that is in the event I realize this is just the beginning of this process, in the event that a site plan, the applicant should be aware in the event that site plan is approved here and with the parking as outlined the site will lose its pre-existing non-conforming use prior and it will now be reduced to whatever if there's still a level it's reduced to that so that's now your new ceiling, the old is history, gone forever.

MR. SCHLESINGER: Do you have any ambulatory services?

MR. STRAUS: We do plan to offer urgent care services on the weekends a few months after we first open.

MR. SCHLESINGER: Do you need a special area for that, for ambulances to come into the building?

MR. STRAUS: We don't because it's not considered urgent care, it's sort of minor weekend emergencies but not sort of a full fledged E.R.

MR. PETRO: Can I have a motion for lead agency?

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the 59 Windsor Highway site plan amendment. Why is this an amendment?

MS. MASON: There's already a site there.

MR. PETRO: But it's a brand new application. Okay, well--

MR. BABCOCK: They may have taken the site plan that was existing and apparently Mark's seen that one and this one and seen they're amending the site plan, we can take that out, Mr. Chairman.

MR. PETRO: I don't think it's right myself.

MR. BABCOCK: We'll take it out and say site plan.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: For lead agency for 59 Windsor Highway site plan former Devitt's site. Any further discussion from the board members? If not, roll call.

ROLL CALL

MR. LANDER	AYE
MR. SCHLESINGER	AYE
MR. KARNAVEZOS	AYE
MR. ARGENIO	AYE
MR. PETRO	AYE

MR. PETRO: What else do we want to look at on the plan? How about the layout of the overall plan? Gentlemen, any comment? We have fire approval on 8/11/2004 so evidently, he likes the way he has it set up with the existing curb cut on 32 and he has the side road on McArthur Avenue and Ruscetti Road. Is that correct?

MR. ARGENIO: Yeah, I think there's, I thought that that exit onto Ruscetti Road was either a no-left turn--

MR. O'BRIEN: There's the two exits out there, there's another one out there at the corner that we're closing off, that's the one you're probably referring to.

MR. LANDER: That's the dangerous one right there.

MR. ARGENIO: You're right, Ronny.

MR. PETRO: How about your question, you didn't ask it yet?

MR. ARGENIO: Want me to ask it?

MR. LANDER: Yes.

MR. ARGENIO: Where is the dumpster enclosure going to

go?

MR. O'BRIEN: Back in here, hide it behind the building.

MR. LANDER: It's going to be enclosed?

MR. O'BRIEN: Probably chain link fence.

MR. LANDER: With slats, we don't want to be able to see it. You're constructing a new building.

MR. PETRO: I have a better question. If I'm parked in the parking spot, how are you going to get to it?

MR. O'BRIEN: Well, these spaces are more or less reserved for the doctors and trash pickup for the building would be earlier in the morning before it actually opens.

MR. SCHLESINGER: That's what they tell you. What's in the space where you have right there at the end? That's not a parking spot there, right?

MR. O'BRIEN: That's not a parking spot, that allows for vehicles to turn around.

MR. PETRO: I can tell you what's going to happen, you probably know this better than I do, is that you're going to put you the dumpster back there, it will be back there for about a month, you're going to get ten phone calls they can't access it and you're going to get a call that they can't empty it so you're going to put it up in two or three parking spots. That's what's going to happen.

MR. O'BRIEN: We'll lose these two spaces and then do it that way if you're okay with it, now you're at 28 versus 26.

MR. PETRO: There's no other place on this site to put the dumpster?

MR. O'BRIEN: There's no real places for it. This area here is really reserved for air conditioning units, mechanical units.

MR. LANDER: We don't want it out front.

MR. O'BRIEN: Best place is to hide it back here.

MR. PETRO: I just, I understand the problem, I just think it's poor planning and what I just said is going to happen, it's not a matter of if and when, you're going to take it out of there.

MR. O'BRIEN: If you're okay we'll lose the two spaces.

MR. PETRO: I don't want to design it.

MR. ARGENIO: Figure that out, come up with something that works.

MR. PETRO: What about out the front, planning on putting a flag pole or something of that nature or some landscaping?

MR. O'BRIEN: This is basically just a first concept, this will all be landscaped, the existing landscaping will be redone, these islands will be landscaped.

MR. PETRO: Show us a landscaping plan.

MR. O'BRIEN: Yes.

MR. PETRO: And lighting plan.

MR. O'BRIEN: Yes.

MR. PETRO: And drainage, you have a large parking lot

here, show us where the drainage is going.

MR. O'BRIEN: Existing drainage.

MR. PETRO: Sheet flow all to the back of the property?

MR. O'BRIEN: Right now there's a drainage inlet here, it all sheet flows through this area, gets down to this basin, there's a series of basins right here and they go out. All we're going to do is raise the frames and grades, we're going to top coat the parking lot, there's going to be a little grading in the vicinity where they're tearing down the existing greenhouse just to make everything flush to grade.

MR. PETRO: Sidewalks in front of the building?

MR. O'BRIEN: Yes, well, this line here is a change from asphalt to concrete, this is existing, all we're going to do is clean up the site, top coat it, pave it, there's areas in the site where there's concrete, I guess pylons for greenhouses they're going to be removed, asphalt will be repaired and top coat it.

MR. ARGENIO: In the front of the building there will be a curb, sidewalks and some plantings?

MR. O'BRIEN: No curb. Currently what happens the site comes down and then the building, from the building you go towards the parking lot and if we put a curb, it's going to be back towards the building, that's the issue.

MR. LANDER: Bumper blocks.

MR. O'BRIEN: We can put those in. We're looking at different types of bollards with lights on them, concrete planters, space them out nicely through here.

MR. LANDER: Something to keep the cars away from the

front of the building.

MR. O'BRIEN: That's correct.

MR. PETRO: Directional flows and stop signs, interior arrows and all that kind of stuff.

MR. O'BRIEN: Yes, this was just to give you an idea of what the site's going to be like.

MR. PETRO: You'll work out something with the dumpster?

MR. O'BRIEN: Yes.

MR. PETRO: I think you have a flavor of the board that we're not going to be sending you to the zoning board so you can work under that assumption.

MR. LANDER: One more question, does it have to be called Devitt's Medical Center?

MR. O'BRIEN: Actually, they are thinking about doing that.

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Writer's e-mail address:
mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: 59 WINDSOR HIGHWAY SITE PLAN AMENDMENT
PROJECT LOCATION: 59 WINDSOR HIGHWAY (Former Devitt's site)
SECTION 9 – BLOCK 1 – LOT 38.21
PROJECT NUMBER: 04-18
DATE: 11 AUGUST 2004
DESCRIPTION: THE APPLICATION INVOLVES A CHANGE IN USE FROM THE FORMER (DEVITT'S) RETAIL USE, TO A PROPOSED PROFESSIONAL MEDICAL OFFICE. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The application proposes the change in use, with an overall upgrade of the parking lot and site improvements.
2. One of the critical items for this site is the parking. Verification of the existing and approved conditions for "Devitt" has been indicated as difficult, so the applicant has prepared an "existing" parking compliance calculation (premised on understood building use square footage values, and assumption of available spaces per current plan layout). We do understand that the actual number of parking spaces was likely less.

   Based on the aforementioned evaluation, the change in use and this application results in a decrease in the non-conformity from 74 spaces to 15 spaces. It is my understanding that the fact that the situation of this application improves compliance, although it may not meet current regulations, means the applicant does not need to go to ZBA. The Board may wish to discuss this matter with the Building Inspector and verify this conclusion as part of this meeting's review.

3. The Board should discuss the general layout of the parking, access to the site, building area of use (following the partial demolition), and other conceptual plan issues. The Board should also discuss the parking nonconformity and the bulk nonconformities (pre-existing rear yard, height and coverage), and determine whether a referral to the ZBA is required.

4. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.

5. The applicant has been advised that a significant amount of additional information is required to make the site plan submittal complete. Once the Board provides some "input" regarding the site, they should be instructed to proceed with the preparation of the complete submittal, and schedule a subsequent work session meeting.

Respectfully Submitted,

Mark Edsall, P.E., P.P.

Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW04-18-11Aug04.doc

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/22/2004

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

	DATE-SENT	AGENCY----------	DATE-RECD	RESPONSE----------
REV1	09/13/2004	MUNICIPAL HIGHWAY	09/21/2004	APPROVED
REV1	09/13/2004	MUNICIPAL WATER	/ /	
REV1	09/13/2004	MUNICIPAL SEWER	/ /	
REV1	09/13/2004	MUNICIPAL FIRE	09/16/2004	APPROVED
REV1	09/13/2004	NYSDOT	/ /	
ORIG	08/09/2004	MUNICIPAL FIRE	08/11/2004	APPROVED
ORIG	08/09/2004	E911 COORDINATOR	08/11/2004	APPROVED

Jim -
Just get his
name for Fran

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/22/2004

LISTING OF PLANNING BOARD**ACTIONS**

STAGE: STATUS [Open, Withd]
O [Disap, Appr]

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE-- MEETING-PURPOSE----------ACTION-TAKEN--------

08/11/2004 PLANNING BOARD APPEARANCE LA: RETURN
. FIND BETTER PLACE FOR DUMPSTER - NEED LANDSCAPING, DRAINAGE
. AND LIGHTING PLANS - NO ZBA NEEDED

06/16/2004 WORK SHOP APPEARANCE SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/22/2004 PAGE:

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

	DATE-SENT	ACTION----------	DATE-RECD	RESPONSE---------
ORIG	08/09/2004	EAF SUBMITTED	08/09/2004	WITH APPLIC
ORIG	08/09/2004	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	08/09/2004	LEAD AGENCY DECLARED	08/11/2004	TOOK LA
ORIG	08/09/2004	DECLARATION (POS/NEG)	/ /	
ORIG	08/09/2004	SCHEDULE PUBLIC HEARING	/ /	
ORIG	08/09/2004	PUBLIC HEARING HELD	/ /	
ORIG	08/09/2004	WAIVE PUBLIC HEARING	/ /	
ORIG	08/09/2004	PRELIMINARY APPROVAL	/ /	
ORIG	08/09/2004		/ /	
ORIG	08/09/2004	LEAD AGENCY LETTER SENT	/ /	

RESULTS OF P.B. MEETING OF: August 11, 2004

PROJECT: 59 Windsor Hwy P.B. # 04-18

LEAD AGENCY:

AUTHORIZE COORD. LETTER: Y____ N____
TAKE LEAD AGENCY: Y✓ N____

M) A S) L VOTE: A 5 N 0
CARRIED: Y ✓ N____

NEGATIVE DEC:

M)____ S)____ VOTE: A____ N____
CARRIED: Y____ N____

PUBLIC HEARING: WAIVED:____ CLOSED:____

M) ____ S)____ VOTE: A____ N____ SCHEDULE P.H.: Y____ N____

SEND TO O.C. PLANNING: Y____
SEND TO DEPT. OF TRANSPORTATION: Y____

REFER TO Z.B.A.: M)____ S)____ VOTE: A____ N____

RETURN TO WORK SHOP: Y____ N____

APPROVAL:

M)____ S)____ VOTE: A____ N____ APPROVED: ____

NEED NEW PLANS: Y____ N____

CONDITIONS – NOTES:

"Access Medical Group"
Find better place for Dumpster
Need landscaping, drainage + lighting plan
No ZBA Needed

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/11/2004

LISTING OF PLANNING BOARD **FEES**
ESCROW

FOR PROJECT NUMBER: 4-18
NAME: 59 WINDSOR HWY - MEDICAL OFFICE BLDG -PA2004-0735
APPLICANT: BBL CONSTRUCTION SERVICES, LLC

--DATE--	DESCRIPTION---------	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/26/2004	REC. CK. #81213	PAID		1000.00	
			---	---	---
		TOTAL:	0.00	1000.00	-1000.00

8/11/04

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#825-2004

08/11/2004

Bbl Construction Services PB.#04-18

Received $ 125.00 for Planning Board Fees, on 08/11/2004. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE

TO: James Petro, Planning Board Chairman

FROM: John McDonald, Fire Inspector

SUBJECT: PB-04-18
59 Windsor Hwy.
Medical Office Bldg. (former-Devitts)

DATE: September 16, 2004

Fire Prevention Reference Number: FPS-04-041

A review of the above referenced Site Plan was conducted and found to be acceptable.

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

RECEIVED
SEP 14 2004
TOWN OF NEW WINDSOR
FIRE INSPECTOR OFFICE

TO: E 911 COORDINATOR

P.B. FILE #**04-18** DATE RECEIVED: **09-13-04**

PLEASE RETURN COMPLETED FORM TO MYRA BY: 09-20-04 TO BE ON AGENDA FOR THE 09-22-04 PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

59 WINDSOR HWY - MEDICAL OFFICE BLDG. (FORMER DEVITS)
Applicant or Project Name

SITE PLAN **XXX**, SUBDIVISION ____, LOT LINE CHANGE ____, SPECIAL PERMIT ____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes: NO E911 Numbering ISSUES

☐ DISAPPROVED:

Notes:

Signature: [signature] 9/15/04
Reviewed by date

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

RECEIVED
SEP 13 2004
N.W. HIGHWAY DEPT.

TO: HIGHWAY DEPARTMENT

P.B. FILE #**04-18** DATE RECEIVED: **09-13-04**

PLEASE RETURN COMPLETED FORM TO MYRA BY: 09-20-04 TO BE ON AGENDA FOR THE 09-22-04 PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

59 WINDSOR HWY - MEDICAL OFFICE BLDG. (FORMER DEVITS)
Applicant or Project Name

SITE PLAN **XXX**, SUBDIVISION ____, LOT LINE CHANGE ____, SPECIAL PERMIT ____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☑ APPROVED:

Notes:

☐ DISAPPROVED:

Notes:

Signature: Henry J. Kerbl 9/21/04
Reviewed by date

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

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☐ Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF: New Windsor **P/B APP. NO.:** 04-18

WORK SESSION DATE: 1 Sept 2004 **PROJECT:** NEW ____ OLD X

REAPPEARANCE AT W/S REQUESTED: ~~Not~~ Not now **RESUB. REQ'D:** ~~[illegible]~~ new plans

PROJECT NAME: 59 Windsor Hwy

REPRESENTATIVES PRESENT: Tim

MUNICIPAL REPS PRESENT:

BLDG INSP.		FIRE INSP.	
ENGINEER	X	PLANNER	
P/B CHMN		OTHER	

ITEMS DISCUSSED:

- fix s/w @ Dr elev entr. (south entry)
- show entries + o/H doors
- cross hatch loading zone
- loading zone sign
- note re storm to existing
- f/H?

STND CHECKLIST:

DRAINAGE ____
DUMPSTER ____
SCREENING ____
LIGHTING (Streetlights) ____
LANDSCAPING ____
BLACKTOP ____
ROADWAYS ____
APPROVAL BOX ____

PROJECT TYPE

SITE PLAN (circled)
SPEC PERMIT
L L CHG.
SUBDIVISION
OTHER

PROJECT STATUS:

ZBA Referral: ___Y ___N

Ready For Meeting ___Y ___N

Recommended Mtg Date Next avail

WorksessionForm.doc 9-02 MJE

FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE

TO: James Petro, Planning Board Chairman

FROM: John McDonald, Fire Inspector

SUBJECT: PB-04-18
59 Windsor Hwy.
Medical Office Bldg.

DATE: August 11, 2004

Fire Prevention Reference Number: FPS-04-034

A review of the above referenced Site Plan was conducted and found to be acceptable.

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

RECEIVED
AUG 11 2004
TOWN OF NEW WINDSOR
FIRE INSPECTOR OFFICE

TO: FIRE INSPECTOR

P.B. FILE #**04-18** DATE RECEIVED: **08-09-04**

PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE ____ PLANNING BOARD MEETING

THE MAPS AND/OR PLANS FOR:

59 WINDSOR HIGHWAY - MEDICAL OFFICE BUILDING
Applicant or Project Name

SITE PLAN **XXX**, SUBDIVISION ____, LOT LINE CHANGE ____,
SPECIAL PERMIT ____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes:

☐ DISAPPROVED:

Notes:

Signature: 8/11/2004
Reviewed by date

Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: E 911 COORDINATOR

P.B. FILE #**04-18** DATE RECEIVED: **08-09-04**

PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE _____ PLANNING BOARD MEETING.

THE MAPS AND/OR PLANS FOR:

59 WINDSOR HIGHWAY - MEDICAL OFFICE BUILDING
Applicant or Project Name

SITE PLAN **XXX**, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

☒ APPROVED:

Notes:_____

☐ DISAPPROVED:

Notes:_____

Signature: JmcDonald 8/11/2004
Reviewed by date

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.
RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

☐ Main Office
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Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN / VILLAGE OF: NEW WINDSOR **P/B APP. NO.:** ____ - ____

WORK SESSION DATE: 7 JULY 2004 **PROJECT:** NEW X OLD ____

REAPPEARANCE AT W/S REQUESTED: Yes **RESUB. REQ'D:** Full Late

PROJECT NAME: MDX Medical

REPRESENTATIVES PRESENT: T. O Brien

MUNICIPAL REPS PRESENT:

BLDG INSP. ____ FIRE INSP. John M.S.
ENGINEER X PLANNER ____
P/B CHMN ____ OTHER ____

ITEMS DISCUSSED: C - A-3 use

- Existing Dental bldg off property in rear - he rents property
1/175
- W/Q - exempt.

STND CHECKLIST:

DRAINAGE ____
DUMPSTER ____
SCREENING ____
LIGHTING ____
(Streetlights)
LANDSCAPING ____
BLACKTOP ____
ROADWAYS ____
APPROVAL BOX ____

PROJECT TYPE

SITE PLAN
SPEC PERMIT
L L CHG.
SUBDIVISION
OTHER

PROJECT STATUS:

ZBA Referral: ___Y ___N
Ready For Meeting ___Y X N
Recommended Mtg Date ____

WorksessionForm.doc 9-02 MJE

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision____ Lot Line Change____ Site Plan X Special Permit____

Tax Map Designation: Sec. 9 Block 1 Lot 3821

BUILDING DEPARTMENT PERMIT NUMBER PA 2004- 0735

1. Name of Project Prpposed Renovation - 59 Windsor Highway

2. Owner of Record Straus Family Capital Group, LLC Phone 914-328-4500 ext. 3712

   Address: 2 Northern Gate, Cold Spring, New York
   (Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant BBL Construction Services, LLC Phone 518-452-8200

   Address: 302 Washington Avenue Extension Albany, New York 12203
   (Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan BL Companies Phone 845-471-0610

   Address: 2678 South Road Poughkeepsie NY 12601
   (Street Name & Number) (Post Office) (State) (Zip)

5. Attorney N/A Phone

   Address
   (Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

(Name)	(Phone)	(fax)
Daniel Wilson	518-452-8200 518-461-2704 Cell#	518-452-2898
Tim O'Brien	845-471-0610	845-471-5642

7. Project Location: On the East (Direction) side of Rt 32 Windsor Hwy (Street)

8. Project Data: Acreage 2.65 Zone C School Dist. Unknown

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TOWN OF NEW WINDSOR
JUL 26 2004
ENGINEER & PLANNING

(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

04-18

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes_____ No_____ ✓

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached AAgricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) Convert to Medical office Change of use

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes_____ no ✓
12. Has a Special Permit previously been granted for this property? yes_____ no ✓

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)
SS.:
COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

22 DAY OF July 2004

SARENA STRAUS
NOTARY PUBLIC, State of New York
No. 02ST6054858
Qualified in New York County
Commission Expires Feb. 12, 2007

Sarena Straus
NOTARY PUBLIC

(OWNER'S SIGNATURE)

(AGENT'S SIGNATURE)

DANIEL P. WILSON
Please Print Agent's Name as Signed

****

TOWN USE ONLY

RECEIVED
TOWN OF WINDSOR
JUL 26 2004
ENGINEERING DIVISION

DATE APPLICATION RECEIVED

04-18
APPLICATION NUMBER

9. Is this property within Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes_____ No___X_____

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached AAgricultural Data Statement.**

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) Convert to Medical Office, change of use

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes_____ no_X_

12. Has a Special Permit previously been granted for this property? yes_____ no_X_

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)
SS.:
COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

_____DAY OF_____20___

_____
(OWNER'S SIGNATURE)

_____
(AGENT'S SIGNATURE)

Daniel P. Wilsi
Please Print Agent's Name as Signed

_____
NOTARY PUBLIC

****

TOWN USE ONLY:

RECEIVED
TOWN OF NEW WINDSOR
JUL 2 6 2004
ENGINEER & PLANNING

_____
DATE APPLICATION RECEIVED

04-18
APPLICATION NUMBER

Rt 32 Offices

AGENT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

ARI STRAUS, MEMBER OF STRAUS FAMILY CAPITAL GROUP, LLC, deposes and says that he resides
(OWNER)

at 2 NORTHERN GATE, COLD SPRING, NY in the County of PUTNAM
(OWNER'S ADDRESS)

and State of NEW YORK and that he is the owner of property tax map

(Sec. 9 Block 1 Lot 38.21)
designation number(Sec. 9 Block 1 Lot 38.21) which is the premises described in the foregoing application and that he designates:

BBL

(Agent Name & Address)

302 WA

(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.

SWORN BEFORE ME THIS:

22nd DAY OF JULY 2004)

Sarena Straus
SARENA STRAUS
NOTARY PUBLIC, State of New York
No. 02ST6054858
Qualified in New York County
Commission Expires Feb. 12, 2007

NOTARY PUBLIC

** Ari Straus
Owner's Signature (MUST BE NOTARIZED

Agent's Signature (If Applicable)

Professional Representative's Signature

****PLEASE NOTE:*** ***ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.***

THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER

RECEIVED
TOWN OF NEW WINDSOR
JUL 2 6 2004
ENGINEER & PLANNING

04-18

14-16-4 (2/87)—Text 12

PROJECT I.D. NUMBER

617.21
Appendix C
State Environmental Quality Review

SEQR

SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR

2. PROJECT NAME

3. PROJECT LOCATION:
Municipality Renovations to 59 Windsor Hwy, New Windsor County

4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map)
59 Windsor Highway and Riscuti Road

5. IS PROPOSED ACTION:
☐ New ☐ Expansion ☒ Modification/alteration

6. DESCRIBE PROJECT BRIEFLY:
Renovation of existing

7. AMOUNT OF LAND AFFECTED:
Initially 2.65 acres Ultimately _____ acres

8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS?
☒ Yes ☐ No If No, describe briefly

9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT?
☐ Residential ☐ Industrial ☒ Commercial ☐ Agriculture ☐ Park/Forest/Open space ☐ Other
Describe:

10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)?
☐ Yes ☒ No If yes, list agency(s) and permit/approvals

11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL?
☐ Yes ☒ No If yes, list agency name and permit/approval

12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION?
☒ Yes ☐ No

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Daniel Wilson Date: 7/22/04

Signature: _____

RECEIVED
TOWN OF NEW WINDSOR
JUL 26 2004
ENGINEER & PLANNING

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

04-18

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.

☐ Yes ☒ No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.

☐ Yes ☒ No

C. COULD ACTION RESULT IN **ANY** ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: NO

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

N/A

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

N/A

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly.

N/A

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

N/A

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

N/A

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

N/A

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?

☐ Yes ☒ No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☒ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Daniel P. Wilson — Project Manager

Print or Type Name of Responsible Officer in Lead Agency — Title of Responsible Officer

Signature of Responsible Officer in Lead Agency — Signature of Preparer (If different from responsible officer)

7/22/04

Date

RECEIVED TOWN OF NEW PALTZ JUL 26 2004 ENGINEER & PLANNING

04-18

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. ✓ Site Plan Title
2. ✓ **Provide 4" wide X 2" high box (IN THE LOWEST RIGHT CORNER OF THE PLAN) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).**

   SAMPLE:

3. ✓ Applicant's Name(s)
4. ✓ Applicant's Address
5. ✓ Site Plan Preparer's Name
6. ✓ Site Plan Preparer's Address
7. ✓ Drawing Date
8. ✓ Revision Dates
9. ✓ Area Map Inset and Site Designation
10. ✓ Properties within 500' of site
11. ✓ Property Owners (Item #10)
12. ✓ Plot Plan
13. ✓ Scale (1" = 50' or lesser)
14. ✓ Metes and Bounds
15. ✓ Zoning Designation
16. ✓ North Arrow
17. ✓ Abutting Property Owners
18. ✓ Existing Building Locations
19. ✓ Existing Paved Areas
20. ✓ Existing Vegetation
21. ✓ Existing Access & Egress

04-18

N/A or per Dwg

PROPOSED IMPROVEMENTS

22. _____ Landscaping
23. _____ Exterior Lighting
24. _____ Screening
25. _____ Access & Egress
26. _____ Parking Areas
27. _____ Loading Areas
28. _____ Paving Details (Items 25 - 27)
29. _____ Curbing Locations
30. _____ Curbing through section
31. _____ Catch Basin Locations
32. _____ Catch Basin Through Section
33. _____ Storm Drainage
34. _____ Refuse Storage
35. _____ Other Outdoor Storage
36. _____ Water Supply
37. _____ Sanitary Disposal System
38. _____ Fire Hydrants
39. _____ Building Locations
40 _____ Building Setbacks
41. _____ Front Building Elevations
42. _____ Divisions of Occupancy
43. _____ Sign Details
44. _____ Bulk Table Inset
45. _____ Property Area (Nearest 100 sq. ft.)
46. _____ Building Coverage (sq. ft.)
47. _____ Building Coverage (% of total area)
48. _____ Pavement Coverage (sq. ft.)
49. _____ Pavement Coverage (% of total area)
50 _____ Open Space (sq. ft.)
51. _____ Open Space (% of total area)
52. _____ No. of parking spaces proposed
53. _____ No. of parking spaces required

04-18

NA/

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54._____ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55._____ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

STATE OF NEW YORK ROBERT A. LANDINO LICENSED PROFESSIONAL ENGINEER 087684

BY: _____ 7.29.04

Licensed Professional Date

PLEASE NOTE:

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.

04-18

PREVIOUS

DOCUMENT

IN POOR

ORIGINAL

CONDITION

SITE PLAN SUBMITTAL DOCUMENTS

RENOVATIONS FOR
59 WINDSOR HIGHWAY
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

PREPARED FOR:

OWNER:

STRAUS FAMILY CAPITAL GROUP
707 WESTCHESTER AVE. SUITE 116
WHITE PLAINS, NEW YORK

APPLICANT:

BBL CONSTRUCTION
302 WASHINGTON AVENUE
ALBANY, NEW YORK

PREPARED BY:

BL Companies

ARCHITECTURE ENGINEERING PLANNING LANDSCAPE ARCHITECTURE

LAND SURVEYING ENVIRONMENTAL SCIENCES

2678 South Road
Poughkeepsie, NY 12601
(845) 471-0610
(845) 471-5642 Fax

DATES

ISSUE DATE: SEPTEMBER 10, 2004
REVISION DATE: OCTOBER 20, 2004

FOR REVIEW PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

UTILITY CONTACTS

TELEPHONE:

VERIZON
20 SOUTH HAMILTON ST.
POUGHKEEPSIE, NY 12601
845-451-8331
ATTN: DONNA TIPTON

ELECTRIC:

CENTRAL HUDSON GAS AND ELECTRIC
610 LITTLE BRITIAN ROAD
NEW WINDSOR, NY 12553
845-563-4529
ATTN: JOSEPH KISSEL

SEWER:

JOHN EITTO
CAMO POLLUTION CONTROL
845-561-2550

WATER:

JOHN EITTO
CAMO POLLUTION CONTROL
845-561-2550

GAS:

CENTRAL HUDSON GAS AND ELECTRIC
610 LITTLE BRITIAN ROAD
NEW WINDSOR, NY 12553
845-563-4529
ATTN: JOSEPH KISSEL

CABLE:

TIME WARNER CABLE
400 AUTO PARK PLACE
NEWBURGH, NY 12550
845-563-3851
ATTN: JOE DeROMA

HUDSON VALLEY DATA NET
263 ROUTE 17 SUITE 2003
NEWBURGH, NY 12550
845-567-8367
ATTN: NICK PASCARETTI

CONTENTS

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY THE TOWN OF NEW WINDSOR ZONING AND SUBDIVISION ORDINANCES.
2. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEW WINDSOR REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION.
4. REFER TO ALL PLAN AND DETAIL SHEET FOR DESIGN INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN SITE DRAWINGS AND ARCH. DRAWINGS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
5. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, RAISED CONCRETE SIDEWALKS AND RAMPS.
6. REFER TO THE DETAIL SHEET FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
7. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, AND THE APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN OF NEW WINDSOR
9. TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH NYSDOT STANDARDS.
10. PAVEMENT MARKINGS SHALL BE FAST DRYING TYPE IN ACCORDANCE WITH NYSDOT SPECIFICATIONS.
11. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE TO THE LOCAL CONSTRUCTION MANAGER PRIOR TO STRIPING.
12. TWELVE (12) INCH SWSB (STOP BAR) AND 4" SDYL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS TO BE EPOXY RESIN TYPE ACCORDING TO NYSDOT SPECIFICATIONS.
13. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER, CONSTRUCTION MANAGER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
15. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN MAINTENANCE OF TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC MEN AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE TOWN OF NEW WINDSOR IS GRANTED.
16. THE PROJECT DRAWINGS ARE GENERALLY DIAGRAMMATIC IN INDICATING THE PRESENCE OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND INCLUDING SERVICES, WHEN THE UTILITIES ARE TO BE LEFT IN PLACE, THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF SUPPORT FOR PROTECTION DURING THE EXCAVATION AND BACKFILLING OPERATIONS.
17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
18. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE TOWN OF NEW WINDSOR. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
19. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
20. THE SURVEY INFORMATION FOR THIS PROJECT HAS BEEN PROVIDED BY HERITAGE LAND SURVEYING, P.C. (REFER TO ALTA/ACSM LAND TITLE SURVEY - LANDS OF DEVITTS, DATED JULY 2, 2004). ELEVATIONS AND CONTOURS REFER USGS BASED ON ORANGE COUNTY WATER AUTHORITY MAPPING.
21. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
22. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED, ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE. MINIMUM CURB RADIUS IS 2'. ALL KNOWN EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THE SURVEY AND SITE PLAN.
23. REFERENCE BUILDING ARCHITECTURAL PLANS PREPARED BY OTHERS FOR EXACT BUILDING DIMENSIONS AND UTILITY SERVICE CONNECTIONS.
24. THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TEST TO BE DETERMINED BY THE OWNER AND SITE ENGINEER, IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR COST INCURRED DUE TO SCHEDULING PROBLEMS OR FOR REPEATED TESTING.
25. THE CONTRACTOR SHALL NOTIFY THE TOWN OF NEW WINDSOR PRIOR TO COMMENCEMENT OF PAVING.
26. ALL ENGINEERING WORK TO BE PERFORMED TO LATEST PLANNING BOARD SPECIFICATIONS AND REQUIREMENTS
27. EXISTING CURBS, SIDEWALKS AND DRIVEWAY APRONS ARE TO BE REMOVED AND REPLACED FROM EXPANSION JOINT TO EXPANSION JOINT TO ITS FULL DEPTH FOR INSTALLATION AND/OR REMOVAL OF CURB CUTS AND FOR THE REPLACEMENT OF DAMAGES WHETHER INCURRED PRIOR TO OR DURING CONSTRUCTION.
28. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOW TO ALERT CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "UFPO" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 800-962-7962 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEMS LOCATIONS.

STATE OF NEW YORK
ROBERT A. LANDRY
067684
LICENSED PROFESSIONAL ENGINEER

TOWN OF NEW WINDSOR
PLANNING BOARD
STAMP OF APPROVAL
APPROVAL GRANTED AT MEETING OF THE
MAR - 3 2005
By: Secretary
Neil Schlesinger, Secretary

LEGEND

	DENOTES EXISTING CONTOUR LINE
	DENOTES EXISTING OVERHEAD WIRES
	DENOTES EXISTING UTILITY POLE
GUY	DENOTES EXISTING GUY WIRE
	DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING SIGN
WV	DENOTES EXISTING WATER VALVE
GV	DENOTES EXISTING GAS VALVE
G	DENOTES EXISTING UNDERGROUND GAS
W	DENOTES EXISTING UNDERGROUND WATER
IRS	DENOTES EXISTING IRON ROD SET
MAGS	DENOTES EXISTING MAGNAIL SET
GM	DENOTES EXISTING GAS METER
DHS	DENOTES EXISTING DRILL HOLE SET

ZONING INFORMATION

LOCATION: 59 WINDSOR HIGHWAY (ROUTE 32), TOWN OF NEW WINDSOR, NEW YORK

ZONE: C (DESIGN SHOPPING)

USE: (EXISTING) PERMITTED USE – RETAIL STORE
(PROPOSED) PERMITTED USED – PROFESSIONAL (MEDICAL) OFFICE

ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED
1	MINIMUM LOT AREA	40,000 S.F	115,631 S.F.	115,631 S.F.
2	MINIMUM LOT WIDTH	200 FEET	405 FEET	405 FEET
3	MINIMUM FRONT SETBACK	60 FEET	Rte 32 – 118.56' RUSCITTI Rd – 94.16'	Rte 32 – 144.91' RUSCITTI Rd – 161.84'
4	MINIMUM SIDE SETBACK	N/A	28.67 FEET	28.67 FEET
5	TOTAL SIDE SETBACK	N/A	N/A	N/A
6	MINIMUM REAR SETBACK	30 FEET	0 FEET *	0 FEET *
7	MAXIMUM BUILDING HEIGHT	12 INCHES PER FOOT OF DISTANCE TO THE NEAREST LOT LINE PERMITTED HEIGHT = 0 FEET	28 FEET *	28 FEET *
8	MAXIMUM DEVELOPMENT COVERAGE	85 PERCENT	98 PERCENT *	89 PERCENT *
9	REQUIRED STREET FRONTAGE	N/A	405 FEET	405 FEET
1	MAXIMUM FLOOR AREA RATIO	50 PERCENT	30 PERCENT	33 PERCENT

* PRE EXISTING NON–CONFORMING CONDITION

PARKING INFORMATION

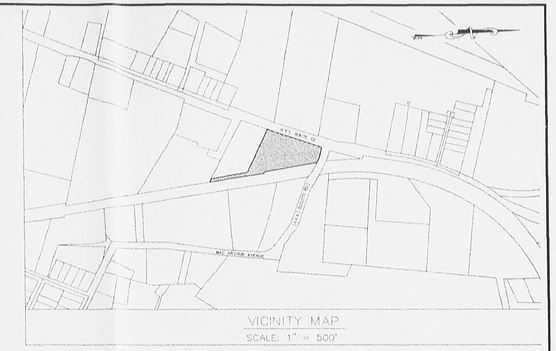
ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED
1	BUILDING SIZE	NONE REQUIRED	35,157 S.F.	38,590 S.F.
2	PARKING REQUIRED	RETAIL = 1/150 SF 35157 / 150 = 234.38	160 SPACES 74 SPACES LESS THAN REQUIRED	
		MEDICAL OFFICE=1/175 SF 31,227 / 175 = 178.44 WAREHOUSE = 1/1000 SF 7,363 / 1000 = 7.363		156 30 SPACES LESS THAN REQUIRED
3	MINIMUM PARKING DIMENSIONS	9'x19'	9'x19'	9'x19'
4	MINIMUM AISLE WIDTH	25'	25'	25'

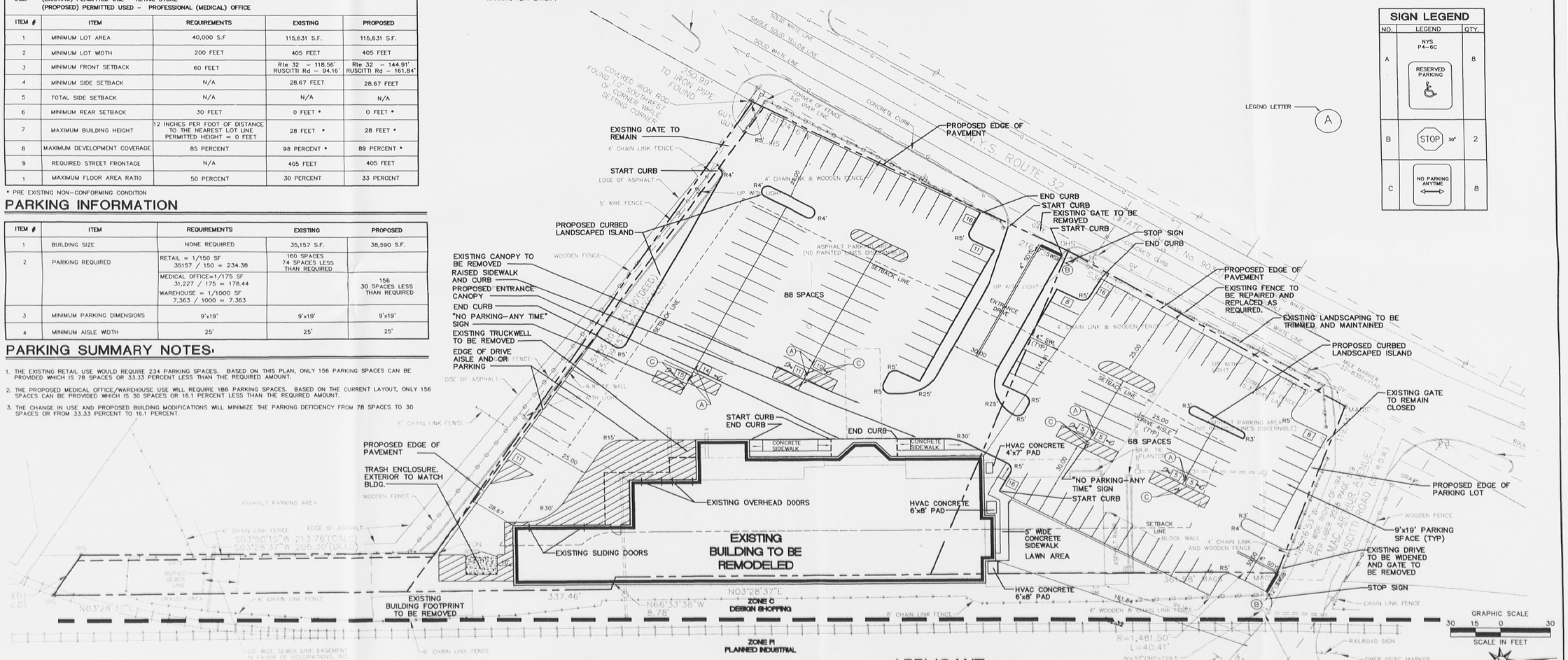
PARKING SUMMARY NOTES:

1. THE EXISTING RETAIL USE WOULD REQUIRE 234 PARKING SPACES. BASED ON THIS PLAN, ONLY 156 PARKING SPACES CAN BE PROVIDED WHICH IS 78 SPACES OR 33.33 PERCENT LESS THAN THE REQUIRED AMOUNT.
2. THE PROPOSED MEDICAL OFFICE/WAREHOUSE USE WILL REQUIRE 186 PARKING SPACES. BASED ON THE CURRENT LAYOUT, ONLY 156 SPACES CAN BE PROVIDED WHICH IS 30 SPACES OR 16.1 PERCENT LESS THAN THE REQUIRED AMOUNT.
3. THE CHANGE IN USE AND PROPOSED BUILDING MODIFICATIONS WILL MINIMIZE THE PARKING DEFICIENCY FROM 78 SPACES TO 30 SPACES OR FROM 33.33 PERCENT TO 16.1 PERCENT.

SITE NOTES

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH TOWN OF NEW WINDSOR STANDARDS
2. ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO THE FACE OF CURB, FACE OF BUILDING OR CENTERLINE OF PARKING BAY.
3. PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
4. ALL HANDICAP SPACES ARE TO RECEIVE HANDICAP SIGN(S) AND HANDICAP SYMBOL PAINTED ON THE ASPHALT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS
5. ALL CURB SHALL BE FULL DEPTH EXTRUDED CONCRETE CURB AS SHOWN ON THE DETAIL SHEET.
6. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, RAMPS, TRUCK DOCK, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
7. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS AND PROPERTY CORNERS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO RESET ANY SUCH PHYSICAL EVIDENCE DISTURBED DURING CONSTRUCTION.
8. THE EXACT LOCATION AND SIZE OF THE WATER, SEWER, TELEPHONE, GAS AND ELECTRIC SERVICES ARE TO BE COORDINATED AND DETERMINED WITH THE RESPECTIVE UTILITY COMPANIES.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITION ARISE, PRIOR TO PROCEEDING FURTHER WITH AFFECTED WORK.
10. FURNISH AND INSTALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS PER THIS PLAN AND THE SIGN LEGEND. ASPHALT PARKING LOT TO BE STRIPED IN ACCORDANCE WITH THE TOWN OF NEW WINDSOR STANDARDS. PAVEMENT MARKINGS IN CONCRETE PAVING AREAS TO BE PAINTED YELLOW. PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", ENTERPRISE LATEX TRAFFIC MARKING PAINT OR PITTSBURGH "SPEEDHIDE TRAFFIC AND ZONE MARKING FLAT LATEX".
11. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A DRAWING ENTITLED "ALTA/ACSM LAND TITLE SURVEY – LANDS OF DEVITTS DATED JULY 2, 2004, AS PREPARED HERITAGE LAND SURVEYING, P.C.
12. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
13. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND MANUAL OF UNIFORMED TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
14. PAVEMENT MARKING KEY
    4"SYDL 4" SOLID YELLOW DOUBLE YELLOW LINE
    4"SYL 4" SOLID YELLOW LINE
    4"SWL 4" SOLID WHITE LINE
    12"SWSB 12" SOLID WHITE STOP BAR
15. PARKING SPACES SHALL BE STRIPED PER TOWN OF NEW WINDSOR REQUIREMENTS, HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45°ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND OTHER STRIPING FOR HANDICAP SPACES SHALL MEET LOCAL STATE AND FEDERAL REQUIREMENTS.
16. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITY, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
17. THE CONTRACTOR SHALL COMPLY WITH CFR29 PART 1926 EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.





SIGN LEGEND

NO.	LEGEND	QTY.
A	NYS P4–6C RESERVED PARKING	8
B	STOP 30"	2
C	NO PARKING ANYTIME	8

LEGEND LETTER — A

OWNER
STRAUS FAMILY CAPITAL GROUP
707 WESTCHESTER AVE. SUITE 116
WHITE PLAINS, NEW YORK

APPLICANT
BBL CONSTRUCTION
302 WASHINGTON AVENUE
ALBANY, NEW YORK

FOR REVIEW PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

THIS SITE PLAN IS A NET DECREASE IN IMPERVIOUS AREA. CONTRACTOR IS INSTRUCTED TO SLOPE ALL PAVED AREAS TO EXISTING STORM STRUCTURES

TOWN OF NEW WINDSOR
PLANNING BOARD
STAMP OF APPROVAL
MAR – 3 2005

BL Companies
ARCHITECTURE
ENGINEERING
PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ENVIRONMENTAL SCIENCES

2678 South Road
Poughkeepsie, NY 12601
(845) 471-0610
(845) 471-5642 Fax

RENOVATION FOR 59 WINDSOR HIGHWAY
NEW YORK STATE ROUTE 32
TOWN OF NEW WINDSOR, NEW YORK

REVISIONS

No.	Date	Desc.
1	10/20/04	REVISE PER COMMENTS TOWN SIGNATURE SUBMITTAL

Designed	
Drawn	TJO
Checked	
Approved	
Scale	1"=30'
Project No.	04c1014
Date	9/10/04
CAD File	SPC101401

Title
SITE PLAN

Sheet No.
SP-1

xref (s): XXXXXXX

LANDSCAPE NOTES:

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE LAYOUT PLAN, LIGHTING PLAN, GRADING PLAN AND UTILITIES PLAN FOR ALL OTHER INFORMATION.

2. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE ONE YEAR GUARANTEE PERIOD.

3. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.

4. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND SITE FACTORS SUCH AS THE LOCATION OF ROCK OUTCROPS. PRIOR TO PLANTING THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS. THE OWNER OR LANDSCAPE ARCHITECT SHALL APPROVE THE FIELD LOCATIONS OR ADJUSTMENTS OF THE PLANT MATERIAL.

5. ALL SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". SHREDDED HARDWOOD BARK MULCH SHALL BE SPREAD OVER GEOTEXTILE FABRIC EQUAL TO MARAFI MODEL 140 NL FOR SHRUB MASSING AREAS. ANNUAL AND PERENNIAL FLOWER BEDS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. GROUND COVER AREAS SHALL NOT HAVE FABRIC.

6. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE CONTRACTOR. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL. SEE LANDSCAPE DETAIL SHEET FOR PLANTING DETAILS.

7. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND DRAINAGE AND UTILITY PLANS FOR STORM, SANITARY, GAS, ELECTRIC, TELEPHONE AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.

8. LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED FROM WITHIN ISLANDS TO BE LANDSCAPED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITHIN ISLANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.

9. PLANTING SOIL MIXTURE:
   2 PARTS PEAT MOSS
   5 PARTS TOPSOIL
   MYCORRHIZA INOCULANT – "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS.
   FERTILIZER/LIME APPLY AS RECOMMENDED BY SOIL ANALYSIS

10. TREES, AND SHRUBS:
TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCATION OF THE PROJECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.THEY SHALL HAVE HEALTHY AND WELL-DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN LEADER INTACT UNLESS OTHERWISE STATED. THE OWNER OR LANDSCAPE ARCHITECT SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.

ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL HAVE SINGLE STRAIGHT TRUNKS AND SHALL NOT BRANCH BELOW 7' FEET HIGH IF THE TREE CALIPER IS 2 1/2" INCHES OR GREATER.

11. ANNUALS, PERENNIALS, AND GROUNDCOVERS:
ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE IS REQUIRED FOR ALL PLANT MATERIALS.

12. SEEDING MIXTURES:
   A. LAWN SEED
      25% CUTTER PERENNIAL RYEGRASS
      25% CREEPING RED FESCUE
      25% ELF PERENNIAL RYEGRASS
      25% KENTUCKY BLUEGRASS
   SEEDING SHALL BE APPLIED AT A RATE OF 5 LBS./1000 S.F. AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED AS LAWN.SEEDING SHALL BE DONE AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 1, UNLESS OTHERWISE APPROVED BY THE OWNER.
   B. LOW MAINTENANCE SEEDING MIXTURE – LOFTS SEED COMPANY OR APPROVED EQUAL
      (NATIVE SHORT GRASS MIXTURE)
      40% LITTLE BLUESTEM (ANDROPOGON SCOPARIUS)
      30% BLUE SHEEP OR HARD FESCUE (FESTUCA OVINA, FESTUCA LONIFOLIA)
      15% BLUE GRAMA (BOUTELOUA GRACILIS)
      15% SIDE OATS GRAMA (BOUTLOUA CURTIPENDULA)
      SEEDING RATES: 3 LBS PER 1,000 S.F. (ADD 10% [illegible])
      SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. ALL AREAS CALLED OUT AS LOW MAINTENANCE SEEDING MIXTURE ON THE LANDSCAPE PLAN SHALL BE SEEDED AS INDICATED.
   C. SLOPE SEEDING MIXTURE (3:1 SLOPES OR GREATER)
      CROWNVETCH* (CORONILLA VARIA) (20%)
      BIRDSFOOT TREFOIL* (LOTUS CORNICULTUS VAR. ARVENSIS)(40%)
      ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) (30%)
      ALSIKE CLOVER (TRIFOLIUM HYBRIDUM) (10%)
      *LEGUMINOUS SEED TO BE INOCULATED
      PURE LIVE SEED: 98–99%
      APPLICATION RATE: 25 LBS/ACRE
      FERTILIZER TYPE: 10–20–20
      FERTILIZER RATE OF APPLICATION: 400 LBS/ACRE
      LIMING RATE: 500 LBS/ACRE (PULVERIZED AGRI. LIMESTONE)
      MULCH TYPE: WOOD CELLULOSE FIBER
      MULCH RATE: 1400 LBS/ACRE
      ANCHOR MATERIAL: EC3000 COPOLYMER TACKIFIER
      ANCHORING METHOD: SLURRY, MIX AND SPRAY
      ANCHORING RATE OF APPLICATION: 3 LBS/ACRE
      SEEDING SEASON DATES: MARCH 1–MAY 15 AND SEPT. 1–OCTOBER 15
   G. TEMPORARY SEEDING MIXTURE TYPE 1 – TOPSOIL STOCKPILES
      ANNUAL RYEGRASS (50%)
      PERENNIAL RYEGRASS (50%)
      % PURE LIVE SEED: 95%
      APPLICATION RATE: 4LBS/MSF
      FERTILIZER TYPE: 5–5–5
      FERTILIZER APPLICATION RATE: 1000 LBS/ ACRE
      LIMING RATE: 1 TON/ ACRE
      MULCH TYPE: STRAW
      MULCH RATE: 3 TONS/ACRE

13. ALL SLOPES GREATER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.

14. TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4". CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.

15. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

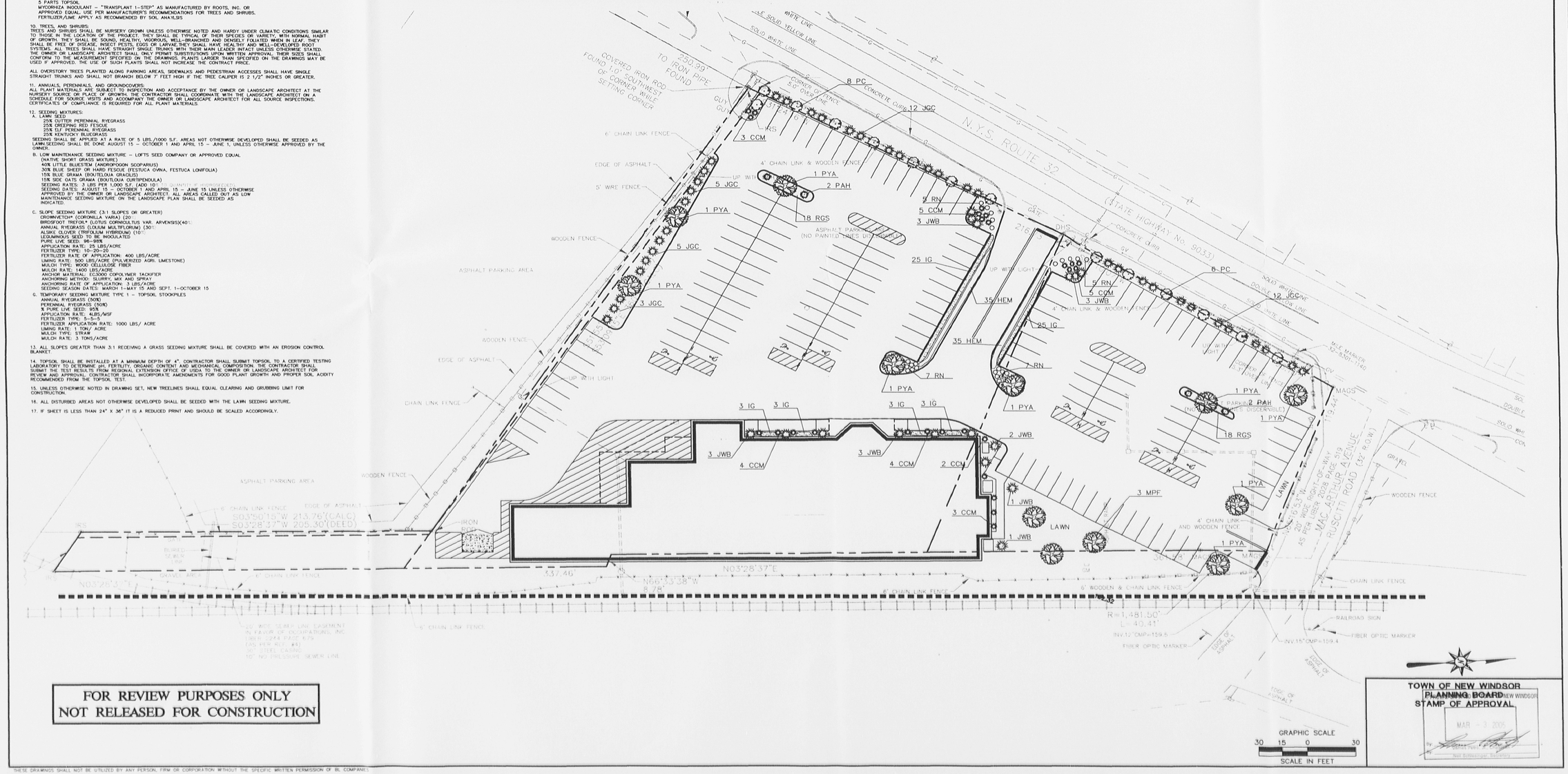
16. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEEDING MIXTURE.

17. IF SHEET IS LESS THAN 24" X 36" IT IS A REDUCED PRINT AND SHOULD BE SCALED ACCORDINGLY.

LANDSCAPE SCHEDULE

SHRUBS

KEY	QUANTITY	COMMON NAME	ROOT	SIZE	COMMENTS
PYA	9	ARISTOCRAT PEAR	B&B	2–2 1/2" CALIPER	UNIFORM, WELL DEVELOPED
MPF	3	PRAIREIFIRE CRABAPPLE	B&B	2–2 1/2" CALIPER	UNIFORM, WELL DEVELOPED
IG	62	INKBERRY HOLLY	B&B	3 GAL.	UNIFORM, WELL DEVELOPED
CCM	26	GOLD MOP CYPRESS	B&B	3 GAL.	UNIFORM, WELL DEVELOPED
PC	14	PURPLE LEAF SANDCHERRY	B&B	5 GAL.	UNIFORM, WELL DEVELOPED
JGC	37	GOLD COAST JUNIPER	B&B	5 GAL.	UNIFORM, WELL DEVELOPED
JWB	16	WICHITA BLUE JUNIPER	B&B	7 GAL.	UNIFORM, WELL DEVELOPED
RN	24	CARPET ROSE	B&B	2 GAL.	UNIFORM, WELL DEVELOPED
HEM	70	HAPPY RETURNS DAY LILIES	B&B	2 GAL.	UNIFORM, WELL DEVELOPED
RGS	36	BLACK EYED SUSAN	B&B	3 GAL.	UNIFORM, WELL DEVELOPED
PAH	4	DWF FOUNTAIN GRASS	B&B	3 GAL.	UNIFORM, WELL DEVELOPED



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2678 South Road
Poughkeepsie, NY 12601
(845) 471-0610
(845) 471-5642 Fax

RENOVATION FOR 59 WINDSOR HIGHWAY

NEW YORK STATE ROUTE 32
TOWN OF NEW WINDSOR, NEW YORK

REVISIONS No.	Date	Desc.
1	10/20/04	RESPONSE PER COMMENTS TOWN SIGNATURE SUBMITTAL

Designed	
Drawn	TJO
Checked	
Approved	
Scale	1"=30'
Project No.	04C1014
Date	9/10/04
CAD File	LLC101401

Title
LANDSCAPE PLAN

Sheet No.
LL-1

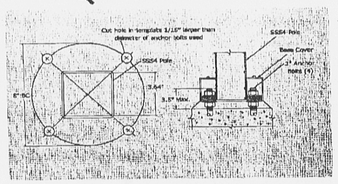
SiteLighting.com Luminaires

home | photometrics | literature | sales representatives | tech talk | gardco | emco | sites
search | viz club | rep net

bollards canopy circa cylinders emergency fascia forms fascia plates fascia wash floods/spots garage glowtops
gullwing lightpolumns log mantaray/minilay poles round sconces square step/aisle lights

SSS4 Straight Square Steel Dimensions

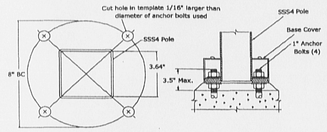
right-click to zoom in or to print dimentional drawing



NOTE: Factory supplied template must be used in setting anchor bolts. Gardco Lighting will not honor any claim for incorrect anchorage placement from failure to use factory supplied templates.

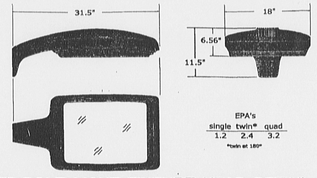
specifications
ordering matrix
dimensions
spec sheet (pdf)
Poles
4.5 Cruciform
6 Cruciform
Tapered Sq. Steel
PRA4 Round
PRA45 Round
PRA5 Round
RA4 Round
RA45 Round
RA5 Round
SRG Round Steel
SSA4 Square
SSA4.5 Square
SSA5 Square
SSA6 Square
SSS4 Square Steel
SSS5 Square Steel
Tapered Rnd Alum
Tapered Rnd Steel
4 Crucifrom
5 Crucifrom

Gardco Lighting
2661 Alvarado Street, San Leandro, CA 94577
800.227.0758 510.357.6900 FAX 510.357.3088



SITE POLE LIGHT BASE DETAIL

NOT TO SCALE



EPA's

single	twin*	quad
1.2	2.4	3.2

*back at 180°

SITE POLE LIGHT FIXTURE HEAD DETAIL

NOT TO SCALE

Project: MDX Medical Building	Project # 139-3893-R2
Specifier: Thomas Mancino - HCP Architects	
Agent: Donna Cregin - Light Spec Albany	
Calculations By: Richard Johnstone - Gardco Lighting	
Date: August 30, 2004	
Scale: 1 : 1	
Filename: w:\apps\2004\08-Aug\MDXMedical\139-3893-R2A32	
Photometric data used is based on established IES procedures and published lamp ratings.	
Pt. x pt. values shown are horizontal illuminance at grade.	
LLF used is essentially industry standard. A more project-specific value may be required.	
Field performance will depend on actual lamp, ballast, electrical, and site characteristics.	
Luminaire height shown is approximate overall mounting height above finished grade. (U.N.O.)	

Luminaire Schedule

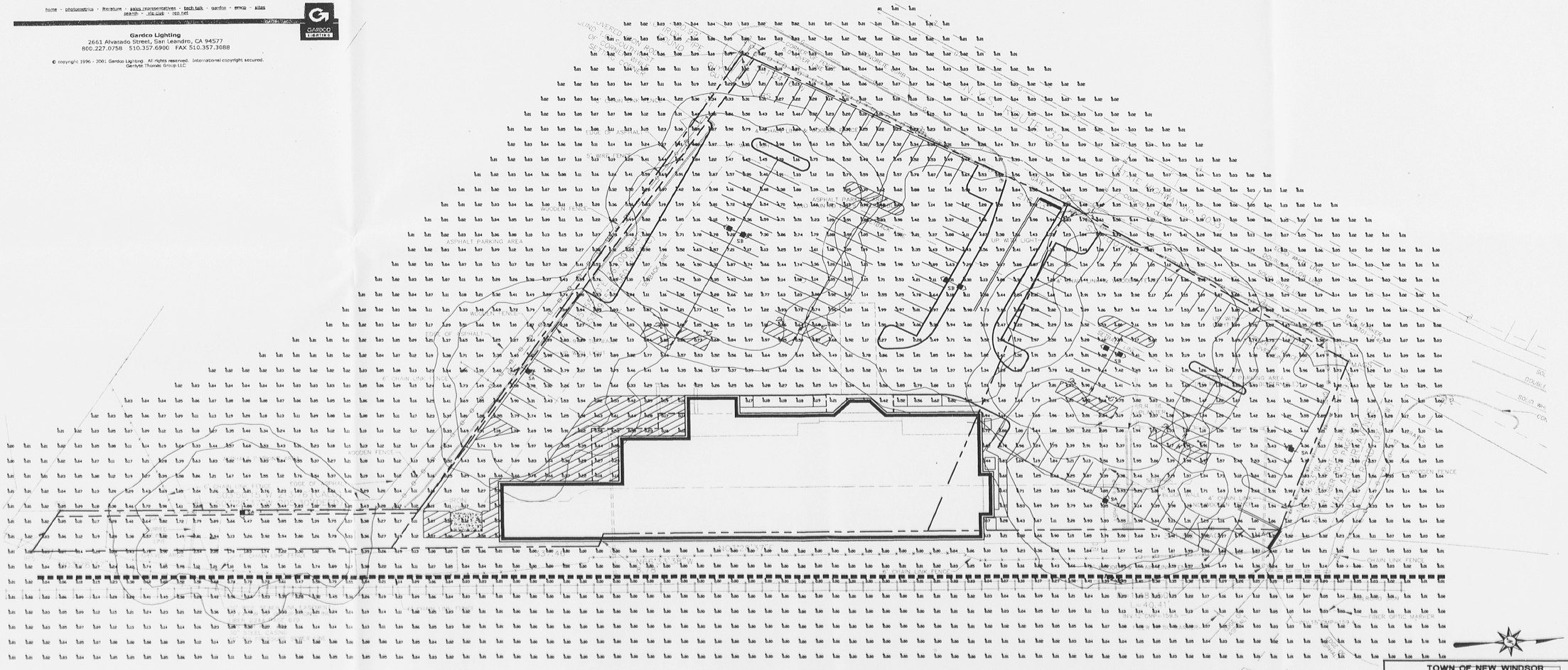
Project: MDX Medical Building

Symbol	Qty	Label	Description	Arrangement	Lumens	LLF	Filename
	4	SA	Gardco G18-1-3XL/400PSMH @ 27.5'	SINGLE	40000	0.720	GW3X4Mles
	3	SB	Gardco G18-2-3XL/400PSMH @ 27.5'	BACK-BACK	40000	0.720	GW3X4Mles

Statistical Area Summary

Project: MDX Medical Building

Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	Units
Main Parking Area	2.24	9.87	0.22	10.18	44.86	659	Fc



TOWN OF NEW WINDSOR
PLANNING BOARD
STAMP OF APPROVAL

TOWN OF NEW WINDSOR
MAR - 3 2005
By: Planning Secretary

FOR REVIEW PURPOSES ONLY
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No.	Date	Desc.
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Drawn	TJO
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Scale	1"=30'
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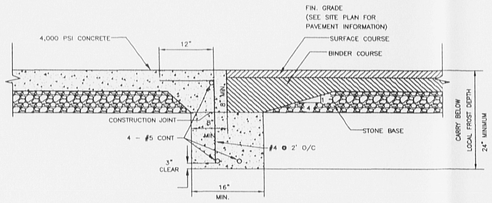
Date	9/10/04
CAD File	LPC101401

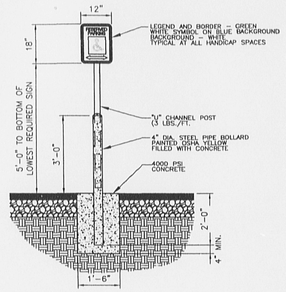
Title
LIGHTING PLAN

Sheet No.
LP-1



ASPHALT TURNDOWN DETAIL

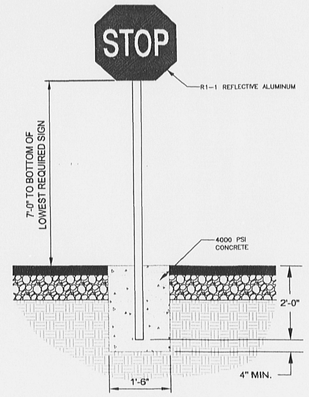
NOT TO SCALE



NOTE:
ONE AT EACH HANDICAP SPACE
WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.
ALL SIGNS SHALL MEET LOCAL, STATE AND FEDERAL REGULATIONS.

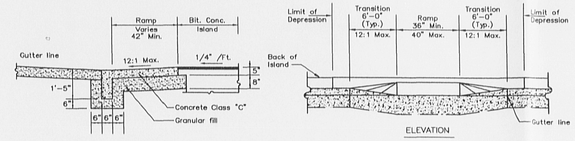
HANDICAP PARKING SIGN

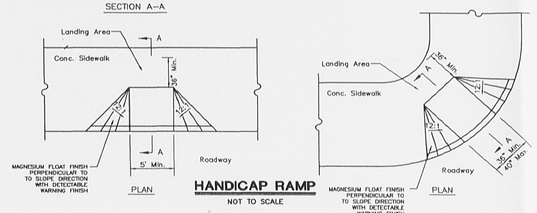
NOT TO SCALE



STOP SIGN DETAIL

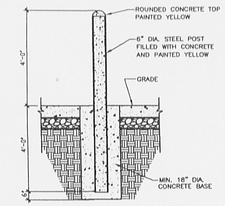
NOT TO SCALE





HANDICAP RAMP

NOT TO SCALE



BOLLARD POST DETAIL

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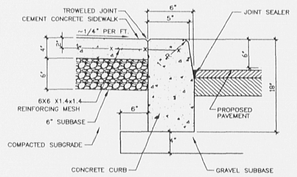
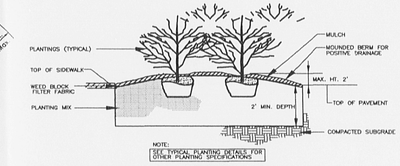


1. ALL PAVING MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO NYSDOT STANDARDS

ON-SITE CURB AND SIDEWALK

NOT TO SCALE

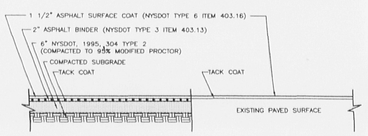


NOTE:
SEE TYPICAL PLANTING DETAILS FOR OTHER PLANTING SPECIFICATIONS.

SECTION

PLANTED ISLAND

NOT TO SCALE

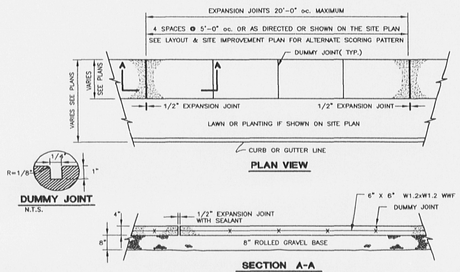


SITE PAVING DETAIL

NOT TO SCALE

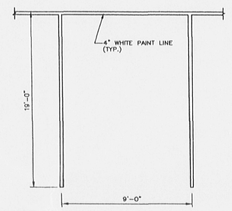
NOTES:

CONTRACTOR IS INSTRUCTED TO VISIT SITE PRIOR TO BIDDING AND PREPARE A PAVING PLAN WHICH ILLUSTRATES AREAS TO BE REPAIRED AND OR REPLACED. THIS PLAN SHALL BE INCLUDED WITH ALL BIDS.



CONCRETE SIDEWALK DETAIL

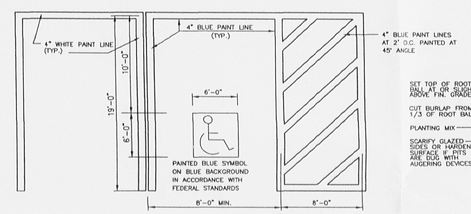
N.T.S.



NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

TYPICAL PARKING SPACE DETAIL

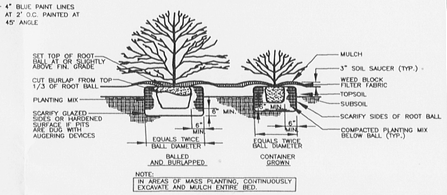
NOT TO SCALE



NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATION AND DIMENSIONS.
2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

TYPICAL ACCESSIBLE PARKING SPACE DETAIL

NOT TO SCALE

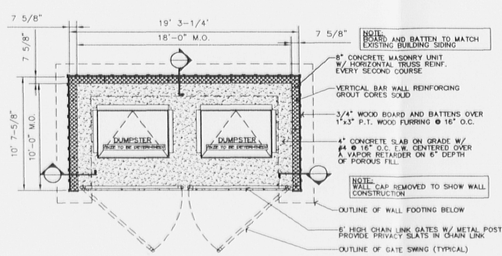


NOTE:
IN AREAS OF MASS PLANTING, CONTINUOUSLY EXCAVATE AND MULCH ENTIRE BED.

SECTION

SHRUB PLANTING

NOT TO SCALE

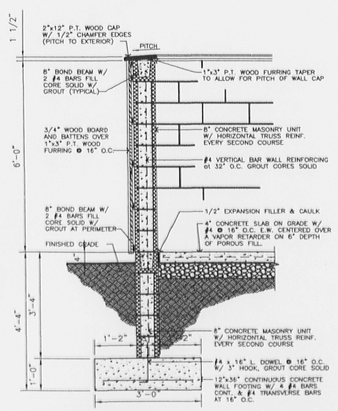


NOTE:
BOARD AND BATTEN TO MATCH EXISTING BUILDING SIDING

NOTE:
WALL CAP REMOVED TO SHOW WALL CONSTRUCTION

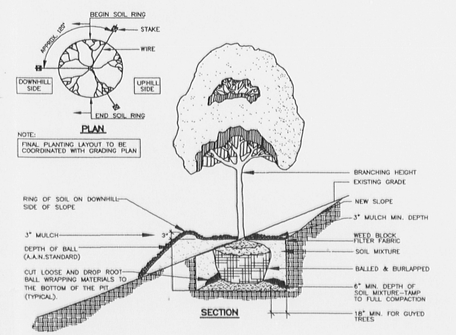
DUMPSTER PAD AND WALL SCREENING PLAN

NOT TO SCALE
(SEE SITE PLAN FOR LOCATION OF PAD)



8" BLOCK / WOOD DUMPSTER WALL

NOT TO SCALE



NOTE:
FINAL PLANTING LAYOUT TO BE COORDINATED WITH GRADING PLAN

NOTES:

1. ALL DECIDUOUS TREES OVER 4 FT. IN HEIGHT AND ALL EVERGREEN TREES OVER 3FT. IN HEIGHT SHALL BE STAKED OR GUYED AS SHOWN.

2. MULTIPLE STEMMED DECIDUOUS TREES OVER 4 FT. IN HEIGHT SHALL BE STAKED WITH 2 STAKES IN SUCH MANNER AS TO STABILIZE 2 MAINSTEMS.

3. THE WOOD STAKES SHALL BE CONSTRUCTION GRADE, ROUGH OR DRESSED, OF SOUND WOOD, DECAY RESISTANT, AND OF THE SIZE INDICATED IN THE DETAILS.

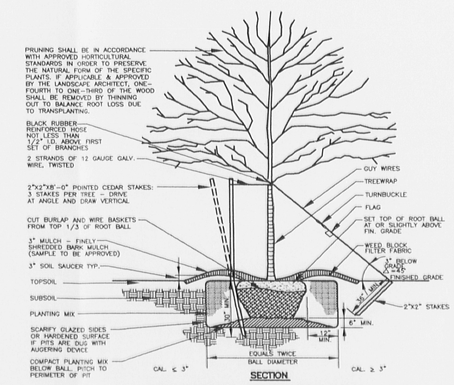
4. THE WIRE TIES SHALL BE 12 OR 14 GAUGE GALVANIZED WIRE, AND BE PROVIDED WITH A ONE FOOT PIECE OF RUBBER HOSE PLACED TO PREVENT INJURY TO THE BARK.

5. TREE WRAPPING SHALL BE PLACED AROUND ALL TRUNKS OF DECIDUOUS TREES TWO OR MORE INCHES IN CALIPER. TREE WRAPPING SHALL EXTEND FROM GROUND LINE 2" ABOVE THE FIRST BRANCH. EACH TURN OF WRAPPING MATERIAL SHALL OVERLAP 1/2 THE WIDTH OF THE PREVIOUS TURN. BIND WITH JUTE TWINE AT TOP, MIDDLE, AND BOTTOM. TREE WRAPPING AND TWINE SHALL CONFORM TO LOCAL STANDARD.

6. PIT DRAINAGE MODIFICATION FOR SLOPE PLANTING (WHEN REQUIRED).
A. PRIOR TO PLANTING ON A SLOPE THE CONTRACTOR SHALL TEST NO MORE THAN 3 PITS FOR PERCOLATION.
B. PERCOLATION TEST SHALL CONSIST OF FILLING THE PIT WITH APPROXIMATELY 6" OF WATER. THE ENGINEER SHALL DETERMINE THE RATE OF PERCOLATION AND DETERMINE IF PIT DRAINAGE IS REQUIRED.

TREE SLOPE PLANTING

NOT TO SCALE



SECTION

DECIDUOUS TREE PLANTING

NOT TO SCALE

FOR REVIEW PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

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Poughkeepsie, NY 12601
(845) 471-0610
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RENOVATION OF 59 WINDSOR HIGHWAY

NEW YORK STATE ROUTE 32
TOWN OF NEW WINDSOR, NEW YORK

Date: 10/20/04
TOWN SIGNATURE SUBMITTAL

REVISIONS
No. Date
1.

Designed	T.J.O.
Drawn	S.M.C.
Checked	S.C.N.
Approved	
Scale	NOTED
Project No.	04C1014
Date	9/10/04
CAD File	DNC101401

Title
DETAIL SHEET

Sheet No.
DN-1