

PB# 05-21

**Ira Conklin
(Sub.)**

57-1-128

**TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY**

DATE: 12-1-05

Map Number 959-05 City New Windsor
Section 57 Block 1 Lot 28 Town New Windsor
Village New Windsor

Title: Conklin, Ira D. III + Donna M.

Dated: 8/23/2005 Filed: 12/14/2005

Approved by: James Petro Jr.

on: Dec. 1st 2005

Record Owner: Conklin, Ira D. III + Donna M.

DONNA L. BENSON
Orange County Clerk

4 sheets = \$40
+ |
\$41 total

RECORDED/FILED ORANGE COUNTY
BOOK 02005 PAGE 0959
12/14/2005/ 14:12:41
FILE NUMBER 20050132596
RECEIPT#511089 patti



PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 12/12/0505 | ONE LOT REC FEE | CHG | 2000.00 | | |
| 12/13/2005 | REC. CK. #117 | PAID | | 2000.00 | |
| | | TOTAL: | 2000.00 | 2000.00 | 0.00 |

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12/13/05

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|-------------------|--------|-----------|-----------|-----------|
| 05/05/2005 | REC. CK. #2780 | PAID | | 400.00 | |
| 07/27/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 07/27/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 11/09/2005 | P.B. ATTY. FEE | CHG | 36.00 | | |
| 11/09/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 12/12/2005 | P.B. ENGINEER FEE | CHG | 663.30 | | |
| 12/13/2005 | REC. CK. #118 | PAID | | 367.30 | |
| | | TOTAL: | 767.30 | 767.30 | 0.00 |

J. P. [Signature]
12/14/05

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

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LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-13
NAME: SHADY DELL SUBDIVISION PA2005-0086
APPLICANT: ROSALIE CERIALE

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|-----------------------|--------|-----------|-----------|-----------|
| 04/25/2005 | REC. CK. #1849 (BUCK) | PAID | | 800.00 | |
| 05/11/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 05/11/2005 | P.B. MINUTES | CHG | 27.50 | | |
| 08/24/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 08/24/2005 | P.B. MINUTES | CHG | 49.50 | | |
| 09/28/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 09/28/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 11/09/2005 | P.B. MINUTES | CHG | 33.00 | | |
| 12/13/2005 | P.B. ENGINEER FEE | CHG | 1346.40 | | |
| 12/13/2005 | REC. CK. #2297 | PAID | | 777.90 | |
| | | TOTAL: | 1577.90 | 1577.90 | 0.00 |

↓ 1562
12/15/05

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 5-21

NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | MEETING-PURPOSE----- | ACTION-TAKEN----- |
|------------|----------------------|-------------------|
| 12/01/2005 | PLANS STAMPED | APPROVED |
| 11/09/2005 | P.B. APPEARANCE | ND: APPROVED |
| 07/27/2005 | P.B. APPEARANCE | LA:WVE PH RETURN |

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#1155-2005

12/13/2005

Conklin, Ira And Pamela *P.B. 05-21*

Received \$ 360.00 for Planning Board Fees, on 12/13/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#1154-2005

12/13/2005

Beck, Fred E. #05-13 P.B.

Received \$ 370.00 for Planning Board Fees, on 12/13/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 5-13
NAME: SHADY DELL SUBDIVISION PA2005-0086
APPLICANT: ROSALIE CERIALE

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 12/13/2005 | APPROVAL FEE | CHG | 370.00 | | |
| 12/13/2005 | REC. CK. #2296 | PAID | | 370.00 | |
| | | TOTAL: | 370.00 | 370.00 | 0.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

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LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 12/11/2005 | APPROVAL FEE | CHG | 360.00 | | |
| 12/13/2005 | REC. CK. #116 | PAID | | 360.00 | |
| | | TOTAL: | 360.00 | 360.00 | 0.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/13/2005

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LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| | DATE-SENT | ACTION----- | DATE-RECD | RESPONSE----- |
|------|------------|--------------------------------|------------|---------------|
| ORIG | 07/20/2005 | EAF SUBMITTED | 07/20/2005 | WITH APPLIC |
| ORIG | 07/20/2005 | CIRCULATE TO INVOLVED AGENCIES | / / | |
| ORIG | 07/20/2005 | LEAD AGENCY DECLARED | 07/27/2005 | TOOK LA |
| ORIG | 07/20/2005 | DECLARATION (POS/NEG) | / / | |
| ORIG | 07/20/2005 | SCHEDULE PUBLIC HEARING | / / | |
| ORIG | 07/20/2005 | PUBLIC HEARING HELD | / / | |
| ORIG | 07/20/2005 | WAIVE PUBLIC HEARING | 07/27/2005 | WAIVE PH |
| ORIG | 07/20/2005 | PRELIMINARY APPROVAL | / / | |
| ORIG | 07/20/2005 | | / / | |
| ORIG | 07/20/2005 | LEAD AGENCY LETTER SENT | / / | |



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4689

OFFICE OF THE PLANNING BOARD

December 12, 2005

William Hildreth, LS
407 South Plank Road - Unit 3
Newburgh, NY 12550

SUBJECT: CONKLIN SUBDIVISION (05-21)

Dear Bill:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

| | | |
|---|----|----------|
| Check #1 – Approval Fee..... | \$ | 360.00 |
| Check #2 – One lot recreation fee..... | \$ | 2,000.00 |
| Check #3 – Amount over escrow posted..... | \$ | 367.30 |

If you have any questions in this regard, please contact my office.

Very truly yours,

Myra L. Mason
Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/12/2005

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LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 12/11/2005 | APPROVAL FEE | CHG | 360.00 | | |
| | | TOTAL: | 360.00 | 0.00 | 360.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/12/2005

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LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 12/12/0505 | ONE LOT REC FEE | CHG | 2000.00 | | |
| | | TOTAL: | 2000.00 | 0.00 | 2000.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/12/2005

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LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|-------------------|--------|-----------|-----------|-----------|
| 05/05/2005 | REC. CK. #2780 | PAID | | 400.00 | |
| 07/27/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 07/27/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 11/09/2005 | P.B. ATTY. FEE | CHG | 36.00 | | |
| 11/09/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 12/12/2005 | P.B. ENGINEER FEE | CHG | 663.30 | | |
| | | TOTAL: | 767.30 | 400.00 | 367.30 |

AS OF: 12/12/2005

CHRONOLOGICAL JOB STATUS REPORT

PAGE:

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WI

TASK: 5- 21

FOR WORK DONE PRIOR TO: 12/12/2005

| TASK-NO | RFC | --DATE-- | TEAM | EMPL | ACT | DESCRIPTION----- | RATE | HRS. | TIME | EXP. | -----DOLLARS----- | | | |
|---------|--------|----------|------|------|-----|---------------------|-------|------|-------------|--------|-------------------|---------|---------|--|
| | | | | | | | | | | | BILLED | BAL | | |
| 5-21 | 281168 | 06/15/05 | TIME | MJE | WF | CONKLIN SUB | 99.00 | 0.40 | 39.60 | | | | | |
| 5-21 | 287133 | 07/26/05 | TIME | MJE | MR | CONKLIN MINOR SUB | 99.00 | 0.60 | 59.40 | | | | | |
| 5-21 | 291432 | 08/23/05 | TIME | MJR | MC | SMAN:IRA SUB | 99.00 | 0.30 | 29.70 | | | | | |
| 5-21 | 292402 | 08/23/05 | TIME | DJH | PT | FERC TEST-CONKLIN | 55.00 | 3.50 | 192.50 | | | | | |
| 5-21 | 292449 | 08/23/05 | TIME | DDK | FI | IRA CONKLIN FERCS | 99.00 | 2.00 | 198.00 | | | | | |
| | | | | | | | | | 519.20 | | | | | |
| 5-21 | 291787 | 08/30/05 | | | | BILL 05-1154 | | | | | | -128.70 | | |
| | | | | | | | | | | | ----- | -128.70 | | |
| 5-21 | 295196 | 09/16/05 | TIME | DJH | GM | HOW DED/CONKLIN SUB | 55.00 | 1.00 | 55.00 | | | | | |
| | | | | | | | | | 55.00 | | | | | |
| 5-21 | 294233 | 09/15/05 | | | | BILL 05-1258 | | | | | | -390.50 | | |
| | | | | | | | | | | | ----- | -390.50 | | |
| 5-21 | 303549 | 11/08/05 | TIME | MJE | MR | CONKLIN SUB | 99.00 | 0.50 | 49.50 | | | | | |
| 5-21 | 302356 | 11/09/05 | TIME | MJE | MM | Conklin Cond APPL | 99.00 | 0.10 | 9.90 | | | | | |
| 5-21 | 303560 | 11/11/05 | TIME | MJE | MC | CONKLIN W/WBH | 99.00 | 0.30 | 29.70 | | | | | |
| | | | | | | | | | 89.10 | | | | | |
| 5-21 | 306333 | 12/02/05 | | | | BILL 05-1703 | | | | | | -144.10 | | |
| | | | | | | | | | | | ----- | -144.10 | | |
| | | | | | | | | | TASK TOTAL | 663.30 | | | -663.30 | |
| | | | | | | | | | | | 0.00 | | | |
| | | | | | | | | | GRAND TOTAL | 663.30 | | | -663.30 | |
| | | | | | | | | | | | 0.00 | | | |

TOWN OF NEW WINDSOR

MINOR SUBDIVISION FEE SCHEDULE

APPLICATION FEE: \$ 75.00

ESCROW:

RESIDENTIAL:

_____ LOTS @ \$200.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$100.00 EACH LOT OVER FOUR LOTS \$ _____

COMMERCIAL:

_____ LOTS @ \$500.00 EACH LOT (FIRST FOUR LOTS) \$ _____

_____ LOTS @ \$200.00 EACH LOT OVER FOUR LOTS \$ _____

TOTAL ESCROW DUE: \$ _____

APPROVAL FEES:

PRE-PRELIMINARY PLAT APPROVAL \$ 100.00

PRELIMINARY PLAT APPROVAL \$ 150.00

FINAL PLAT APPROVAL FEE (\$100.00 + \$5.00/LOT) \$ 110.00

FINAL PLAT SECTION FEE \$ 100.00

TOTAL APPROVAL FEES: \$ 360.00

RECREATION FEES:

_____ LOTS @ ^{2,000.00}~~\$1,500.00~~ / LOT \$ _____

TO BE DEDUCTED FROM ESCROW:

ESCROW POSTED: \$ _____

P.B. ENGINEER FEE \$ _____

P.B. ATTY. FEE \$ _____

MINUTES OF MEETING \$ _____

OTHER \$ _____

TOTAL DEDUCTION: \$ _____

REFUND: \$ _____

AMOUNT DUE: \$ _____

PERFORMANCE BOND AMOUNT \$ _____

INSPECTION FEE:

2% PRIVATE IMPROVEMENTS \$ _____

4% PUBLIC IMPROVEMENTS \$ _____

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 12/12/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 05/05/2005 | REC. CK. #2780 | PAID | | 400.00 | |
| 07/27/2005 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 07/27/2005 | P.B. MINUTES | CHG | 16.50 | | |
| 11/09/2005 | P.B. ATTY. FEE | CHG | 36.00 | | |
| 11/09/2005 | P.B. MINUTES | CHG | 16.50 | | |
| | | TOTAL: | 104.00 | 400.00 | -296.00 |

November 9, 2005

IRA CONKLIN SUBDIVISION

MR. PETRO: Ira Conklin Subdivision Jackson Avenue represented by Mr. Hildreth. Proposed two lot residential subdivision. The application proposes the subdivision of a 12-acre parcel into two single-family residential lots. The plan was previously reviewed at the 27 July 2005 Planning Board meeting. It's in the R1 Zoning District in the Town. The bulk requirements indicated on the bulk table are correct. Good job, Bill, each lot compares minimum bulk requirements. Soil tests have been witnessed and designed and its complete on the submittal. Outstanding. All other comments have been addressed. The Planning Board may wish to classify this action as an unlisted action. I'll entertain a motion for negative dec.

MR. MASON: I'll make a motion.

MR. SCHLESINGER: Second.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare a negative dec for the Ira Conklin Subdivision on South Jackson Avenue. Any further comments from the Board members? If not, roll call.

ROLL CALL

| | |
|-----------------|-----|
| MR. SCHLESINGER | AYE |
| MR. MINUTA | AYE |
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. PETRO | AYE |

MR. PETRO: I am not aware of any outstanding items. Do any of the Board members have any outstanding items? We have fire has been disapproved, bigger turn around area at the top of the driveway for fire apparatus.

MR. HILDRETH: Beg to disagree, if I may, politely. It's a private driveway, Mr. Chairman. I don't think a fire truck can turn around at your driveway. Or anyone else up and down Jackson.

November 9, 2005

MR. PETRO: What about that private driveway?

MR. BABCOCK: They can turn around in yours,
Mr. Chairman.

MR. ARGENIO: They have to be a very good driver.

MR. MINUTA: Is this tree staying?

MR. HILDRETH: Yes.

MR. PETRO: The proposed driveway it's made out of
what, Bill, just shale?

MR. HILDRETH: Whatever he wants.

MR. PETRO: Well, you see, the little back-out area
out by the house, can you make that bigger?

MR. HILDRETH: It's generic.

MR. ARGENIO: Make it generically bigger.

MR. PETRO: Bill, make it bigger. Do you agree to
make it bigger?

MR. HILDRETH: It's done.

MR. PETRO: Motion for final approval?

MR. ARGENIO: I'll make the motion for final
approval.

MR. PETRO: Subject to the fire being signed off.

MR. SCHLESINGER: Second.

MR. PETRO: Motion has been made and seconded that
the New Windsor Planning Board grant final approval
to the Ira Conklin Subdivision on Jackson Avenue
subject to the fire department signing off on the
turn around lane for their apparatus. Any further
comments from the Board members? If not, roll call.

ROLL CALL

MR. SCHLESINGER AYE
MR. MINUTA AYE

November 9, 2005

44

| | |
|-------------|-----|
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. PETRO | AYE |



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mhenry@mhepc.com

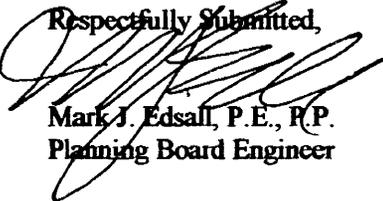
Writer's e-mail address:
mje@mhepc.com

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: CONKLIN MINOR SUBDIVISION
PROJECT LOCATION: SOUTH JACKSON AVENUE
SECTION 57 – BLOCK 1 – LOT 128
PROJECT NUMBER: 05-21
DATE: 9 NOVEMBER 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 12+ ACRE PARCEL INTO TWO (2) SINGLE-FAMILY RESIDENTIAL LOTS. THE PLAN WAS PREVIOUSLY REVIEWED AT THE 27 JULY 2005 PLANNING BOARD MEETING.

1. The property is located in the R-1 zoning district of the Town. The bulk requirements indicated on the bulk table are correct for the zone and use. Each lot appears to comply with the minimum bulk requirements.
2. Soils tests have been witnessed and design is complete on this submittal. All other comments have been addressed.
3. The Planning Board may wish to classify this action as an “unlisted action” under SEQRA, and consider a “negative declaration” of environmental significance, based on the information presented and reviewed.
4. I am not aware of any outstanding items.

Respectfully Submitted,


Mark J. Edsall, P.E., R.P.
Planning Board Engineer

MJE/st
NW05-21-09Nov05.doc

REGIONAL OFFICES

- 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

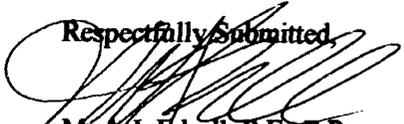
(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Writer's e-mail address:
mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: CONKLIN MINOR SUBDIVISION
PROJECT LOCATION: SOUTH JACKSON AVENUE
SECTION 57 – BLOCK 1 – LOT 128
PROJECT NUMBER: 05-21
DATE: 27 JULY 2005
DESCRIPTION: THE APPLICATION PROPOSES THE SUBDIVISION OF THE 12+ ACRE PARCEL INTO TWO (2) SINGLE-FAMILY RESIDENTIAL LOTS. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The property is located in the R-1 zoning district of the Town. The bulk requirements indicated on the bulk table are correct for the zone and use. Each lot appears to comply with the minimum bulk requirements.
2. I have initial comments regarding the application, as follows:
 - Notwithstanding the correct side yard setback being shown in the table, the plan depicts an incorrect building envelope.
 - The applicant is reminded that soil tests (percolation and deep tests) in support of the sanitary disposal system designs must be witnessed by a representative of our office.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.
4. The Planning Board should determine if a Public Hearing will be necessary for this minor subdivision, or if same can be waived per Section 257-13 (A) of the Subdivision Regulations.
5. The applicant should submit verification that this application is not subject to review of the Orange County Planning Department, as per New York State General Municipal Law (GML 239).

Respectfully Submitted,

Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/m
NW05-1-27July05.doc

REGIONAL OFFICES
• 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

JULY 27, 2005

IRA CONKLIN SUBDIVISION (05-21)

MR. PETRO: Okay, next will be Conklin Minor Subdivision on South Jackson Avenue this is the larger lot that we just saw. The application proposes the subdivision of a twelve acre parcel into two single-family residential lots. The plan is reviewed on a concept basis only. Are these two lots of a decent size Bill.

MR. HILDRETH: They are of unequal size, if you consider 5.5 acres small, that's the smaller one.

MR. PETRO: The remaining lands to be subdivided.

MR. HILDRETH: Yes, this is the twelve acres that we just decided we could do with the lot line change. This twelve acres that was just established by the Lot Line Change is now going to have about 5 and a half acres cut out of it right along this line here. The Conklin's existing house stays over here on six and a half acres and this is five and a half acres and now you can see how the new Callahan Lot Line Change lines fits in there. The rest of the remaining three or four sheets are septic and well designs that have been tested.

MR. PETRO: Well, notwithstanding the corrected side yard setback shown in the table, the plan detects an incorrect building envelope.

MR. HILDRETH: What that is is this dotted line right here doesn't scale that should be forth feet and should this one but it has no impact on the ability to put the house or on the subsequent septic design, which is actually down in here. It doesn't hurt a bit. It's a glitch, that's all.

MR. PETRO: The Planning Board may wish to assume position of Lead Agency.

MR. ARGENIO: I make a motion to take Lead Agency on the Conklin Minor Subdivision.

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board take Lead Agency under the SEQRA process for the Conklin minor subdivision on South Jackson Avenue. Any further comments from the Board Members, if not roll call.

JULY 27, 2005

ROLL CALL:

MR. SCHLESINGER: AYE
MR. KARNAVEZOS: AYE
MR. GALLAGHER: AYE
MR. ARGENIO: AYE
MR. PETRO: AYE

MR. PETRO: The Planning Board should determine if a public hearing should be necessary for this minor subdivision or if same should be wavered under the subdivision regulations. Now is there an existing home on the one lot.

MR. HILDRETH: The existing house is here, that is Conklin's. This new lot will be vacant. The house will be put back here with a fairly long driveway. The septic system will be in this area here.

MR. PETRO: Okay, we are creating one new lot, one new house, and the size of the lot is...

MR. HILDRETH: 5.5 acres.

MR. PETRO: And it's all residential surrounding it.

MR. HILDRETH: Correct.

MR. ARGENIO: How close is the nearest house on Lands of Baxter.

MR. HILDRETH: I couldn't tell you, it's all woods.

MR. ARGENIO: Probably can't see it.

MR. HILDRETH: I can't see it.

MR. ARGENIO: That's what I'm getting at.

MR. PETRO: One new house on five acres.

MR. HILDRETH: Correct.

MR. PETRO: I'll entertain a motion to waive a public hearing.

MR. ARGENIO: I agree with that. I make a motion to waive a public hearing in the Conklin Minor Subdivision.

JULY 27, 2005

MR. SCHLESINGER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing for the Conklin Minor Subdivision on South Jackson Avenue. Does anybody disagree with this before I do roll call.

ROLL CALL:

MR. SCHLESINGER: AYE
MR. KARNAVEZOS: AYE
MR. GALLAGHER: AYE
MR. ARGENIO: AYE
MR. PETRO: AYE

MR. PETRO: The applicant should submit verification this application is not subject to review at Orange County Planning Department as per NYS General Municipal Law.

MR. EDSALL: You are not within any of the setback that require within 500 feet.

MR. HILDRETH: No.

MR. PETRO: You have to correct the side yard setback that would be a subject-to.

MR. EDSALL: Well, the other one that they really need to do is the perc tests have not been witnessed yet. So that we will have to have done.

MR. ARGENIO: Yes, it is the west end of the town, Jim, where we had the problems.

MR. EDSALL: They will have to have that done, then come back in once the ... is confirmed.

MR. HILDRETH: I'll have the engineer schedule that with you.

MR. EDSALL: That's the only open item.

MR. HILDRETH: That and the bulk table.

MR. ARGENIO: The building envelope.

MR. HILDRETH: Yes - good night. Thank you very much.

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#676-2005

07/25/2005

Conklin, Priscilla A. *P.B. #05-21*

Received \$ 75.00 for Planning Board Fees, on 07/25/2005. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #05-21 DATE RECEIVED: 07-20-05 TAX MAP #57-1-128

**PLEASE RETURN COMPLETED FORM TO MYRA
BY: A.S.A.P. TO BE ON AGENDA FOR THE 07-27-05 PLANNING BOARD
MEETING.**

THE MAPS AND/OR PLANS FOR:

RECEIVED
JUL 25 2005
N.W. HIGHWAY DEPT.

CONKLIN SUBDIVISION
Applicant or Project Name

SITE PLAN _____, SUBDIVISION XXX, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

Signature: Henry J. Krall 7/27/05
Reviewed by date



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

□ Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12552
(845) 567-3100
e-mail: mhemy@mhepc.com

□ Regional Office
507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@mhepc.com

Writer's E-mail Address:
nje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

100-8

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: _____

WORK SESSION DATE: 15 June 2005 PROJECT: NEW OLD _____

REAPPEARANCE AT W/S REQUESTED: no RESUB. REQ'D: Full App

PROJECT NAME: Conklin Sub.

REPRESENTATIVES PRESENT: Bill Hildreth

MUNICIPAL REPS PRESENT: BLDG INSP. _____
ENGINEER _____
P/B CHMN _____

FIRE INSP. _____
PLANNER _____
OTHER _____

ITEMS DISCUSSED: 2 107

| <u>STND CHECKLIST:</u> | <u>PROJECT TYPE</u> |
|------------------------|---------------------|
| DRAINAGE _____ | SITE PLAN |
| DUMPSTER _____ | SPEC PERMIT |
| SCREENING _____ | L L CHG. |
| LIGHTING _____ | <u>SUBDIVISION</u> |
| (Streetlights) | OTHER |
| LANDSCAPING _____ | |
| BLACKTOP _____ | |
| ROADWAYS _____ | |
| APPROVAL BOX _____ | |

Simple 5th.
DCP?
AS?

PROJECT STATUS:
ZBA Referral: _____ Y N

Ready For Meeting Y _____ N

Recommended Mtg Date JULY

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/22/2005

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 5-21
NAME: IRA CONKLIN SUBDIVISION PA2005-490
APPLICANT: IRA & DONNA CONKLIN

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 07/20/2005 | REC. CK. #2780 | PAID | | 400.00 | |
| | | TOTAL: | 0.00 | 400.00 | -400.00 |

↓
Rei
7/25/05

TOWN OF NEW WINDSOR

05-21

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision Lot Line Change Site Plan Special Permit

Tax Map Designation: Sec. 57 Block 1 Lot 128

BUILDING DEPARTMENT PERMIT NUMBER PA 2005 - 490

1. Name of Project IRA & DONNA CONKLIN SUBDIVISION

2. Owner of Record IRA D. CONKLIN, III Phone 497-5008

Address: 443 JACKSON AVENUE, NEW WINDSOR N.Y. 12553
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant (SAME) Phone (SAME)

Address: (SAME)
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan WILLIAM B. HILDRETH, L.S. Phone 566-6650

Address: 407 SOUTH PLANK ROAD, UNIT 3 NEWBURGH N.Y. 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney / Phone /

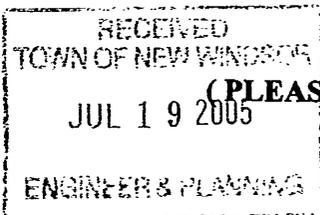
Address /
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

WILLIAM B. HILDRETH, L.S. 566-6650 566-6693
(Name) (Phone) (fax)

7. Project Location: On the WEST side of SOUTH JACKSON AVENUE
(Direction) (Street)

8. Project Data: Acreage 12.08 Zone R-1(A-5) School Dist. CORNWALL



(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

05-20

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes No

*This information can be verified in the Assessor's Office.

*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) TWO LOT SUBDIVISION OF 12.08 ACRES CREATING A 5.52 ACRE PARCEL FOR RESIDENTIAL USE LEAVING EXISTING RESIDENCE ON 6.56 ACRES

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes no

12. Has a Special Permit previously been granted for this property? yes no

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

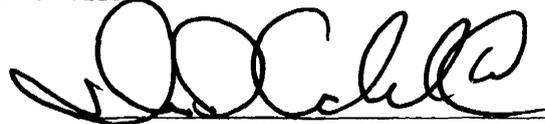
STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

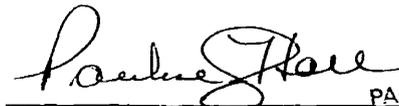
THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:


(OWNER'S SIGNATURE)

17th DAY OF June 2005

William B. Hildreth, L.S.
(AGENT'S SIGNATURE)


PAULINE G HALL
NOTARY PUBLIC, State of New York
No 6735953
Qualified in Orange County
Expires 4-3-06

WILLIAM B. HILDRETH, L.S.
Please Print Agent's Name as Signed

*****Commission Expires 4-3-06*****

RECEIVED
TOWN OF NEW YORK
JUL 19 2005
DATE APPLICATION RECEIVED

05-20
APPLICATION NUMBER

IF APPLICABLE "XX"

**This form to be completed only if you answer "yes" to question #9 on the application form.

AGRICULTURAL DATA STATEMENT

1. Name and Address of Applicant:

IRA D. CONKLIN, III

443 JACKSON AVENUE, NEW WINDSOR, N.Y. 12553

2. Description of proposed project and its locations:

TWO LOT SUBDIVISION OF 12.08 ACRES CREATING A 5.52 ACRE PARCEL FOR
RESIDENTIAL USE LEAVING EXISTING RESIDENCE ON 6.56 ACRES. WEST SIDE OF
JACKSON AVENUE 2000'± NORTH OF BETHLEHEM ROAD

3. Name and address of any owner of land within the Agricultural District:

SEE ATTACHMENT "A" AND "B"

4. Name and address of any owner of land containing farm operations located within 500 feet of the boundary of the subject property.

SEE ATTACHMENT "C"

5. A map is submitted herewith showing the site of the proposed project relative to the location of farm operations identified in this statement.

05-20



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-3101

Assessors Office

June 6, 2005

Re: 57-1-128

To Whom It May Concern:

According to our records, the attached list of property owners are within five hundred (500) feet of the above referenced property.

Sincerely,

J. Todd Wiley, IAO
Sole Assessor

JTW/tmp
Attachments

CC: Myra Mason, Planning and Zoning Board

05-20

ATTACHMENT "A"

57-1-7
Harold Baxter, Jr.
505 Jackson Avenue
New Windsor, NY 12553

57-1-23.24
Marjorie Sawyer
81 Bethlehem Road
New Windsor, NY 12553

57-1-38.1
Gregory Keller
460 Jackson Avenue
New Windsor, NY 12553

57-1-127
Pennsylvania Lines, LLC
ATT: Norfolk Southern Railway Co
110 Franklin Road SE
Roanoke, VA 24042

57-1-132
Liam & Patricia Foody
417 Jackson Avenue
New Windsor, NY 12553

57-1-135
James Cleeves, Jr.
Linda Cleeves
450 Jackson Avenue
New Windsor, NY 12553

57-1-23.22
Antonio & Gloria Bermo
436 Jackson Avenue
New Windsor, NY 12553

57-1-29
Andrew & Linda Gulak
59 Bethlehem Road
New Windsor, NY 12553

57-1-38.31
William McWilliams
Lynn Centrone
465 Jackson Avenue
New Windsor, NY 12553

57-1-130
Thomas & Patricia Hall
429 Jackson Avenue
New Windsor, NY 12553

57-1-133
Peter & Maureen Sidoti
413 Jackson Avenue
New Windsor, NY 12553

57-1-23.23
Thomas & Irene Eckhardt
430 Jackson Avenue
New Windsor, NY 12553

57-1-37
Richard & Anita Schaffner
375 Jackson Avenue
New Windsor, NY 12553

57-1-38.32
Shawn & Rex Kelly
399 Jackson Avenue
New Windsor, NY 12553

57-1-131
Kevin & Sophia Darcy
423 Jackson Avenue
New Windsor, NY 12553

57-1-134
Barry & Katharine Baloga
448 Jackson Avenue
New Windsor, NY 12553

05-20

ATTACHMENT "B"



Town of New Windsor

555 Union Avenue
New Windsor, N.Y. 12553
Telephone: (845) 563-4631
Fax: (845) 563-3101

Office of the Assessor

Assessor J. Todd Wiley, IAO

June 6, 2005

Re: Name and address of farm operations located within 500' of the subject property.
Subject property 57-1-128

To whom it may concern,

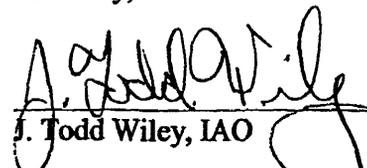
My records indicate that the 2 parcels known as S-B-1 57-1-7 and 57-1-37 meet the criteria listed above.

Owner and owner's address

57-1-7 Harold Baxter Jr. 505 Jackson Avenue, New Windsor, NY 12553

57-1-37 Richard & Anita Schaffner 375 Jackson Avenue

Sincerely,


J. Todd Wiley, IAO

05-20

ATTACHMENT "C"

AGENT/OWNER PROXY STATEMENT
(or professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

IRA D. CONKLIN, III, deposes and says that he resides
(OWNER)

at 443 JACKSON AVENUE, NEW WINDSOR in the County of ORANGE
(OWNER'S ADDRESS)

and State of NEW YORK and that he is the owner of property tax map

(Sec. 57 Block 1 Lot 128)
designation number (Sec. Block Lot) which is the premises described in
the foregoing application and that he designates:

(Agent Name & Address)
WILLIAM B. HILDRETH LAND SURVEYING, P.C.
407 SOUTH PLANK ROAD, UNIT 3, NEWBURGH, N.Y. 12550
(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.**

SWORN BEFORE ME THIS:

** [Signature]
Owner's Signature (MUST BE NOTARIZED)

17th DAY OF June 2025

Agent's Signature (If Applicable)

[Signature]
NOTARY PUBLIC PAULINE G HALL
Notary Public, State of New York
No 6735953
Qualified in Orange County

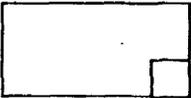
[Signature]
Professional Representative's Signature

**** PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER

TOWN OF NEW WINDSOR PLANNING BOARD
SUBDIVISION ~~LOT~~ LINE CHANGE CHECKLIST

The following checklist items shall be incorporated on the Subdivision Plan prior to consideration for being placed on the Planning Board Agenda:

1. ✓ Name and address of Applicant.
 - * 2. ✓ Name and address of Owner.
 3. ✓ Subdivision name and location
 4. ✓ **Provide 4" wide X 2" high box (IN THE LOWEST RIGHT CORNER OF THE PLAN) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SUBDIVISION PLAN)**
- SAMPLE:** 
5. ✓ Tax Map Data (Section, Block & Lot).
 6. ✓ Location Map at a scale of 1" = 2,000 ft.
 7. ✓ Zoning table showing what is required in the particular zone and what applicant is proposing.
 8. N/A Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
 9. ✓ Date of plat preparation and/or date of any plat revisions.
 10. ✓ Scale the plat is drawn to and North arrow.
 11. ✓ Designation (in title) if submitted as sketch plan, preliminary plan or final plan.
 12. ✓ Surveyor's certificate.
 13. ✓ Surveyor's seal and signature.
 14. ✓ Name of adjoining owners.
 15. N/A Wetlands and 100 foot buffer zone with an appropriate note regarding DEC requirements.
 - * 16. N/A Flood land boundaries.
 17. N/A A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.

18. ✓ Final metes and bounds.
19. ✓ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street.
20. ✓ Include existing or proposed easements.
21. N/A Right-of-way widths.
22. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
23. ✓ Lot area (in square feet for each lot less than 2 acres).
24. ✓ Number the lots including residual lot.
25. N/A Show any existing waterways.
- *26. N/A A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
27. ✓ Applicable note pertaining to owner's review and concurrence with plat together with owners signature.
28. ✓ Show any existing or proposed improvements, i.e., drainage systems, water lines, sewer lines, etc. (including location, size and depths).
29. ✓ Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.
30. ✓ Show all and proposed on-site A septic system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
31. ✓ Provide A septic system design notes as required by the Town of New Windsor.
32. ✓ Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
33. ✓ Indicate percentage and direction of grade.
34. ✓ Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
35. N/A Indicate location of street or area lighting (if required).

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

- 36. Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
- 37. A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasor shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SUBDIVISION HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: William B. Hatcher, L.S. 6/17/05
Licensed Professional Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘ **PLEASE NOTE:** ⌘ ⌘ ⌘ ⌘ ⌘ ⌘

THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.

05-20

PROJECT I.D. NUMBER

Appendix C

State Environmental Quality Review

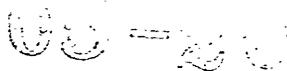
SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

| | | | |
|--|--|--|-----------------------------|
| 1. APPLICANT /SPONSOR <i>IRA D. CONKLIN, III</i> | | 2. PROJECT NAME <i>IRA & DONNA CONKUN SUBDIVISION</i> | |
| 3. PROJECT LOCATION: Municipality <i>TOWN OF NEW WINDSOR</i> County <i>ORANGE</i> | | | |
| 4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <i>WEST SIDE OF JACKSON AVENUE, 2000'± NORTH OF BETHLEHEM ROAD TAX MAP SECTION 57 BLOCK 1 LOT 12B 443 JACKSON AVENUE</i> | | | |
| 5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration | | | |
| 6. DESCRIBE PROJECT BRIEFLY: <i>TWO LOT SUBDIVISION OF 12.08 ACRES CREATING A 5.52 ACRE PARCEL FOR RESIDENTIAL USE LEAVING EXISTING RESIDENCE ON 6.56 ACRES</i> | | | |
| 7. AMOUNT OF LAND AFFECTED: Initially <u><i>12.08</i></u> acres Ultimately <u><i>12.08</i></u> acres | | | |
| 8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly | | | |
| 9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: | | | |
| 10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals | | | |
| 11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval | | | |
| 12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>N/A</i> | | | |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE | | | |
| Applicant/sponsor name: <u><i>IRA D. CONKLIN, III</i></u> | | | Date: <u><i>6/17/05</i></u> |
| Signature: <u><i>William B. [Signature], L.S. (PREPAREE)</i></u> | | | |

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment



PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly.

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency _____
 Title of Responsible Officer

Signature of Responsible Officer in Lead Agency _____
 Signature of Preparer (if different from responsible officer)

Date

200182
"XX"

ATTACHMENTS

- A. Flood Hazard Area Development Permit Application Form.
- B. Certificate of Compliance

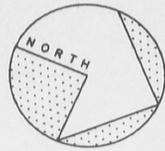
PLEASE NOTE: IF PROPERTY IS NOT IN A FLOOD ZONE, PLEASE INDICATE THAT ON THIS FORM AND SIGN YOUR NAME. RETURN FORM WITH PLANNING BOARD APPLICATION.

IF PROPERTY IS LOCATED IN A FLOOD ZONE, PLEASE COMPLETE THE ATTACHED (LEGAL SIZE) PAPERS AND RETURN WITH PLANNING BOARD APPLICATION.

TAX MAP SECTION 57 BLOCK 1 LOT 128
IS NOT IN A FLOOD ZONE.

William B. Hildrich, L.S.

05-20



N/F LANDS OF SCHAFFNER

HOODED AREA

N/F LANDS OF CALLAHAN

N/F LANDS OF BAXTER

N/F LANDS OF BAXTER

N/F LANDS OF CALLAHAN

N/F LANDS OF HALL

N/F LANDS OF CONKLIN

N/F LANDS OF McWILLIAMS & CENTRONE

N/F LANDS OF BAXTER

N/F LANDS OF ECKHART

N/F LANDS OF BERMO

N/F LANDS OF CLEEVES

N/F LANDS OF CLEEVES

SOUTH JACKSON AVENUE

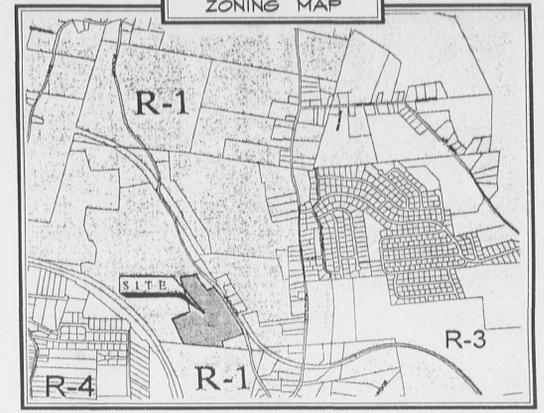
NOTES

1. ZONING DISTRICT: R-1; RURAL RESIDENTIAL
2. RECORD OWNER & APPLICANT: IRA D. CONKLIN, III & DONNA M. CONKLIN
443 SOUTH JACKSON AVENUE
NEW HINDSOR, NEW YORK 12553
3. TOTAL PARCEL AREA: 12.081 ACRES
4. TAX MAP DESIGNATION: SECTION 57, BLOCK 1, LOT 12B
5. NUMBER OF RESIDENTIAL LOTS: 2 LOTS
6. SUBJECT PARCEL BEING A RE-SUBDIVISION OF LOT No. 1 AS SHOWN ON FILED MAP No. 109-00 AND FILED IN THE OFFICE OF THE ORANGE COUNTY CLERK ON 14 MAY 2000.
7. THE LOCATIONS OF EXISTING UTILITIES ARE TO BE CONSIDERED AS APPROX. PRIOR TO EXCAVATION THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS.
8. UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.) SECTION 114B OF THE PUBLIC SERVICE LAW, ARTICLE 36 OF THE GENERAL BUSINESS LAW AND INDUSTRIAL CODE RULE 55 REQUIRES (2) WORKING DAYS NOTICE BEFORE EXCAVATION, DRILLING OR BLASTING UNDERGROUND UTILITIES CALL CENTER TEL. NO. 1-800-462-1462. CONTRACTOR SHALL PROTECT AND PRESERVE UTILITY MARKINGS.

LEGEND

- EXISTING**
- 44b 2' CONTOUR
 - 450 10' CONTOUR
 - BOUNDARY
 - ADJ. PROPERTY LINE
 - CATCH BASIN
 - WELL
 - 344.4 SPOT ELEV. 344.4
 - CHAIN LINK FENCE
 - STONEHALL
 - HOODED LINE

ZONING MAP



ZONING SCHEDULE

ZONE: R-1 - RURAL RESIDENTIAL
USE: A-5 - ONE FAMILY DWELLING, NOT TO EXCEED 1 DWELLING ON EACH LOT

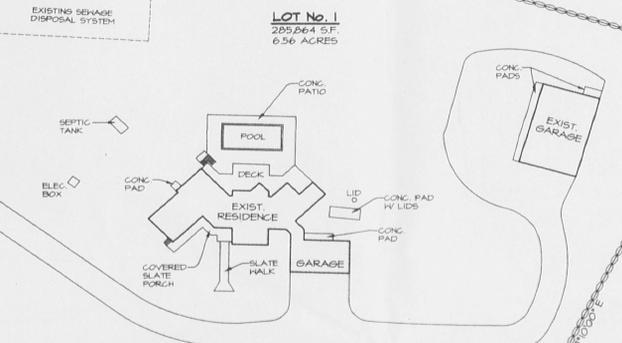
| BULK REGULATIONS | REQUIRED | PROVIDED LOT No. 1 | PROVIDED LOT No. 2 |
|-------------------------------|-------------|--------------------|--------------------|
| MIN. LOT AREA | 80,000 S.F. | 285,864 S.F. | 240,483 S.F. |
| MIN. LOT WIDTH | 175 FT. | 171 FT. | 180 FT. |
| MIN. FRONT YARD DEPTH | 45 FT. | 124 FT. | 147 FT. |
| MIN. REAR YARD SETBACK | 50 FT. | 55 FT. | 96 FT. |
| MIN. SIDE YARD SETBACK - ONE | 40 FT. | 52 FT. | 88 FT. |
| MIN. SIDE YARD SETBACK - BOTH | 80 FT. | 355 FT. | 228 FT. |
| MIN. STREET FRONTAGE | 10 FT. | 146 FT. | 186 FT. |
| MAX. BUILDING HEIGHT | 35 FT. | 35 FT. | 35 FT. |
| MAX. DEVELOPMENT COVERAGE | 20 % | 20 % | 20 % |
| FLOOR AREA RATIO | N/A | N/A | N/A |
| MIN. LIVABLE AREA | 1,200 S.F. | > 1,200 S.F. | > 1,200 S.F. |

LOT No. 1
285,864 S.F.
6.56 ACRES

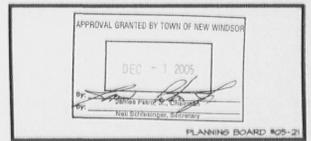
LOT No. 2
240,483 S.F.
5.52 ACRES

LOT No. 1
285,864 S.F.
6.56 ACRES

LOT No. 2
240,483 S.F.
5.52 ACRES



TOWN OF NEW HINDSOR PLANNING BOARD
STAMP OF APPROVAL



DRAWINGS ARE INVALID AND INCOMPLETE UNLESS ACCOMPANIED BY DRAWINGS 1 OF 4 THROUGH 4 OF 4.

OWNERS CONSENT
I HAVE REVIEWED THIS PLAN AND FIND IT ACCEPTABLE.

IRA D. CONKLIN, III
OWNER

CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN RESULTED FROM AN ACTUAL FIELD SURVEY OF THE INDICATED PREMISES COMPLETED ON 21 APRIL 2005 PERFORMED IN ACCORDANCE WITH THE CODE OF PRACTICE ADOPTED BY THE N.Y.S. ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT.

William B. Hildreth
WILLIAM B. HILDRETH, L.L.S.



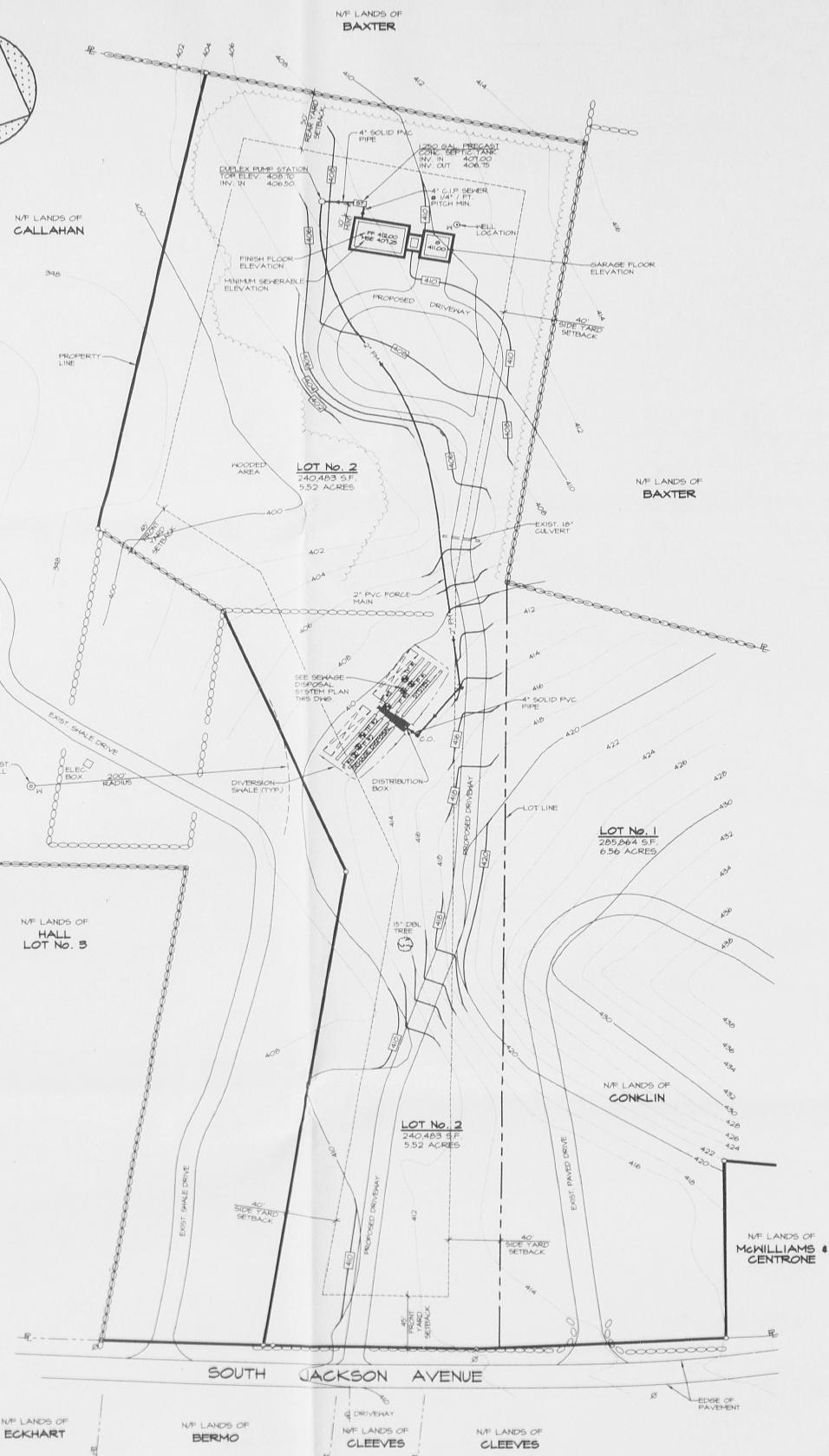
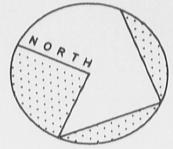
William B. Hildreth
Land Surveying, P.C.
407 SOUTH PLANK ROAD UNIT 3, NEWBURGH, N.Y. 12550
TEL. (845) 588-8800

SUBDIVISION FOR
IRA D. CONKLIN, III
& **DONNA M. CONKLIN**
- SECTION 2 -
ORANGE COUNTY NEW YORK

SUBDIVISION PLAN

DATE: 4 JUNE 2005
JOB No. 05-020

SHEET 1 OF 4



SEWAGE DISPOSAL SYSTEM PLAN
SCALE: 1"=50'

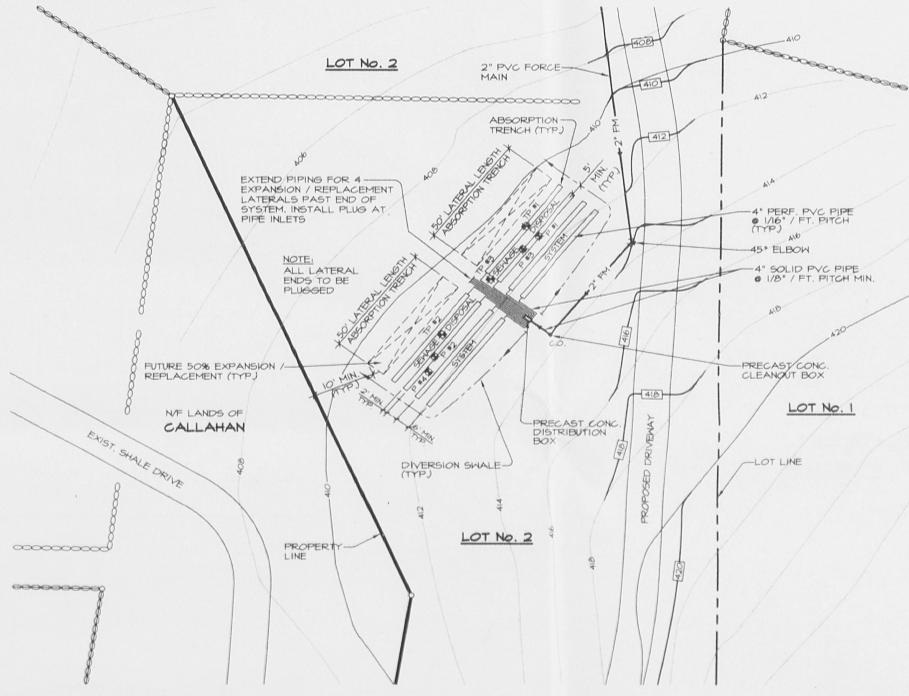
| EXISTING | | NEW | |
|----------|--------------------|---------|---------------------|
| 40B | 2' CONTOUR | —(412)— | FINISHED GRADE |
| — | 10' CONTOUR | ○ | CLEANOUT BOX |
| — | BOUNDARY | ○ | WELL |
| — | ADJ. PROPERTY LINE | □ | SEPTIC TANK |
| — | UTILITY POLE | ⊕ | PERCOLATION HOLE #1 |
| — | STONEHALL | ⊕ | DEEP TEST PIT #1 |
| — | WOODED LINE | ~~~~~ | WOODED LINE |

| DEEP TEST PITS | | |
|------------------------------------|----------------------------|--|
| TEST PIT NUMBER | DEPTH FROM TO | SOIL DESCRIPTION |
| TP #1 | 0.0' - 0.6' 0.6' - 1.1' | TOP SOIL BROWN SANDY LOAM WITH SMALL STONES AND BOULDERS |
| NO ROCK OR GROUNDWATER ENCOUNTERED | | |
| DATE PERFORMED: JUNE 3, 2005. | | |
| TP #2 | 0.0' - 0.5' 0.5' - 0.9' | TOP SOIL BROWN SANDY LOAM WITH SMALL STONES AND BOULDERS |
| NO ROCK OR GROUNDWATER ENCOUNTERED | | |
| DATE PERFORMED: JUNE 3, 2005. | | |
| TP #3 | 0.0' - 0.5' 0.5' - 1.1' | TOP SOIL BROWN SANDY LOAM WITH SMALL STONES, COBBLES AND LARGE ROCKS |
| NO ROCK OR GROUNDWATER ENCOUNTERED | | |
| DATE PERFORMED: AUGUST 23, 2005. | | |

- NOTES**
- THE SANITARY FACILITIES PROPOSED ON THIS PLAN SHALL BE INSPECTED FOR COMPLIANCE WITH THE APPROVED PLANS AT THE TIME OF CONSTRUCTION BY A LICENSED PROFESSIONAL ENGINEER. WRITTEN CERTIFICATION TO THAT EFFECT SHALL BE SUBMITTED TO THE TOWN OF NEW WINDSOR BUILDING INSPECTOR PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - NO CELLAR, ROOF DRAINS, FOOTING DRAINS OR GARBAGE GRINDERS SHALL BE CONNECTED TO THE SANITARY SEWAGE DISPOSAL SYSTEMS.
 - THE SEWAGE DISPOSAL SYSTEMS PROPOSED ON THIS PLAN WERE NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS, OR WATER SOFTENERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SEWAGE DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
 - THE SEWAGE DISPOSAL SYSTEM HAS BEEN DESIGNED TO SERVE A MAXIMUM OF THREE BEDROOMS AT AN AVERAGE DAILY FLOW OF 340 GALLONS.
 - THE SEWAGE DISPOSAL SYSTEM SHALL NOT BE RELOCATED FROM THE LOCATION INDICATED ON THIS DRAWING.
 - THERE SHALL BE NO REGRADING WITHIN THE AREA OF THE SEWAGE DISPOSAL SYSTEM, AND NO TREES WITHIN 10 FEET OF THE SEWAGE DISPOSAL SYSTEM.
 - HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE FIELD. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD BEFORE, DURING, OR AFTER CONSTRUCTION.
 - THE MINIMUM SEWERABLE ELEVATION (M.S.E.) INDICATED IS THE LOWEST POSSIBLE INVERT ELEVATION OF THE SEWER LINE WHERE IT ENTERS THE FOUNDATION WALL OF THE PROPOSED RESIDENCE.
 - NO SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL BE LOCATED OVER ANY PORTION OF THE ABSORPTION FIELD.
 - THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR CROSSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE RESIDENCE'S STACK VENT.

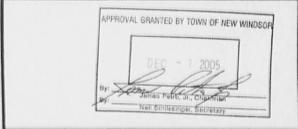
| DESIGN PERCOLATION RATES | | | | | | | | |
|--------------------------|-----------------------|-----------|------------|-------------|-------------|-------------------------------|-----------------------|-----------------------|
| LOT No. | TEST NO. & PERG. RATE | TEST DATE | HOLE DEPTH | DESIGN RATE | DESIGN FLOW | SEPTIC TANK CAPACITY | MIN. FT. TRENCH REQD. | MIN. FT. TRENCH PROV. |
| 2 | P #1 | 35 MIN. | 5-13-2005 | 24" | 31-45 MIN. | 3 BEDROOM @ 150 gpd = 340 gpd | 1250 GAL. | 340 FT. |
| | P #2 | 28 MIN. | 5-13-2005 | 24" | | | | |
| | P #3 | 42 MIN. | 8-23-2005 | 24" | | | | |
| | P #4 | 45 MIN. | 8-23-2005 | 24" | | | | |

*DENOTES BEING WITNESSED BY A REPRESENTATIVE OF MCGOET, HAUSER & EDSELL CONSULTING ENGINEERS P.C.



PARTIAL SEWAGE DISPOSAL SYSTEM PLAN
SCALE: 1"=30'

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL



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Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh, N.Y. 12550

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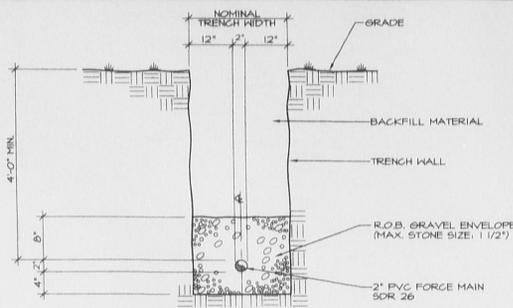
| | | |
|-------|--|-----------|
| 1 | SIDE YARD SETBACKS AND JOINT SITE INSPECTION RESULTS | 8-23-2005 |
| ISSUE | | DATE |

Drawn By: J.B.W.
Checked By: G.J.S.
Scale: AS SHOWN
Date: 6-8-2005

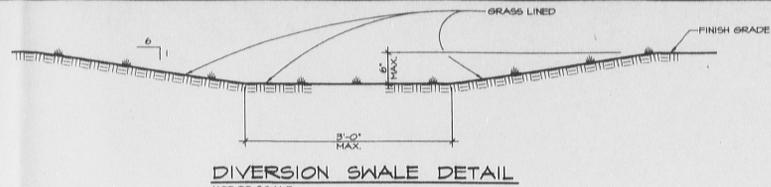
Drawing: SEWAGE DISPOSAL SYSTEM PLAN **2** OF **4**

Project: SUBDIVISION FOR
IRA D. CONKLIN, III
& **DONNA M. CONKLIN**
443 SOUTH JACKSON AVENUE TOWN OF NEW WINDSOR, N.Y.

Project No. 9916

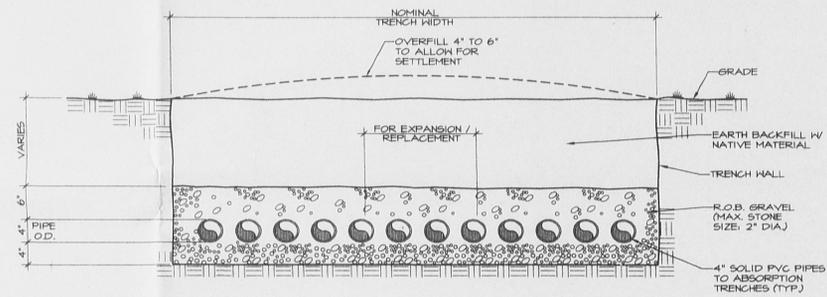


FORCE MAIN TRENCH DETAIL
NOT TO SCALE

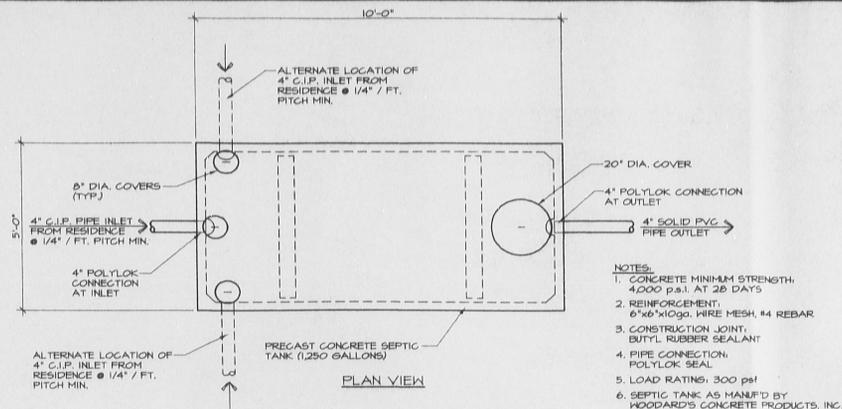


DIVERSION SWALE DETAIL
NOT TO SCALE

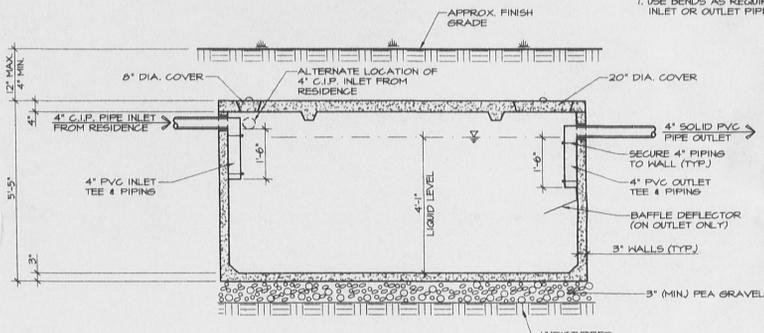
NOTE: DIVERSION SWALE TO BE USED TO DIVERT SURFACE WATER FROM TILE FIELD ONLY, AND SHALL NOT BE CONSTRUCTED IN SUCH A MANNER AS TO BE A HINDERANCE TO THE PROPERTY OWNER.



PVC GRAVITY SEWER COMMON TRENCH DETAIL
NOT TO SCALE

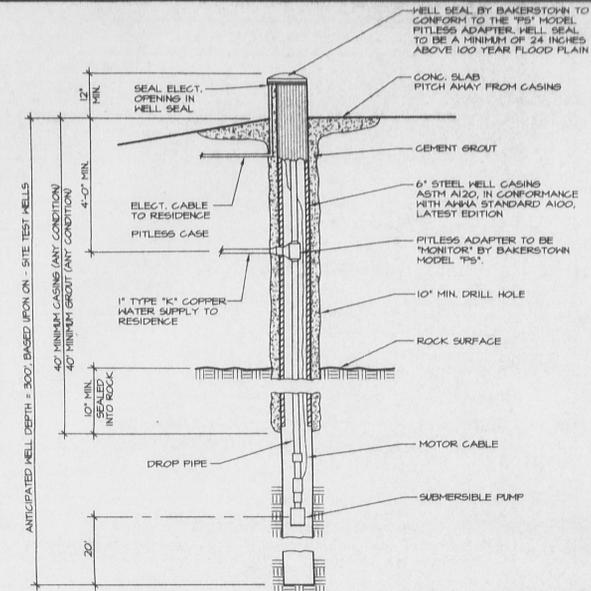


PLAN VIEW



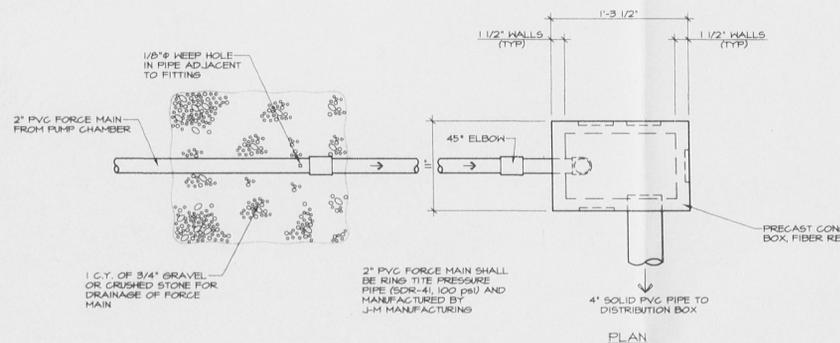
SECTION

1250 GALLON SEPTIC TANK
NOT TO SCALE

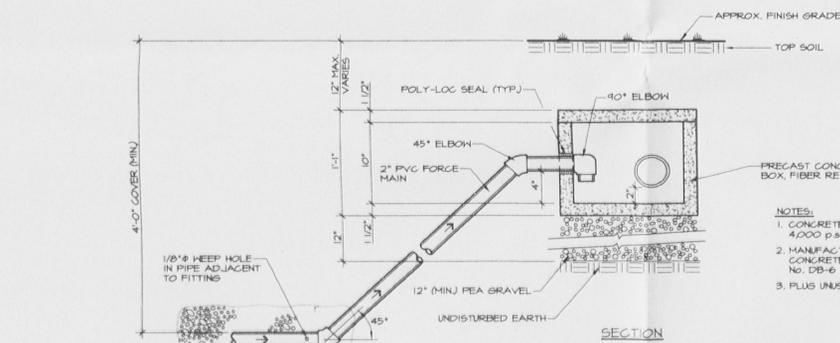


WELL SUPPLY DETAIL
NOT TO SCALE

NOTES:
1. EACH RESIDENTIAL WELL MUST HAVE A MINIMUM YIELD OF 5 G.P.M. IF A YIELD GREATER THAN 2 G.P.M. AND LESS THAN 5 G.P.M. IS ACHIEVED AN ENGINEER LICENSED IN THE STATE OF NEW YORK MUST DESIGN A STORAGE SYSTEM.
2. WELL PUMP TO HAVE A MINIMUM CAPACITY OF 5 G.P.M.
3. TEMPORARY OUTER CASING SHALL BE USED IF CASING IS A PROBLEM.



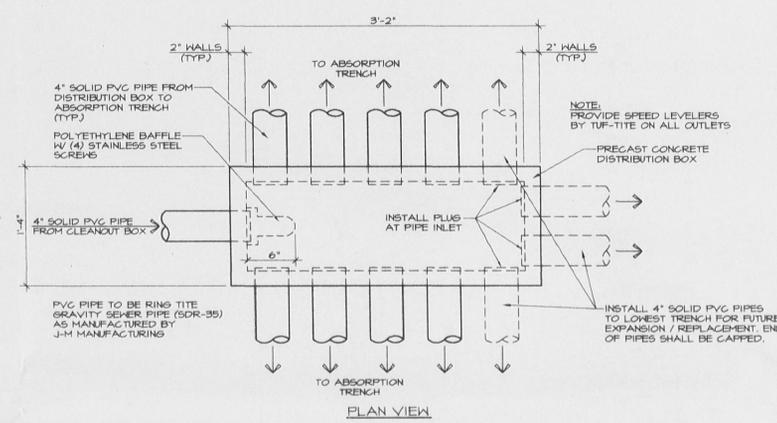
PLAN



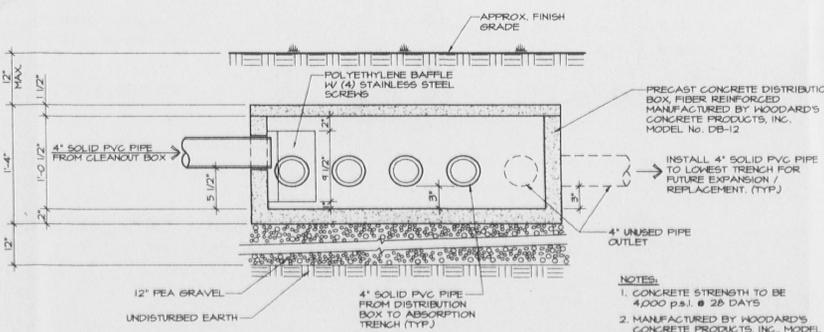
SECTION

CLEANOUT BOX
NOT TO SCALE

NOTES:
1. CONCRETE STRENGTH TO BE 4000 P.S.I. @ 28 DAYS
2. MANUFACTURED BY HOOARD'S CONCRETE PRODUCTS, INC. MODEL NO. DB-6 OR EQUIVALENT.
3. PLUS UNUSED OUTLETS.



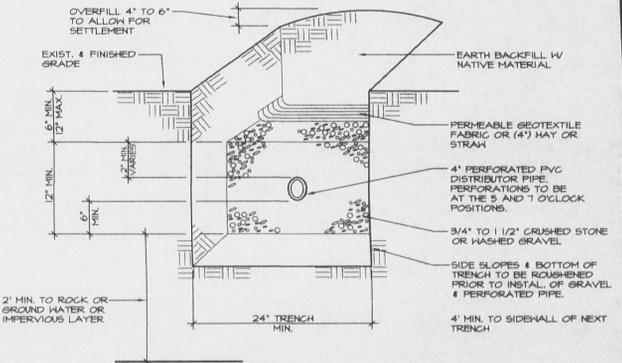
PLAN VIEW



SECTION

DISTRIBUTION BOX
NOT TO SCALE

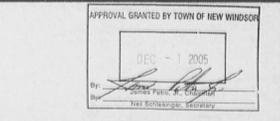
NOTES:
1. CONCRETE STRENGTH TO BE 4000 P.S.I. @ 28 DAYS
2. MANUFACTURED BY HOOARD'S CONCRETE PRODUCTS, INC. MODEL NO. DB-12 OR EQUIVALENT.
3. PLUS UNUSED OUTLETS.
4. USE BENDS AS REQUIRED ON INLET OR OUTLET PIPING.



ABSORPTION TRENCH DETAIL
NOT TO SCALE

NOTES:
1. TRENCH BOTTOM SHALL BE LEVEL AND DISTRIBUTION LATERALS ARE TO BE SET AT 1/16" - 1/32" SLOPE PER FOOT FOR GRAVITY-FED SYSTEMS AND NEARLY LEVEL FOR DIPPED SYSTEMS.
2. DO NOT INSTALL TRENCHES IN WET SOIL.
3. ENDS OF ALL LATERALS MUST BE PLUGGED.
4. MAXIMUM LENGTH OF ABSORPTION TRENCH SHALL BE 60 FEET.
5. SIDES AND BOTTOM OF TRENCHES SHALL BE RAKED IMMEDIATELY PRIOR TO PLACING GRAVEL.

TOWN OF NEW HINDSOR PLANNING BOARD
STAMP OF APPROVAL



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Shaw Engineering
Consulting Engineers
744 Broadway Newburgh N.Y. 12550

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| | | |
|-------|-------------|-----------|
| 1 | NO REVISION | 8-29-2005 |
| ISSUE | | DATE |

Drawn By: J.B.S.
Checked By: G.J.S.
Scale: AS SHOWN
Date: 6-8-2005

Drawing: SEWAGE DISPOSAL SYSTEM DETAILS
Project: SUBDIVISION FOR IRA D. CONKLIN, III & DONNA M. CONKLIN
443 SOUTH JACKSON AVENUE TOWN OF NEW HINDSOR, N.Y.

3 OF 4
Project No. 9916

PUMP STATION SPECIFICATIONS

PUMP CHAMBER

THE CHAMBER SHALL BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE, SHALL HAVE A MINIMUM STRENGTH OF 4000 PSI AT 28 DAYS, AND SHALL BE AIR ENTRAINED 5.5% TO 4.5%. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 AND ASTM A615 GRADE 65. THE CHAMBER SHALL BE FABRICATED TO WITHSTAND AN AASHTO H-20 LOADING WITH A 30% IMPACT IN ADDITION TO THE APPLIED SOIL PRESSURE OF 150 POUNDS PER CUBIC FOOT. THE CHAMBER SHALL BE OF THE DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL BE FABRICATED BY THE FORT MILLER CO., INC.

THE CHAMBER SHALL BE PROVIDED WITH A 1/4" STEEL DOUBLE DOOR HATCH COVER (54" O.D.). 4" VENT PIPE SHALL BE SOLID PVC. CHAMBER JOINTS SHALL BE PROVIDED WITH BUTYL JOINT SEALANT. ALL CRACKS OR LEAKS SHALL BE REPAIRED. CHAMBER EXTERIOR SHALL BE COATED WITH KOPPER'S "SUPER SERVICE BLACK".

SUBMERSIBLE PUMPS

INSTALL 2 SUBMERSIBLE EFFLUENT PUMPS, EACH EQUIPPED WITH A 1/2 HP. SUBMERSIBLE ELECTRIC MOTOR. THE PUMP SHALL HAVE A NON-CLOG SEMI-OPEN IMPELLER WITH A SHUT OFF HEAD OF 46 FEET MINIMUM. THE PUMPS SHALL BE ABLE TO PASS 3/4" SOLIDS AND SHALL BE GOULDS MODEL 3005, SERIES WEGOH.

THE PUMPS SHALL OPERATE IN ALTERNATE SEQUENCE UPON THE LIQUID LEVEL REACHING THE PUMP ON LEVEL. PUMP NO. 1 SHALL BECOME ENERGIZED AND CONTINUE TO RUN UNTIL THE LIQUID LEVEL REACHES THE PUMP OFF LEVEL. THE NEXT PUMPING CYCLE SHALL BE IDENTICAL EXCEPT THAT PUMP NO. 2 SHALL BECOME ENERGIZED, AND PUMP NO. 1 SHALL BE IDLE. THE ALARM SHALL BE ACTIVATED UPON THE WATER REACHING THE HIGH WATER ALARM LEVEL. UPON STARTUP OF THE PUMP CHAMBER, THE VALVES ON THE DISCHARGE PIPING SHALL BE THROTTLED TO REGULATE THE FLOW INTO THE DISTRIBUTION BOXES.

TO ELIMINATE THE NEED OF PERSONEL ENTERING THE CHAMBER, EACH OF THE PUMPS WILL BE PROVIDED WITH A STAINLESS STEEL QUICK DISCONNECT AND GUIDE RAIL ASSEMBLY SYSTEM. QUICK DISCONNECT SHALL INCLUDE STAINLESS STEEL GUIDE RAILS, WALL BRACKETS, BASE PLATE AND LIFTING CABLE. ALSO INCLUDED SHALL BE TOP AND BOTTOM PUMP BRACKET, QUICK DISCONNECT ADAPTER, CHECK VALVES, GATE VALVES, GATE VALVES AND TEE HANDLES TO OPERATE GATE VALVES. SLIDE RAIL SYSTEM SHALL BE GOULDS PUMPS A10-20 AND DISCHARGE PIPING SHALL BE GOULDS H20 D.

LIQUID LEVEL SENSORS

PROVIDE 3 POLYURETHANE FOAM FLOATS, GOULDS PUMPS PART NO. A2-3. FLOATS SHALL BE MOUNTED ON THE CHAMBER WALL OR ROOF WITH A FLOAT SWITCH MOUNTING BRACKET, GOULDS PUMPS PART NO. F5B1.

PUMP CONTROL PANEL

FURNISH AND INSTALL ON THE EXTERIOR OF THE RESIDENCE A NEW DUPLEX CONTROL PANEL FOR THE SEWAGE PUMPS. PANEL SHALL PROVIDE FOR THE FULLY AUTOMATIC OPERATION OF THE TWO PUMPS. AN ALTERNATOR SHALL BE PROVIDED TO DISTRIBUTE OPERATING LINE BETWEEN THE TWO PUMPS AND THE PANEL SHALL BE FACTORY WIRED FOR OPERATION WITH THREE FLOAT SWITCHES. PANEL SHALL BE MOUNTED IN A NEMA 3R ENCLOSURE. MOUNT ALARM BELL ON EXTERIOR OF 3R ENCLOSURE.

FOR EACH PUMP THE FACE OF PANEL DOOR SHALL CONTAIN A HAND-OFF-AUTOMATIC PUMP SWITCH, A PUMP RUN LIGHT, AND AN ON-OFF CONTROL CIRCUIT SWITCH.

PROVIDE POWER AND FLOAT CABLES IN SUFFICIENT LENGTH TO EXTEND FROM JUNCTION BOX ON THE PUMP CHAMBER'S EXTERIOR TO THE CONTROL PANEL. CHECK CHARACTERISTICS OF THE PUMP MOTORS FOR COORDINATION OF CIRCUIT BREAKERS, STARTERS, WIRING, ETC. CONTROL PANEL SHALL BE GOULDS PUMPS ORDER NO. A6-2012.

PVC FORCE MAIN

FORCE MAIN SHALL BE SDR41 PVC PIPE WITH A PRESSURE RATING OF 100 PSI. PIPE JOINTS SHALL BE BELL AND SPIGOT "PUSH-ON" TYPE WITH A FACTORY INSTALLED ELASTOMERIC RUBBER GASKET SUITABLE FOR SEWAGE SERVICE. THE PIPE SHALL BE RING TITE PRESSURE PIPE AS MANUFACTURED BY NATIONAL PIPE & PLASTICS INC.

OUTLINE SPECIFICATIONS

PRESSURE AND LEAKAGE TESTS - LOT NO. 4 FORCE MAIN

THE 2" INDIVIDUAL FORCE MAIN SHALL BE OFFICIALLY TESTED AFTER INSTALLATION. THE TEST SHALL CONSIST OF A PRESSURE / LEAKAGE TEST WHICH ARE IN ACCORDANCE WITH A WRITTEN STATE BY STATE TESTING PLAN PREPARED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS AND APPROVED BY THE ENGINEER. TESTING OF THE FORCE MAIN SHALL BE PERFORMED TO ESTABLISH THE ABILITY OF THE FORCE MAIN TO MAINTAIN CONTINUOUS PRESSURE, AND TO ESTABLISH THE LINES' WATER-TIGHTNESS. BEFORE ANY TESTING OF THE WORK IS BEGUN, ALL PARTS OF THE FORCE MAIN SHALL BE PROPERLY PROTECTED AND SUFFICIENTLY BRACED TO PREVENT MOVEMENT UNDER PRESSURE.

ALL MATERIALS AND EQUIPMENT SUCH AS PUMPS, GAGES, METERS, HOSE AND CONNECTIONS SHALL BE FURNISHED BY THE CONTRACTOR IN ADDITION TO THE WATER REQUIRED FOR THE TEST. ALL INSTRUMENTS FOR MEASURING AND MONITORING THE TEST SHALL BE TESTED FOR ACCURACY AS FREQUENTLY AS 50 DIRECTED. THEY SHALL BE AVAILABLE TO THE ENGINEER, WHEN REQUESTED, FOR INDEPENDENT TESTING.

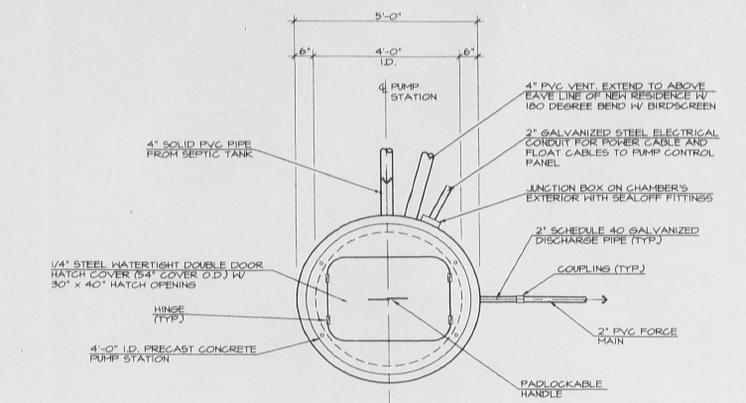
THE PRESSURE / LEAKAGE TEST SHALL BE AT THE TEST PRESSURE OF 50 PSI AND THE LENGTH OF THE TEST SHALL BE 2 HOURS. THE TEST SHALL BE CONDUCTED PREFERABLY BEFORE COMPLETE BACKFILLING OF THE PIPELINE. WHEN THE JOINTS ARE EXPOSED, LINES WHICH ARE DEFLECTED WILL REQUIRE BACKFILL PRIOR TO ANY TESTING. AFTER THE TEST CONNECTIONS ARE MADE, AND THE MAIN FILLED WITH WATER, THE FORCE MAIN SHALL BE SUBJECTED TO WATER PRESSURE NORMAL TO THE AREA. BEFORE APPLYING THE SPECIFIED TEST PRESSURE, ALL AIR SHALL BE EXPELLED FROM THE PIPE. AFTER ALL THE AIR HAS BEEN EXPELLED THE TEST PRESSURE SHALL BE APPLIED. IF DEFECTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY MAKE THE NECESSARY REPAIRS AT HIS OWN EXPENSE, THEN REPEAT THE PRESSURE TEST UNTIL NO DEFECTS ARE FOUND.

LEAKAGE SHALL BE DEFINED AS THE QUANTITY OF WATER THAT MUST BE SUPPLIED INTO THE NEWLY LAID PIPE TO MAINTAIN THE SPECIFIED TEST PRESSURE AFTER THE AIR IN THE PIPELINE HAS BEEN EXPELLED AND THE PIPE HAS BEEN FILLED WITH WATER. NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:

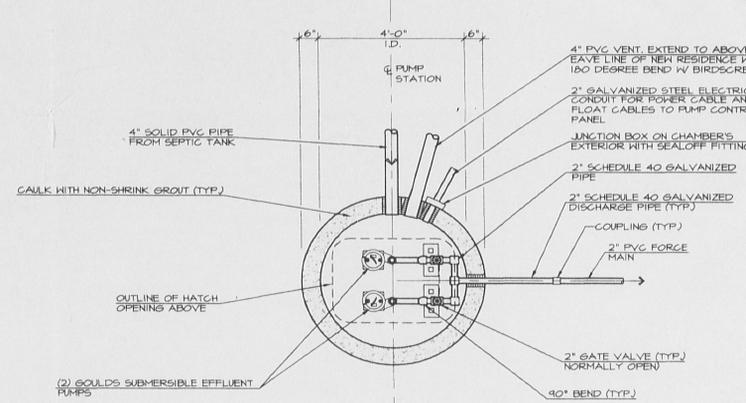
$$L = \frac{5(D)^3 P}{100000}$$

WHERE L = ALLOWABLE LEAKAGE, IN GALLON PER HOUR
 S = LENGTH OF PIPE TESTED, IN FEET
 D = NOMINAL DIAMETER OF THE FORCE MAIN
 P = AVERAGE TEST PRESSURE DURING THE TEST, IN PSI

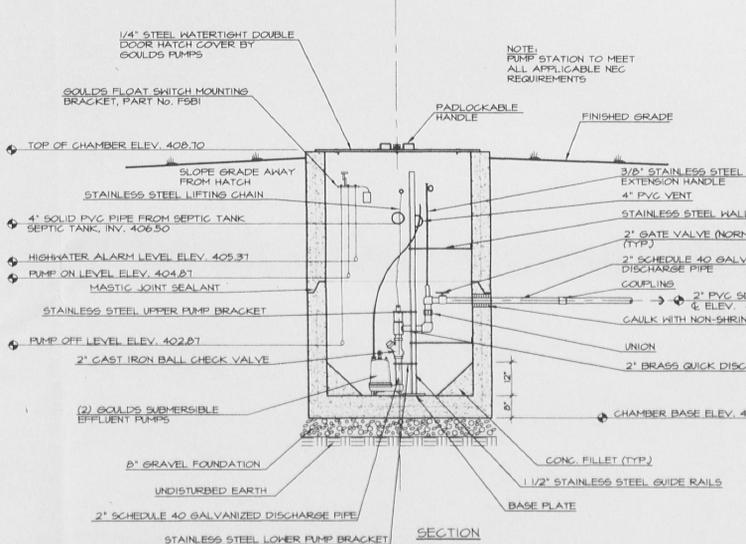
SHOULD ANY FORCE MAIN FAIL TO MEET THE LEAKAGE TEST, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS AT HIS OWN EXPENSE.



TOP VIEW



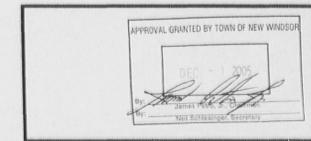
PLAN VIEW



SECTION

PUMP CHAMBER NOT TO SCALE

TOWN OF NEW WINDSOR PLANNING BOARD STAMP OF APPROVAL



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Drawn By: J.B.J.
 Checked By: G.J.S.
 Scale: AS SHOWN
 Date: 6-8-2005

Project: SUBDIVISION FOR IRA D. CONKLIN, III & DONNA M. CONKLIN SECTION 2 - 443 SOUTH JACKSON AVENUE TOWN OF NEW WINDSOR, N.Y.

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 Project No. 9916