

PB# 86-30

**Buhl/Rinaldi
(Sub.)**

51-1-82.1

86-30

Buhl/Rinaldi Subdivision

General Receipt

7576

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

May 1st 1986

Received of Ted Buhl \$ 25.00

Twenty five and 00/100 DOLLARS

For Application Fee 86-30

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>25.00 check</u>		
<u># 2064</u>		

By Pauline J. Townsend
Town Clerk ec
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt

9690

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

March 23, 1988

Received of Shady Grove Assoc. (#86-30) \$ 12,708.00/100

Twelve thousand seven hundred eight and 00/100 DOLLARS

For \$12,660.00 (Final sub division) + \$48.00 P&E Eng. Fee

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>Check # 1156</u>		<u>\$12,708.00</u>

By Pauline D. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

NO. _____

19 _____

RECEIVED FROM Lynn Vance (Engineering Dept)

Six thousand five hundred and 00/100 DOLLARS

Account Total \$ _____

Amount Paid \$ 6500.00

Balance Due \$ _____

Ruth W. Lavoie

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

CHAIRPERSON:

RE MAP # 8778

DOLLARS

For Application Fee 86-30

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>25 School</u>		
<u># 2064</u>		

By Pauline J. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt 9690

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

March 23, 1988

Received of Shady Grove Assoc. (#86-30) \$ 12,708⁰⁰/₁₀₀

Twelve thousand seven hundred and eight and ⁰⁰/₁₀₀ DOLLARS

For \$12,660.00 (Final sub division) + \$48.00 P&S Eng. Fee

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>Check # 1156</u>		<u>\$12,708.00</u>

By Pauline N. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

NO. _____

_____ 19__

RECEIVED FROM Lynn Vance (Engineering Dept)

Six thousand five hundred and ⁰⁰/₁₀₀ DOLLARS

Account Total \$ _____

Amount Paid \$ 6500.00

Balance Due \$ _____ Reeth W. Laverdy

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

CHAIRPERSON: _____ RE MAP # 8778

TOWN _____
CITY New Windsor
VILLAGE _____

THE FOLLOWING MAP HAS BEEN FILED IN THE ORANGE COUNTY CLERK'S OFFICE:

TITLE Bull + Renaldi Subdivision
DATED 11/17/86
FILED 3/24/88

APPROVED BY Henry F. Schuble ON 2-24-88

L. McDonald
ACTING DEPUTY COUNTY CLERK
Rec. on 4/88

preliminary approval - granted 7/2/86
lvt. granted 12/10/86
Jan 2, 1987 until -

2-24-88

Mr. Elias Grevas came before the Board representing this proposal.

Mr. Grevas: Here is one complete set for the Planning Board Chairman's files. What we have added, the note 4, there should be no subdivision of these lots and there was a question that came up on the typical cross-section today. That cross-section has been changed to conform to the Town's rural road specifications

right here. This is the one that the Town of New Windsor has published in the specifications book. Basically, I believe that everything has been taken care of. We have with us tonight a copy of offer of dedication and the title report which will be submitted to the Town. I will give Mr. Ronas a copy for his records. There has been a public hearing, improvement bond estimate made up by the Town Engineer. There will be some changes on that as of next Tuesday because of the new cross-section. So what we'd like to ask tonight is final approval and that the bond now be in an amount acceptable to the Town Engineer and proceed with that.

Mr. Ronas: This looks like a ribbon copy. Is this the right one for me or for Tad?

Mr. Grevas: I don't know, I have two of them tonight here. Here it is.

Mr. Ronas: What were you saying about a note against further subdivision?

Mr. Grevas: Right here.

Mr. Scheible: That is what we requested last time.

Mr. Van Leeuwen: What is the bond amount?

Mr. Grevas: 309,000, but that amount is based on the typical cross-section, that is based on the plans until today. I think there is going to be some changes. That what we'd like to request is an amount acceptable to the Town Engineer. Because they are meeting on it next Tuesday to go over amount numbers with the change in the cross-section.

Mr. Edsall: I believe the first page of Mr. McGoey's letter notes that the roadway width as elevated is based on the ordinance. Maybe he has already taken that into consideration.

Mr. Grevas: If you look at the notes, he is not blacktopping there. Where this cross-section calls for mixed-in place material with a double surface treatment on top of it. I don't think there is a double surface treatment item on the pavement section. I am saying that to make sure we are talking apples and apples rather than apples and oranges. I don't think anything would be jeopardizing the Planning Board. They'd go along with anything agreed upon with Dick.

Mr. McCarville: Where are the curbs and sidewalks:

Mr. Grevas: There are none, typical cross-section is on the seat

in back which shows the standard section of the Town of New Windsor.

Mr. Van Leeuwen: I don't have too many problems with it. I make a motion that the Planning Board of the Town of New Windsor approve the Buhl-Rinaldi Sub-division. Map dated February 22, 1988.

Mr. Mc Carville: I will second that.

ROLL CALL:

MR. VAN LEEUWEN	Aye.
MR. PAGANO	Aye.
MR. MC CARVILLE	Aye.
MR. LANDER	Aye.
MR. SCHIEFER	Aye.
MR. SCHEIBLE	Aye.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

*rejected by Mr. Sayo,
Highway Superintendent*

March 2, 1988

Town of New Windsor Town Board
555 Union Avenue
New Windsor, New York 12550

Att: George A. Green, Town Supervisor

Subject: Buhl - Rinaldi Subdivision
Beattie Road, Town of New Windsor
Performance Bond Estimate

Dear Supervisor Green:

Please be advised, that the undersigned of our office, met with Ted Buhl and his engineer on the 1st of March 1988, in regard to Mr. Buhl's request for a revision in the performance bond estimate, as outlined in our letter of 24 February 1988. During our meeting, Mr. Buhl verified that a substantial amount of the embankment excavation and embankment fill work, as outlined in our performance bond estimate has been completed and further, that an alternate roadway pavement, using motor paver mix rather than asphalt concrete, is now proposed and has been found acceptable to the Planning Board.

In line with our review of the above revisions, we have prepared a revised performance bond estimate as follows.

PERFORMANCE BOND ESTIMATE

ITEM	QUANTITY	UNIT PRICE	AMOUNT
shale subbase 9"	3,800 CY	\$ 15.00	\$ 57,000
R.O.B. subbase 6"	2,500 CY	22.00	55,000
motor paver mix 3"	8,600 SY	7.00	60,200
oil and chip shoulder & swale	6,500 SY	3.00	19,500
embankment excavation	6,500 CY	4.00	26,000
embankment fill	6,500 CY	4.00	26,000
15" storm drain	1,645 LF	25.00	41,125
18" storm drain	927 LF	30.00	27,720
24 " arch pipe	98 LF	37.00	3,626

24" arch pipe (paved)	125 LF	39.00	4,875
24 " storm drain	403 LF	35.00	14,105
catch basins	28 EA.	1,000.00	28,000
R.O.W. monuments	25 EA.	100.00	2,500
street signs	3 EA.	100.00	300
surface restoration	1 LS.	6,000.00	6,000

\$ 371,951

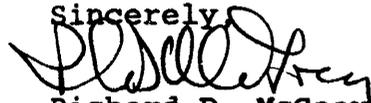
performance bond amount

\$ 375,000

On the basis of the above, it would be the recommendation of our office, as well as Mr. Fred Fayo, Highway Superintendent that a performance bond be revised to equal \$375,000.

We are hopeful that the above is satisfactory, however if you should have any questions in this matter, please contact our office.

Sincerely,

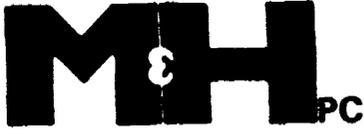


Richard D. McGoey, P.E.
Town Engineer

Fred Fayo
Highway Superintendent

RDM/lmv

cc: Skip Fayo, Highway Superintendent
Pauline Townsend, Town Clerk
J. Tad Seaman, Town Attorney



McGOEY and HAUSER
CONSULTING ENGINEERS P.C.

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

RICHARD D. MCGOEY, P.E.
WILLIAM J. HAUSER, P.E.

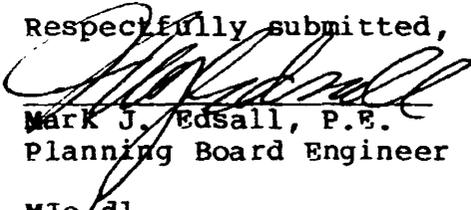
MARK J. EDSALL, P.E.
Associate

Licensed in New York,
New Jersey and Pennsylvania

PROJECT NAME: BUHL-RINALDI SUBDIVISION
PROJECT LOCATION: BEATTIE ROAD
NEW WINDSOR #: 86-72
24 FEBRUARY 1988

- 1). The project involves the Major Subdivision of a 51.5 +/- acre parcel on the west side of Beattie Road opposite Shaw Road. The subdivision results in a total of thirty (30) lots. The subdivision has been the subject of several previous reviews of the Planning Board and its previous consultants.
- 2). The Subdivision Plan has been reviewed by the Orange County Department of Health and it is my understanding that same has obtained approval from that Department. A copy of such approval letter and a copy of a stamped approved plan should be provided for the Planning Board files.
- 3). A final Subdivision Plan had been received, and has been reviewed with respect to the Public Improvements Bonding Estimate, such review being made by the Town Engineer.
- 4). Prior to the plans being stamped for final subdivision approval, Offers of Dedication for the Town Roads, including metes and bounds description, should be submitted for acceptance of the Town.
- 5). On 23 February 1988, the Applicant's Engineering Consultant was advised that the typical roadway cross-section must be corrected to comply with the rural road specifications of the Town Law.
- 6). At this time it is my understanding that the subdivision is acceptable for final approval, with the formalities noted above being resolved prior to the stamping of the plans.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJe/dl
buhl



McGOEY and HAUSER
CONSULTING ENGINEERS P.C.

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.

MARK J. EDSALL, P.E.
Associate

Licensed in New York,
New Jersey and Pennsylvania

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: BUHL-RINALDI SUBDIVISION
PROJECT LOCATION: BEATTIE ROAD
NEW WINDSOR #: 86-72
10 FEBRUARY 1988

- 1). It is my understanding that the appearance before the Planning Board for this project is made with regard to the major subdivision located on the north side of Beattie Road, just west of Shaw Road.
- 2). It is my understanding that the approval for this subdivision has been obtained from the Orange County Department of Health. A copy of such approval letter and the approved plan should be provided for the Planning Board files.
- 3). At the time for reviews for this project, no final Major Subdivision Plan had been received. Upon receipt of same a review will be made and comments (if any) will be provided.
- 4). Prior to final approval for the subdivision the Applicant should submit the following:
 - a). Public Improvements Bonding Estimate for review.
 - b). Offers of Dedication for the Town Roads, including metes and bounds description.
- 5). At such time that the necessary submittal information is received, the completed review for final approval will be made.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJe/dl
buhl

Mr. Lou Grevas: If I could just bring you up to date. We last submitted Shaw Engineering also submitted the plan again to the County Health Department on 1 August and we anticipated hearing from the county around the first week of November. This is the second submission so we anticipate that probably construction will begin out there in earnest in the fall. But our proposal tonight, the reason we asked for this meeting was to request permission and advise you what we'd like to do over the winter months. What we'd like to do is to begin clearing on the road and begin grading and subgrading a portion of it which would be the first section which we will show you when we bring in the final plans. This is the interim plan submitted to the County Health Department. The clearing as a grading operation we would like to conduct I believe is in accordance with the subdivision regulations that says that prior to final approval we can build some of the improvements and then submit the performance for those items which are incomplete, anything done of course that requires inspection by the town engineer we'd reimburse the town for that

inspection. We are trying to get it set up so we can get some of the subsurface down over the winter preparatory to paving in the spring so we can let it settle out. On another, talking about the road section we are aware of the current discussion about 34' wide pavement and have proposed a cross section for this project and possibly later on some other ones, but this one showing 34' wide pavement and Mark hasn't seen this yet but I had discussed it with him over the telephone, it is sort of a combination between rural road specifications and a suburban street specification, something that we'd like to put in.

Mr. Scheible: Which side is the sidewalk going on?

Mr. Grevas: Sidewalks? As you know the 34' wide road section that you have in your ordinance is suburban street specs which would go nicely in a high density area, this is a rural area. We'd like to keep it that way so this is what we are proposing. We feel 34' in this part of the country is probably going to look a little strange because of the existing Beattie Road is 20' wide.

Mr. VanLeeuwen: That's 18' wide.

Mr. Grevas: So we will be putting in a road almost twice the width that is what you have been asking for, that is what the fire people have been asking for.

Mr. Scheible: It is going to be a paved swail?

Mr. Grevas: All blacktopped. We don't need an answer on that this evening because Fred Fayo hasn't seen that either, we just discussed it the other day and drew that up to show you folks tonight since we were going to be here, but we'd like to submit it to Mr. Fayo before too long.

Mr. Reynolds: Still a 50' right-of-way so you are taking how much swail, how much road.

Mr. Grevas: The roadway, it is 28 because we have 6' of swails.

Mr. Reynolds: Who designates where the runoff goes and so on?

Mr. Grevas: On the plan there is storm drainage systems which has been laid out and as soon as the County Health Department gives us their final comments we will submit that for the engineer's review. All of those heavy blue lines are storm drains, we have catch basins, storm drains all through the site.

Mr. VanLeeuwen: How much of the road do you want to clear?

Mr. Grevas: The whole thing, I'd like to clear all of it.

Mr. VanLeeuwen: The road?

Mr. Grevas: Yes, just the 50' strip.

Mr. VanLeeuwen: It does make a better road if it does lay over the winter.

Mr. Reynolds: What design do you have on the outlet from that road going to

Beattie?

Mr. Grevas: At this point we have 34' pavement coming out with two radius both locations flaring out to hit existing roads. I think 20' radius. When the final plans are submitted, you will notice these are final contours they show the grading going away from Beattie and bringing it down through here.

Mr. Reynolds: You are going to come right off Beattie, right into the road at a culvert?

Mr. Grevas: Yes, because there isn't any defined good sized drainage ditch in here as you know, it is shallow, so we can pick that off, that section along the swails along the edge and bring it down to the catch basins.

Mr. Reynolds: But you can't do that up above.

Mr. Grevas: No because there is not much to pick up here. We do have a requirement here so we will do it at this point.

Mr. VanLeeuwen: I don't have any problem with the clearing and putting the road bed down. I prefer to see it.

Mr. Grevas: At the time of final, we will have to submit a performance bond and the parts that are done and acceptable to the town we ask to be reduced from the bond.

Mr. McCarville: I see no problem with it.

Mr. Reynolds: I will make a motion that Buhl-Rinaldi be permitted to clear the 50' roadway known as Wagner Road.

Mr. McCarville: I will second that.

ROLL CALL:	MR. MC CARVILLE	AYE
	MR. VAN LEEUWEN	AYE
	MR. SCHIEFER	AYE
	MR. REYNS	AYE
	MR. LANDER	AYE

Mr. Rinaldi: One of the things we will be submitting is a road profile based on what is accepted in New Windsor or a 34' cross section. When we originally submitted it was left but a lot of things have changed. My question as a practical matter, we are coming off Beattie Road which is an 18' country road into a rural country subdivision of which we are now according to that going to have a 34' road going through, is that cast in stone with the town as far as the requirements as a practical matter? We are going to wind up with a 50' cleared area going in and it seems overkill.

Mr. Scheible: Beattie Road, hopefully, can be changed around someday and we have two gentlemen who live there and I think they will both admit it is a very narrow and hard to maneuver street now. I think it is going to have to fly with exactly how your profile shows.

Mr. Rinaldi: As far as the profile he submitted, is that pretty much what we are looking at?

Mr. Grevas: The highway supervisor hasn't seen it.

Mr. Rinaldi: But generally that is it.

Mr. Scheible: Yes.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

February 24, 1988

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

Att: Henry Scheible, Planning Board Chairman

Subject: Buhl - Rinaldi Subdivision
Beattie Road, Town of New Windsor
Performance Bond Estimate

Dear Mr. Scheible:

Please be advised that we have reviewed the performance bond estimate, submitted by Shaw Engineering on behalf of subject subdivision for construction of roadway improvements. In line with our review, we have found several elements of construction which had been excluded from the original bond estimate and including embankment excavation and fill. In addition, the roadway in accordance with the ordinance, is wider than the typical shown on the plans and further, the shoulders should receive a double surface of oil and chip which has been included in our performance bond estimate.

In line with our review, we would like to offer the following performance bond estimate for your necessary action.

PERFORMANCE BOND ESTIMATE

ITEM	QUANTITY	UNIT PRICE	AMOUNT
shale subbase 9"	3,800 CY	\$ 15.00	\$ 57,000
R.O.B. subbase 6"	2,500 CY	22.00	55,000
asphalt concrete pavement 3"	8,600 SY	15.00	129,000
asphalt swale 3"	2,900 SY	15.00	43,500
oil and chip shoulder	3,600 SY	4.50	16,200
embankment excavation	10,000 CY	4.00	40,000
embankment fill	10,000 CY	4.00	40,000
15" storm drain	1,645 LF	25.00	41,125
18" storm drain	927 LF	30.00	27,720

24 " arch pipe	98 LF	37.00	3,626
24" arch pipe (paved)	125 LF	39.00	4,875
24 " storm drain	403 LF	35.00	14,105
catch basins	28 EA.	1,000.00	28,000
R.O.W. monuments	25 EA.	100.00	2,500
street signs	3 EA.	100.00	300
surface restoration	1 LS.	6,000.00	6,000

\$ 508,951

performance bond amount

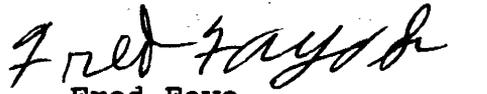
\$ 509,000

On the basis of the above, it would be the recommendation of our office, as well as Mr. Fred Fayó, Highway Superintendent that a performance bond in the amount of \$509,00.00, be established for subject subdivision.

We are hopeful that the above is satisfactory, however if you should have any questions in this matter, please contact our office.

Sincerely,

 Richard D. McGoey, P.E. lmv
 Town Engineer


 Fred Fayó
 Highway Superintendent

RDM/lmv

cc: Skip Fayó, Highway Superintendent
 Pauline Townsend, Town Clerk
 J. Tad Seaman, Town Attorney

M. MODNA DEVELOPMENT COMPANY, INC.
 BUTTER HILL PROPERTIES
 P.O. BOX 4407
 BUTTER HILL DRIVE
 NEW WINDSOR, NEW YORK 12550
 (914) 561-3194

2/3 of 1250 = 8.33

POB. Gravel 25% (2391 cy) @ 15 = 3586.25
 2" Base Course 50% (7173 sy) @ 8.33 = ~~5975.25~~
 1" Top Course 27874

December 14, 1987

1" Top Course 100% (7173 sy) @ 4.17 = 29911.00

Mr. Richard McGoey
 Engineer for the Town
 Town of New Windsor
 555 Union Avenue
 New Windsor, New York 12550

Dear Mr. McGoey:

We have completed additional work in Section 10 which was bonded for \$131,000.00. The work remaining is the final top coat which is under contract with EZE Equipment for \$30,000.00, as well as repairing, reworking or resurfacing approximately 25% of the base coat which was put down over the sub base to stabilize the road for the winter. The opening on Forge Hill Road is under the jurisdiction of the County and is bonded accordingly.

The street lights, grading, etc. are complete. The following is a detailed estimate of work to be done:

Estimate to complete road improvements in Section #10
 Reworking base coat-
 25% of 42,550 sq. ft. x .69/sq. ft. \$ 7,340.00
 Top coat 42,550 sq. ft. x .70/sq. ft. 29,785.00
 Seeding drive to Forge Hill Road -
 2 acres @ \$1,750.00/acre 3,500.00
 Replace 100' curb @ \$7.50/ft. 750.00
 \$41,375.00

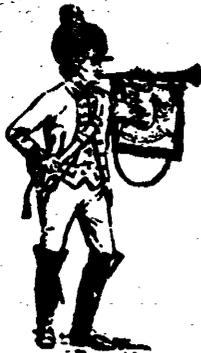
Please review and forward to the Town Board a new estimate for completion so we may request a bond reduction.

Very truly yours,

MODNA DEVELOPMENT CO., INC.

BY: Leigh R. Lydecker, Jr.
 LEIGH R. LYDECKER, JR.

LKL/jag
 cc: Mr. Fred Fayo



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

June 13, 1986

Re: 51-1-82.2, 82.12, 82.11

Dear Mr. Grevas:

According to my records, the following list of property owners are within five hundred (500) feet of the above mentioned properties.

The charge for this service is \$45.00. Please remit the same to the Town Clerk, Town of New Windsor.

Very truly yours,

A handwritten signature in cursive script, reading "Christian E. Jahrling". The signature is written in black ink and is positioned above the printed name and title of the signatory.

CHRISTIAN E. JAHRLING, IAO
SOLE ASSESSOR



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

1763

✓ M T A
Stewart Airport
New Windsor NY 12550

✓ Mihalics George
& Anastatia
RD1 Box 5A
Rock Tavern NY 12575

✓ Kubina Aleck P
PO Box 61
Rock Tavern NY 12575

✓ Jaeger Aloisia
& Doherty Elsie S
Rt 207
Rock Tavern NY 12575

✓ Baer Gerry
116 Brittany Terrace
Rock Tavern NY 12575

✓ Romanowski Craig
& Arden
Shaw Rd
Rock Tavern NY 12575

✓ Messina Frank Sr
Box 25 Beattie Rd
Rock Tavern NY 12575

✓ Dunn Norman M
& Daisy E
Beattie Rd
Rock Tavern NY 12575

✓ Dunn Andree J
Beattie Rd
Rock Tavern NY 12575

✓ Van Dusen Robert
& Klare
Beattie Rd
Rock Tavern NY 12575

✓ Wagner Harry S
& Louise Mac Dowell
c/o Mac Dowell
Box 254 Beattie Rd
Rock Tavern NY 12575

✓ Gravina Joseph Salvator
& Elena
Shaw Rd
Rock Tavern NY 12575

✓ Anderson Walter C
& Mary Ann
6 Flamingo Rd
Poughkeepsie NY 12601

✓ Polman George Sr
& Gesina
RR1 Box 285
Beattie Rd
Rock Tavern NY 12575

✓ Polman George Jr
& Yvonne
Beattie Rd
Rock Tavern NY 12575

✓ Nesbit Raymond
& Velma
Beattie Rd
Rock Tavern NY 12575

✓ Cupano Nunzio L
& Alice K
Beattie Rd
Rock Tavern NY 12575

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK



1763

✓ Wood Eugene F
& Marlene L
Beattie Rd
Rock Tavern NY 12575

Rinaldi James
233 Main St
Goshen NY 10924

✓ Di Geratu Mircea
& Tulia
137-48 Juniper Ave
Flushing NY 11355

✓ Leye John
& Jacoba
Rt 207
Rock Tavern NY 12575

✓ Neuman Edith M
c/o Herbert J Fabricant Esq
1 Harriman Square
PO Box 60
Goshen NY 10924

✓ Mulligan Raymond I
& Catherine C
Beattie Rd
Rock Tavern NY 12575

✓ Congelosi Anthony Jr
Rt 207 Box 54
Rock Tavern NY 12575

✓ Saraga Michael E
& Donna G
RR1 Box 278
Beattie Rd
Rock Tavern NY 12575

✓ Errichetti Joseph
& Janis
Beattie Rd
Rock Tavern NY 12575

✓ Baxter Richard C
& Barbara C
Beattie Rd
Rock Tavern NY 12575

✓ Flannery John
& Ann
Beattie Rd
Rock Tavern NY 12575

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, N.Y. on 25 JUNE, 1986 at 7:45 P.M. on the approval of the proposed Major Subdivision for TED BUHL & JAMES RINALDI located on West Side of Beattie Road 800' South of Shaw Road. A Map of the proposed subdivision is on file and may be inspected at the Town Clerk's Office, Town Hall, 555 Union Avenue, New Windsor N.Y. prior to the Public Hearing

Dated: 10 June 1986

By order of

TOWN OF NEW WINDSOR PLANNING BOARD
Henry Reyns
Chairman

Shaw Engineering

Consulting Engineers

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
(914) 561-3695

BUHL AND RINALDI SUBDIVISION

February 10, 1988

CONSTRUCTION ESTIMATE

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
<u>Roadways And Easements</u>			
9" Coarse Shale	4545 C.Y.	\$ 15	\$ 68,175
6" Gravel Base	3030 C.Y.	\$ 22	\$ 66,660
2" Blacktop Binder	1980 Tons	\$ 55	\$ 108,900
1" Blacktop Surface	990 Tons	\$ 55	\$ 54,450
Concrete Monuments	25	\$ 100	\$ 2,500
Street Signs	3	\$ 100	\$ 300
Easement Restoration & Seeding			\$ 6,000
			<u>\$ 306,985</u>
 <u>Storm Water System</u>			
Catch Basins	28	\$1,000	\$ 28,000
15" Pipe	1,645 L.F.	\$ 16	\$ 26,320
18" Pipe	924 L.F.	\$ 18	\$ 16,632
24" Arch Pipe	98 L.F.	\$ 24	\$ 2,352
24" "Smooth Flow" Arch Pipe	125 L.F.	\$ 29	\$ 3,625
24" Pipe	403 L.F.	\$ 22	\$ 8,866
			<u>\$ 85,795</u>
Subtotal			\$ 392,780
10% Inflation & Construction Contingency			<u>\$ 39,278</u>
CONSTRUCTION ESTIMATE TOTAL			\$ 432,058

ZONING BOARD
TOWN OF NEW WINDSOR
55 UNION AVENUE
NEW WINDSOR, NY 12550

Date Received _____
Preapplication Approval _____
Preliminary Approval _____
Final Approval _____
Fees Paid _____

APPLICATION FOR SUBDIVISION APPROVAL

Date: 23 April 1986

1. Name of subdivision Ted Buhl & James Rinaldi Major Subdivision

2. Name of applicants Ted Buhl & James Rinaldi Phone (914) 534-8770

Address 1 Cornwall Avenue, Cornwall-on-Hudson, N.Y. 12580
(Street No. & Name) (Post Office) (State) (Zip Code)

3. Owner of record Applicants Phone _____

Address same as above
(Street No. & Name) (Post Office) (State) (Zip Code)

4. Land Surveyor Elias D. Grevas, L.S. Phone (914) 562-8667

Address 33 QUASSACK AVE., NEW WINDSOR, N.Y. 12550
(Street No. & Name) (Post Office) (State) (Zip Code)

5. Attorney _____ Phone _____

Address _____
(Street No. & Name) (Post Office) (State) (Zip Code)

6. Subdivision location: On the Northwest side of Beattie Road
(Street)

250' feet Southwest of Shaw Road
(direction)

7. Total Acreage 41.5± Zone R-1 Number of Lots 28

8. Tax map designation: Section 51, Blk. 1, Lot(s) 82.1

9. Has this property, or any portion of the property, previously been subdivided Yes

If yes, when 1985; by whom Louise Wagner

10. Has the Zoning Board of Appeals granted any variance concerning this property No

If yes, list case No. and Name _____

List all contiguous holdings in the same ownership.

Section 51 Block(s) 1 Lot(s) 82.2

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed. IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

STATE OF NEW YORK)
COUNTY OF ORANGE : SS.:

I, Ted Buhl, hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true.

Ted Buhl
Mailing Address 1 Cornwall Ave.
Cornwall-on-Hudson, N.Y. 12520

SWORN to before me this

23 day of April, 1986

Shirley B. Hasenbergl
NOTARY PUBLIC

affides 4/31/89

Memo FROM:

555 UNION AVENUE

TOWN OF NEW WINDSOR

NEW WINDSOR, NEW YORK 12550

TO:

(
Mr. Ted Buhl
1 Cornwall Avenue
Cornwall on Hudson
New York 12520
)

DATE: July 2, 1986

SUBJECT: Buhl/Rinaldi Subdivision

—FOLD HERE—

Dear Ted,

This is to inform you that your subdivision known as Buhl/Rinaldi was granted preliminary approval on July 2, 1986.

Very truly yours,

SHIRLEY B. HASSDENTEUFEL
Secretary

/s

by _____

ENVIRONMENTAL ASSESSMENT - PART II

Project Impacts and Their Magnitude

General Information (Read Carefully)

- In completing the form the reviewer should be guided by the question: Have my decisions and determinations been reasonable? The reviewer is not expected to be an expert environmental analyst.
- Identifying that an effect will be potentially large (column 2) does not mean that it is also necessarily significant. Any large effect must be evaluated in PART 3 to determine significance. By identifying an effect in column 2 simply asks that it be looked at further.
- The Examples provided are to assist the reviewer by showing types of effects and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be more appropriate for a Potential Large Impact rating.
- Each project, on each site, in each locality, will vary. Therefore, the examples have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- The number of examples per question does not indicate the importance of each question.

INSTRUCTIONS (Read Carefully)

- a. Answer each of the 18 questions in PART 2. Answer Yes if there will be any effect.
- b. Maybe answers should be considered as Yes answers.
- c. If answering Yes to a question then check the appropriate box (column 1 or 2) to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- d. If reviewer has doubt about the size of the impact then consider the impact as potentially large and proceed to PART 3.
- e. If a potentially large impact or effect can be reduced by a change in the project to a less than large magnitude, place a Yes in column 3. A No response indicates that such a reduction is not possible.

	1.	2.	3.
	SMALL TO MODERATE IMPACT	POTENTIAL LARGE IMPACT	CAN IMPACT BE REDUCED BY PROJECT CHANGE
	—	—	—
	—	—	—
	—	—	—
	✓	—	—
	—	—	—
	—	—	—
	—	—	—

IMPACT ON LAND

NO YES

1. WILL THERE BE AN EFFECT AS A RESULT OF A PHYSICAL CHANGE TO PROJECT SITE?

Examples that Would Apply to Column 2

- Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.
- Construction on Land where the depth to the water table is less than 3 feet.
- Construction of paved parking area for 1,000 or more vehicles.
- Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.
- Construction that will continue for more than 1 year or involve more than one phase or stage.
- Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e. rock or soil) per year.
- Construction of any new sanitary landfill.

Construction in a designated floodway.
 Other impacts: _____

2. WILL THERE BE AN EFFECT TO ANY UNIQUE OR UNUSUAL LAND FORMS FOUND ON THE SITE? (i.e. cliffs, dunes, geological formations, etc.) NO YES

Specific land forms: _____

IMPACT ON WATER

3. WILL PROJECT AFFECT ANY WATER BODY DESIGNATED AS PROTECTED? (Under Articles 15, 24, 25 of the Environmental Conservation Law, E.C.L.) NO YES

Examples that Would Apply to Column 2

— Dredging more than 100 cubic yards of material from channel of a protected stream.
 — Construction in a designated freshwater or tidal wetland.
 — Other impacts: _____

4. WILL PROJECT AFFECT ANY NON-PROTECTED EXISTING OR NEW BODY OF WATER? NO YES

Examples that Would Apply to Column 2

— A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.
 — Construction of a body of water that exceeds 10 acres of surface area.
 — Other impacts: _____

5. WILL PROJECT AFFECT SURFACE OR GROUNDWATER QUALITY? NO YES

Examples that Would Apply to Column 2

— Project will require a discharge permit.
 — Project requires use of a source of water that does not have approval to serve proposed project.
 — Project requires water supply from wells with greater than 45 gallons per minute pumping capacity.
 — Construction or operation causing any contamination of a public water supply system.
 — Project will adversely affect groundwater.
 — Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.
 — Project requiring a facility that would use water in excess of 20,000 gallons per day.
 — Project will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.

	1. SMALL TO MODERATE IMPACT	2. POTENTIAL LARGE IMPACT	3. CAN IMPACT BE REDUCED BY PROJECT CHANGE
Construction in a designated floodway.	—	—	—
Other impacts: _____	—	—	—
2. WILL THERE BE AN EFFECT TO ANY UNIQUE OR UNUSUAL LAND FORMS FOUND ON THE SITE? (i.e. cliffs, dunes, geological formations, etc.) <input checked="" type="radio"/> NO <input type="radio"/> YES	—	—	—
Specific land forms: _____	—	—	—
<u>IMPACT ON WATER</u>			
3. WILL PROJECT AFFECT ANY WATER BODY DESIGNATED AS PROTECTED? (Under Articles 15, 24, 25 of the Environmental Conservation Law, E.C.L.) <input checked="" type="radio"/> NO <input type="radio"/> YES	—	—	—
<u>Examples that Would Apply to Column 2</u>			
— Dredging more than 100 cubic yards of material from channel of a protected stream.	—	—	—
— Construction in a designated freshwater or tidal wetland.	—	—	—
— Other impacts: _____	—	—	—
4. WILL PROJECT AFFECT ANY NON-PROTECTED EXISTING OR NEW BODY OF WATER? <input checked="" type="radio"/> NO <input type="radio"/> YES	—	—	—
<u>Examples that Would Apply to Column 2</u>			
— A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.	—	—	—
— Construction of a body of water that exceeds 10 acres of surface area.	—	—	—
— Other impacts: _____	—	—	—
5. WILL PROJECT AFFECT SURFACE OR GROUNDWATER QUALITY? <input type="radio"/> NO <input checked="" type="radio"/> YES	—	—	—
<u>Examples that Would Apply to Column 2</u>			
— Project will require a discharge permit.	—	—	—
— Project requires use of a source of water that does not have approval to serve proposed project.	—	—	—
— Project requires water supply from wells with greater than 45 gallons per minute pumping capacity.	—	—	—
— Construction or operation causing any contamination of a public water supply system.	—	—	—
— Project will adversely affect groundwater.	—	—	—
— Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.	—	—	—
— Project requiring a facility that would use water in excess of 20,000 gallons per day.	✓	—	—
— Project will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.	—	—	—

Other Impacts: _____

6. WILL PROJECT ALTER DRAINAGE FLOW, PATTERNS OR SURFACE WATER NO RUNOFF? NO YES

Example that Would Apply to Column 2

- ___ Project would imede flood water flows.
- ___ Project is likely to cause substantial erosion.
- ___ Project is incompatible with existing drainage patterns.
- ___ Other impacts: _____

IMPACT ON AIR

7. WILL PROJECT AFFECT AIR QUALITY?..... NO YES

Examples that Would Apply to Column 2

- ___ Project will induce 1,000 or more vehicle trips in any given hour.
- ___ Project will result in the incineration of more than 1 ton of refuse per hour.
- ___ Project emission rate of all contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour.
- ___ Other impacts: _____

IMPACT ON PLANTS AND ANIMALS

8. WILL PROJECT AFFECT ANY THREATENED OR ENDANGERED SPECIES? NO YES

Examples that Would Apply to Column 2

- ___ Reduction of one or more species listed on the New York or Federal list, using the site, over or near-site or found on the site.
- ___ Removal of any portion of a critical or significant wild-life habitat.
- ___ Application of Pesticide or herbicide over more than twice a year other than for agricultural purposes.
- ___ Other impacts: _____

9. WILL PROJECT SUBSTANTIALLY AFFECT NON-THREATENED OR ENDANGERED SPECIES? NO YES

Example that Would Apply to Column 2

- ___ Project would substantially interfere with any resident or migratory fish or wildlife species.
- ___ Project requires the removal of more than 10 acres of mature forest (over 100 years in age) or other locally important vegetation.

	1. SMALL TO MODERATE IMPACT	2. POTENTIAL LARGE IMPACT	3. CAN IMPACT BE REDUCED BY PROJECT CHANGE
Other Impacts: _____	---	---	---
6. WILL PROJECT ALTER DRAINAGE FLOW, PATTERNS OR SURFACE WATER NO RUNOFF? <input checked="" type="radio"/> NO <input type="radio"/> YES	---	---	---
<u>Example</u> that Would Apply to Column 2	---	---	---
___ Project would imede flood water flows.	---	---	---
___ Project is likely to cause substantial erosion.	---	---	---
___ Project is incompatible with existing drainage patterns.	---	---	---
___ Other impacts: _____	---	---	---
<u>IMPACT ON AIR</u>	---	---	---
7. WILL PROJECT AFFECT AIR QUALITY?..... <input checked="" type="radio"/> NO <input type="radio"/> YES	---	---	---
<u>Examples</u> that Would Apply to Column 2	---	---	---
___ Project will induce 1,000 or more vehicle trips in any given hour.	---	---	---
___ Project will result in the incineration of more than 1 ton of refuse per hour.	---	---	---
___ Project emission rate of all contaminants will exceed 5 lbs. per hour or a heat source producing more than 10 million BTU's per hour.	---	---	---
___ Other impacts: _____	---	---	---
<u>IMPACT ON PLANTS AND ANIMALS</u>	---	---	---
8. WILL PROJECT AFFECT ANY THREATENED OR ENDANGERED SPECIES? <input checked="" type="radio"/> NO <input type="radio"/> YES	---	---	---
<u>Examples</u> that Would Apply to Column 2	---	---	---
___ Reduction of one or more species listed on the New York or Federal list, using the site, over or near-site or found on the site.	---	---	---
___ Removal of any portion of a critical or significant wild-life habitat.	---	---	---
___ Application of Pesticide or herbicide over more than twice a year other than for agricultural purposes.	---	---	---
___ Other impacts: _____	---	---	---
9. WILL PROJECT SUBSTANTIALLY AFFECT NON-THREATENED OR ENDANGERED SPECIES? <input checked="" type="radio"/> NO <input type="radio"/> YES	---	---	---
<u>Example</u> that Would Apply to Column 2	---	---	---
___ Project would substantially interfere with any resident or migratory fish or wildlife species.	---	---	---
___ Project requires the removal of more than 10 acres of mature forest (over 100 years in age) or other locally important vegetation.	---	---	---

2-7-88

Mr. Elias Grevas came before the Board representing this proposal.

Mr. Grevas: This is Chris Fullam from Greg Shaw's office. Our purpose for coming here is to submit the final plans and the bond estimate of which Mark has a copy of and bring you up to date on where we are. We finally received County Health Department approval for the subdivision as you see it is Greg's office that carried it through. There are two fewer lots on this plan that are shown on the original plans due to the spacing on sanitary systems, house locations, wells and so forth. It's been opened up. So there are seven sheets in this set including all of the sanitary system details road profiles all those things, storm drainage profiles which Mark just received today. So at this point we are bringing you up to speed asking to be placed on the agenda as soon as Mark can complete his review of the drawings so that we can request final and begin on the project. Any of you that might want to go out and see how the lots lay, the road is rough cut in and there are some lots most of these lots are already staked out. So you can see how they lie on the land. I quite frankly think it is pretty nice.

Mr. Jones: Who layed out the drainage systems?

Mr. Grevas: They were on the preliminary plan and Greg finalized them.

Mr. Jones: Somewhere near where you made the perc tests?

Mr. Grevas: As always all of these, the perc tests and deep tests the County Health Department makes you take two percs and two deep tests in each system and then they come back out and make you do it again after you submit it.

Mr. Jones: Is there going to be a-- this lot we are looking at if somebody wants to develop it again to go up in back.

Mr. Grevas: No, they can't there is not enough frontage on the lots.

Mr. Scheible: We can put it in their that there is no further subdivision at all.

Mr. Grevas: This slope is too steep for sanitary systems, the maximum slope on a sanitary system is 15% so that would in my mind prohibit that.

Mr. Pagano: You couldn't design any bigger than a three bedroom home?

Mr. Grevas: They make you specify the number of bedrooms on all so we picked three bedroom as a standard to do it.

Mr. Scheible: I'd like to add the stipulation that there can be no further subdivisions. Is that ok with you Mr. Buhl.

Mr. Buhl: If we can get on the agenda for the next meeting we will vote for that.

Mr. Babcock: So are you granting their request for being on the next agenda. I want to make a note of this for when we do our next agenda.

Mr. Scheible: Yes.

Mr. Grevas: Thank you.

Mr. Pagano: The road on the left parcel to what we discussed today we have got an entrance into Beattie Road, we have a good slope, I'd like to see it leveled out here a little bit more.

Mr. Grevas: It is if you look at the profile. It looks better on the profile.

Mr. Babcock: Each one of these pieces of property will be subject to a driveway inspection before any C.O.'s are issued as far as the cutting of the driveways and so forth.

Mr. Grevas: The driveways are shown on all. Mark can check it out for you.

Mr. Mc Carville: 50 foot is nothing.

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval _____
Subdivision Bull & Rivalds as submitted by
Grewas for the building or subdivision of
_____ has been
reviewed by me and is approved _____,
disapproved .

If disapproved, please list reason.

*No drainage or catch basin in roads
Turn around 10 ft too short, should be 110 ft*

Fred Lugo Jr. (M.D.)
HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

**ORANGE COUNTY DEPARTMENT OF HEALTH
Division of Environmental Health**

CERTIFICATE OF APPROVAL OF REALTY SUBDIVISION PLANS

TO: Shady Grove Assoc.
12 Scotchtown Ave.
Goshen, NY 10924

The Orange County Department of Health certifies that a realty subdivision map entitled Buhl & Rinaldi Subdivision, dated November 17, 1986, latest revision January 18, 1988 located in the Town of New Windsor showing plans for providing satisfactory and adequate water supply and sewage facilities for said subdivision have been filed with and approved by the Department on this date pursuant to Article II of the Public Health Law.

The following information was furnished in the application for approval of plans:

Total area: 46.57 acres

Number of lots: 32

Water supply: Individual wells

Sewage disposal: Individual subsurface disposal systems

The owner intends to build on some lots and sell other lots without buildings.

Approval of the proposed water supply and sewage facilities is granted subject to the following conditions:

1. THAT the proposed facilities are installed in conformity with said plans.
2. THAT no lot or remaining lands shall be subdivided without plans for such resubdivision being filed with and approved by the Orange County Department of Health.
3. THAT the purchaser of a lot sold without water supply and/or sewage disposal facilities installed thereon will be furnished with a reproduction of the approved plans and shall be notified of the necessity of installing such facilities in accordance with the approved plans.

January 28, 1988
Date



M.J. Schleifer, P.E.
Assistant Commissioner

address that.

Mr. Jones: They can put a meter on the water to get a reading to guarantee the points you have to pay for sewage charges.

Mr. Scheible: I'd like to see the meter in before he is in business.

Mr. Ronas: As far as the points getting charged we are not the tax collectors in this Town so I really don't see what that has to do with the deliberations. Mr. Edsall mentioned there is a potential here for excessive amounts of water being drawn from that well and it is something that might require a DEC permit. I think that what we should do and then of course exactly how the Town taxes them is up to the Town Board is that we should make the special permit conditional upon his attaching a suitable meter to his water source so that his water consumption can be monitored by the Town and that his water consumption can be reported to the Department of Environmental Conservation so the appropriate State regulations with respect to commercial use of this well can be complied with also. But beyond that it is up to some other agency to police his payment of taxes and his use of the water.

Mr. Mc Carville: I make a motion that the Town of New Windsor Planning Board approves the application of the Family Laundromat special use permit with the provisions that a water meter be installed before a C.O. is issued and that the consumption is recorded and reported to the Town of New Windsor Water Department and if necessary as determined by the Town engineer to the Department of Environmental Conservation every three months. Seconded by Mr. Schiefer.

ROLL CALL: MR. JONES AYE
MR. REYNS AYE
MR. VAN LEEUWEN AYE
MR. MC CARVILLE AYE
MR. LANDER AYE
MR. SCHIEFER AYE
MR. SCHEIBLE AYE

CORRESPONDENCE

~~Buhl-Rinaldi~~

Mr. Mc Carville: "That the Planning Board of the Town of New Windsor approve a six month extension to the preliminary approval with regard to Buhl-Rinaldi on Beattie Road, New Windsor." Seconded by Mr. Jones.

ROLL CALL: MR. JONES AYE
MR. REYNS AYE
MR. MC CARVILLE AYE
MR. VAN LEEUWEN AYE
MR. LANDER AYE
MR. SCHIEFER AYE
MR. SCHEIBLE AYE

Being that there was no further business to come before the Board a motion was made to adjourn the June 24, 1987 meeting of the Town of New Windsor Planning



ELLAS D. GREVAS, L.S.
LAND SURVEYOR
33 QUASSAICK AVENUE
NEW WINDSOR, NEW YORK 12550
(914) 562-8667

LAND SURVEYS
SUBDIVISIONS
SITE PLANNING
LOCATION SURVEYS

PLANNING BOARD *Rec 6/15/87*

12 June 1987

Town of New Windsor
Planning Board
555 Union Avenue
New Windsor, N.Y. 12550
Att: Mr. Henry Scheible, Chairman

SUBJECT: BUHL AND RINALDI MAJOR SUBDIVISION, BEATTIE RD;
REQUEST FOR EXTENSION OF PRELIMINARY APPROVAL

Dear Mr. Scheible:

On behalf of my clients, Ted Buhl and James Rinaldi, I hereby request that the Preliminary Approval for the Subject Project be extended for an additional six (6) months.

The original Preliminary Approval was granted on 2 July 1986, and a previous request for extension was granted on 10 December 1986, extending the Approval to 2 July 1987. Therefore, this request is for the second extension.

Please note that this project is currently under review by the Orange County Department of Health, and Final Plans will be submitted as soon as we have received approval from that agency.

If you should have any question concerning this matter, please do not hesitate to contact this office.

Very truly yours

Elias D. Grevas, L.S.
EDG/ms

cc: Ted Buhl
James V. Rinaldi
Shaw Engineering

Ext 6 mo Granted

*6/24/87
Meeting*

Memo FROM:

OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

555 UNION AVENUE NEW WINDSOR, NEW YORK 12550

TO:

Elias Grevas, LS
33 Quassaick Avenue
New Windsor, New York 12550

DATE: December 22, 1986

SUBJECT: Extension of Preliminary Approval for the Ted Buhl/James Rinaldi
Subdivision

—FOLD HERE—

Dear Lou,

At the December 10, 1986 meeting of the Planning Board a six (6) month extension to the Ted Buhl/James Rinaldi Subdivision was granted. The original approval ends January 2, 1987. Extension ends July 2, 1987.

Very truly yours,

Shirley B. Hassdenteufel
SHIRLEY B. HASSDENTEUFEL
Secretary

/s
cc: Ted Buhl
James Rinaldi

by _____



ELIAS D. GREVAS, L.S.
 LAND SURVEYOR
 33 QUASSACK AVENUE
 NEW WINDSOR, NEW YORK 12550
 (914) 562-8667

*Planning Board
 Received
 11/26/86 ch*

LAND SURVEYS
 SUBDIVISIONS
 SITE PLANNING
 LOCATION SURVEYS

*Extension
 granted
 Dec. 10, 1986
 att to July 2, 1987*

24 November 1986

Town of New Windsor Planning Board
 555 Union Avenue
 New Windsor, N.Y. 12550

Att: Mr. Henry Reynolds, Chairman

SUBJECT: SUBDIVISION FOR TED BUHL AND JAMES RINALDI, BEATTIE
 ROAD; REQUEST FOR EXTENTION OF PRELIMINARY APPROVAL

Dear Mr. Reynolds:

On behalf of our client's, we hereby request an extension of six
 (6) months for the Preliminary Approval for the Subject project.
 Preliminary Approval was granted on this subdivision on 2 July
 1986.

The project is currently under review by the Orange County Health
 Department.

If you should have any questions concerning this matter, or
 require an appearance before the Planning Board, please do not
 hesitate to contact this office.

Very truly yours

Elias D. Grevas, L.S.

EDG/bg

cc: Ted Buhl

HEALTH DEPARTMENT NOTES

CATCH BASIN SCHEDULE

CB NO.	RIM EL.	INV. IN	INV. OUT
1	462.90	460.30	460.30
2	471.00	464.40	462.70
3	469.30	465.80	465.80
4	477.74	473.50	473.50
5	477.74	474.80	474.05
6	489.50	485.70	485.70
7	499.89	496.50	496.50
8	514.90	511.00	511.00
9	514.90		511.40
10	500.75		496.90
11	489.50		472.40
12	469.30		466.20
13	475.13	472.00	472.00
14	490.40	487.60	487.60
15	490.40		488.00
16	478.13		472.40
17	480.00	476.50	474.33
18	508.00	505.00	505.00
19	526.20	520.85	520.85
20	525.40	522.75	522.50
21	533.70	530.50	530.50
22	533.70		530.90
23	525.60		523.15
24	450.60		446.60
25	456.11	452.70	452.45
26	468.80	465.40	465.40
27	468.80		465.80
28	456.11		453.10

*Denotes Flushing Basin. See Flushing Basin Detail Sheet 3 of 7.

SITE PLAN NOTES

- AREA 8071-33 AREA FORMERLY LANDS OF AMALDI 46.57 ACRES
- Record Owner & Applicant Bhady Grove Associates 12 Scotchtown Avenue Goshen, N.Y. 10924
- Tax Map Designation Section 51 Block 1 Lots 82.1 & 82.2
- There shall be no further subdivision of these lots.

LEGEND

EXISTING	NEW
--- PROPERTY LINE	--- DRIVE
--- 10 FOOT CONTOUR	--- DRIVE TEST HOLE A, LOT 1
--- 2 FOOT CONTOUR	--- EXPLORATION TEST HOLE A, LOT 1
--- UTILITY POLE	--- GARAGE FINISH FLOOR, EL. 553
--- STONE WALL	--- MINIMUM FINISH FLOOR ELEVATION
--- WALL	--- SEWER MAIN
--- NEW	--- FLOORING DRAIN DISCHARGE
--- CATCH BASIN	--- FINISH FLOOR PIT
--- FLUSHING BASIN	--- 50% EXPANSION AREA



REMAINING LANDS OF RINALDI AREA = 5.01 ACRES
NO SANITARY FACILITIES OR WELLS WILL BE CONSTRUCTED ON THIS LOT WITHOUT THE APPROVAL OF THE ORANGE COUNTY HEALTH DEPARTMENT.

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
This is to certify that the proposed arrangements for water supply and sewer disposal...
ASSISTANT COMMISSIONER

ZONING SCHEDULE

ZONE	R1
MIN. LOT AREA	43,500 SQ. FT.
MIN. LOT WIDTH	125'
MIN. FRONT YARD	45'
MIN. SIDE YARD	25'
MIN. REAR YARD	25'
MIN. STREET FRONTAGE	120'
MAX. BLDG. HEIGHT	35'
MIN. FLOOR AREA	1,500 SQ. FT.
MAX. DEVELOPMENT COVERAGE	25%

Final Subdivision Approval by
BY TOWN OF NEW WINDSOR PLANNING
ON 2-24-88
BY Henry F. Scheibel
HENRY F. SCHEIBEL
SECRETARY

Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh, N.Y. 12550

OWNERS CONSENT
I HAVE REVIEWED THIS PLAN AND FIND IT ACCEPTABLE.
T.S. Buhl 5/11/88

CERTIFICATION
I hereby certify that this plan resulted from an actual field survey completed on 17 May 1988 performed in accordance with the Code of Practice adopted by the N.Y.S. Association of Professional Land Surveyors, Inc. and is, to the best of my knowledge and belief, correct.



ELIAS GHEVARS
100 WINDSOR AVENUE
NEW WINDSOR, NEW YORK 12580

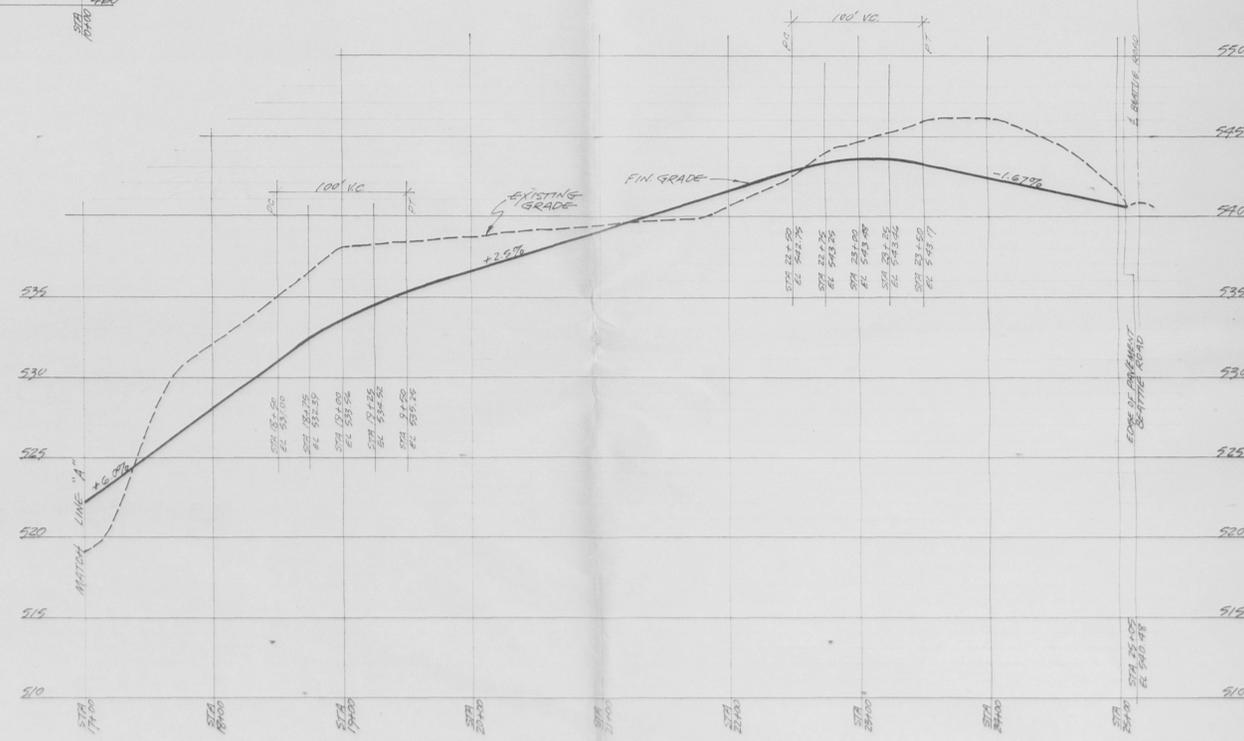
Drawn By: [Signature]
Checked By: [Signature]
Scale: 1" = 50'
Date: 5/11/88

PROJECT: SUBDIVISION PLAT
BUHL & RINALDI SUBDIVISION

1 of 7



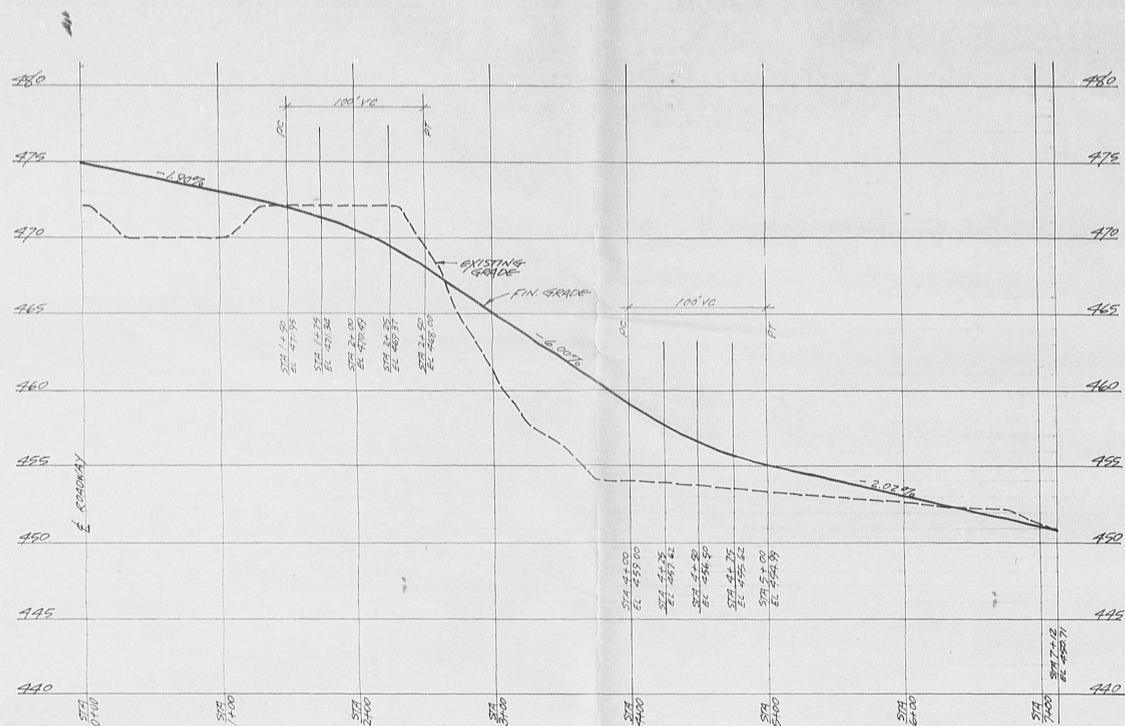
WAGNER DRIVE - STA 0+00 TO STA 17+00
 SCALE: HORIZ. 1" = 50' VERT. 1" = 4'



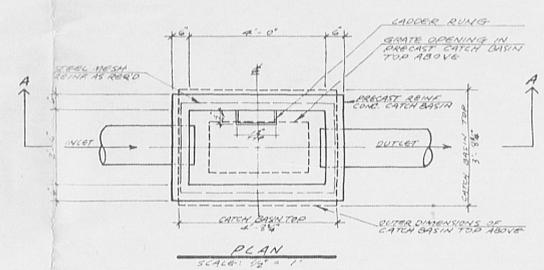
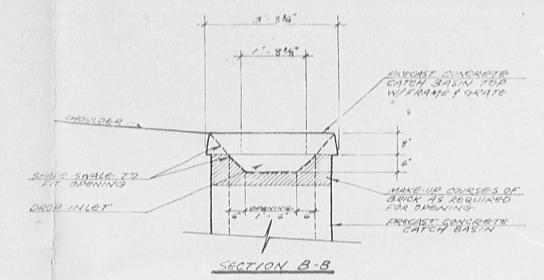
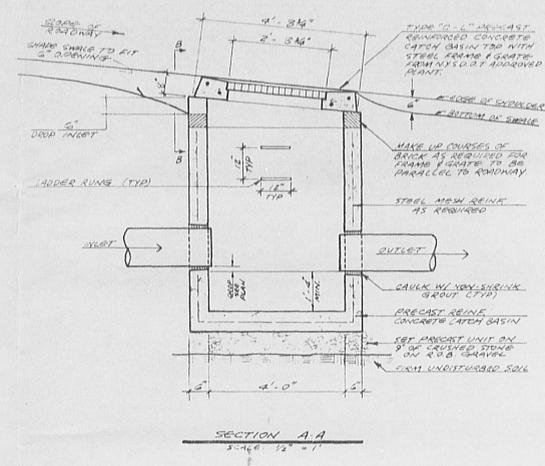
WAGNER DRIVE - STA 17+00 TO STA 25+00
 SCALE: HORIZ. 1" = 50' VERT. 1" = 4'

Shaw Engineering
 Consulting Engineers
 744 Broadway Newburgh, N.Y. 12550

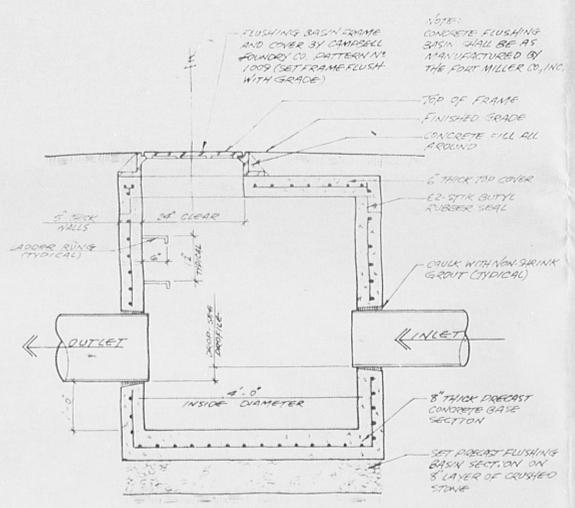
Drawn By: JA	Drawing: ROAD PROFILES	2 of 7
Checked By:	Project: BUHL & RINALDI SUBDIVISION	
Scale: 1" = 4'	Date: 10/17/52	Sheet No. 8631
Issue	Revision	Date



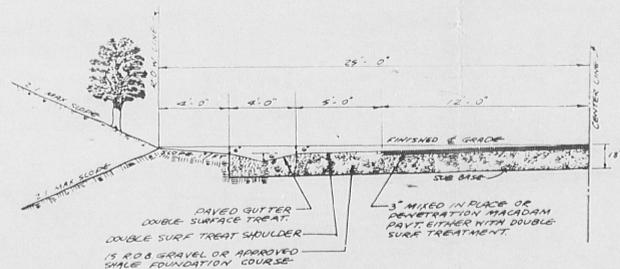
KAREN COURT - STA 0+00 TO STA 7+12



CATCH BASIN DETAIL
SCALE: 1/2" = 1'



TYPICAL FLUSHING BASIN
NOT TO SCALE



RURAL STREET SPECIFICATIONS
SCALE: 1/4" = 1'-0"

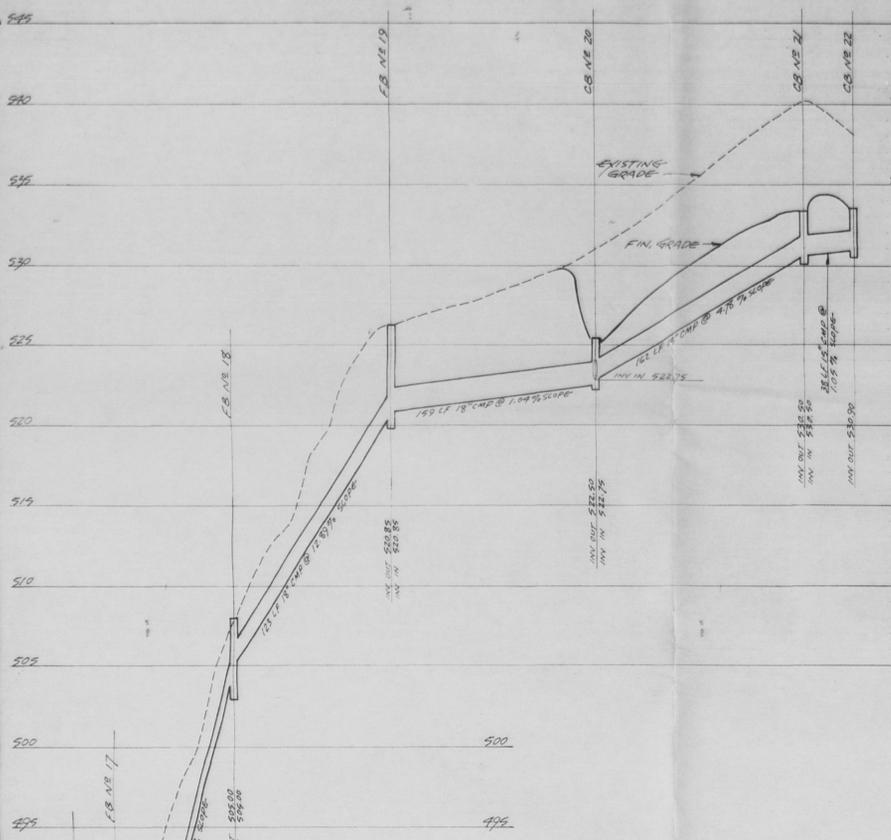
Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh, N.Y. 12550

1	CHANGE ROAD CROSS SECTION	2-22-88
ISSUE	REVISION	DATE

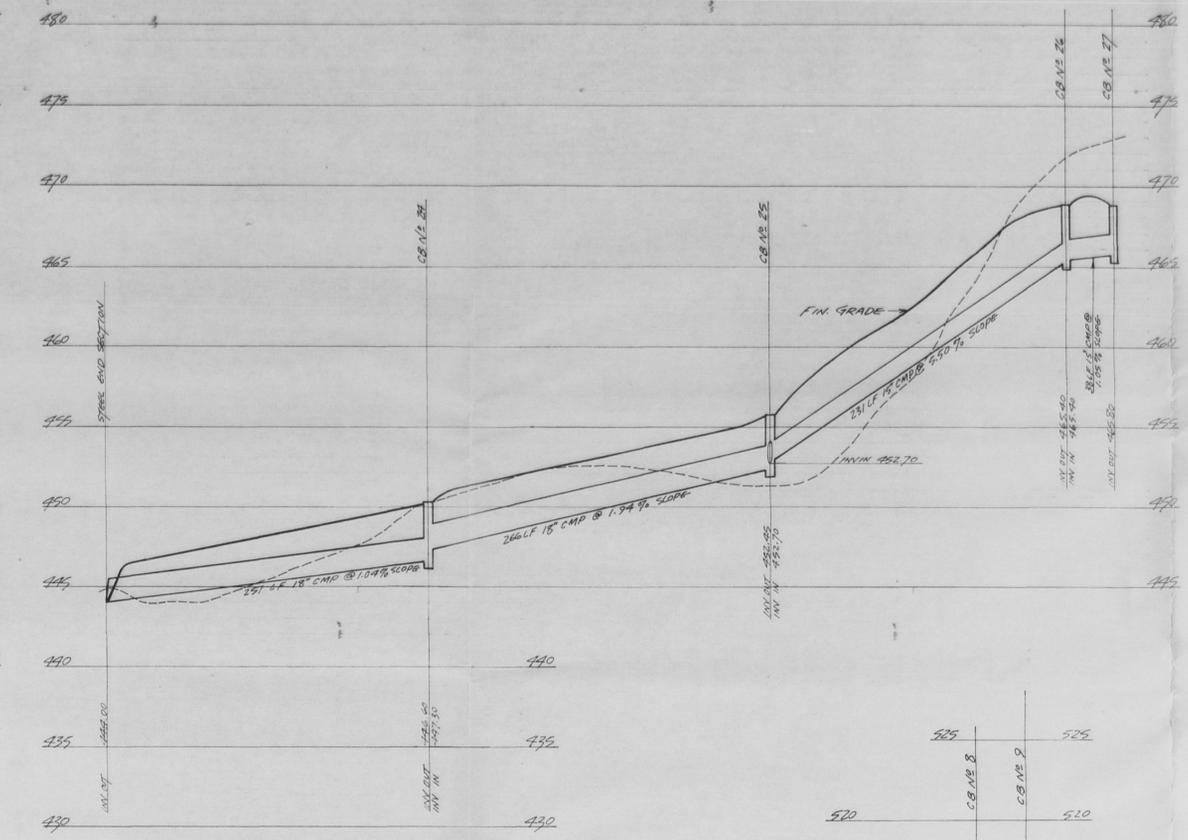
Drawn By: *JA*
Checked By: _____
Scale: *AS NOTED*
Date: *NOV. 17, 1987*

Project: **BUHL & RINALDI SUBDIVISION**
Project No.: **8631**

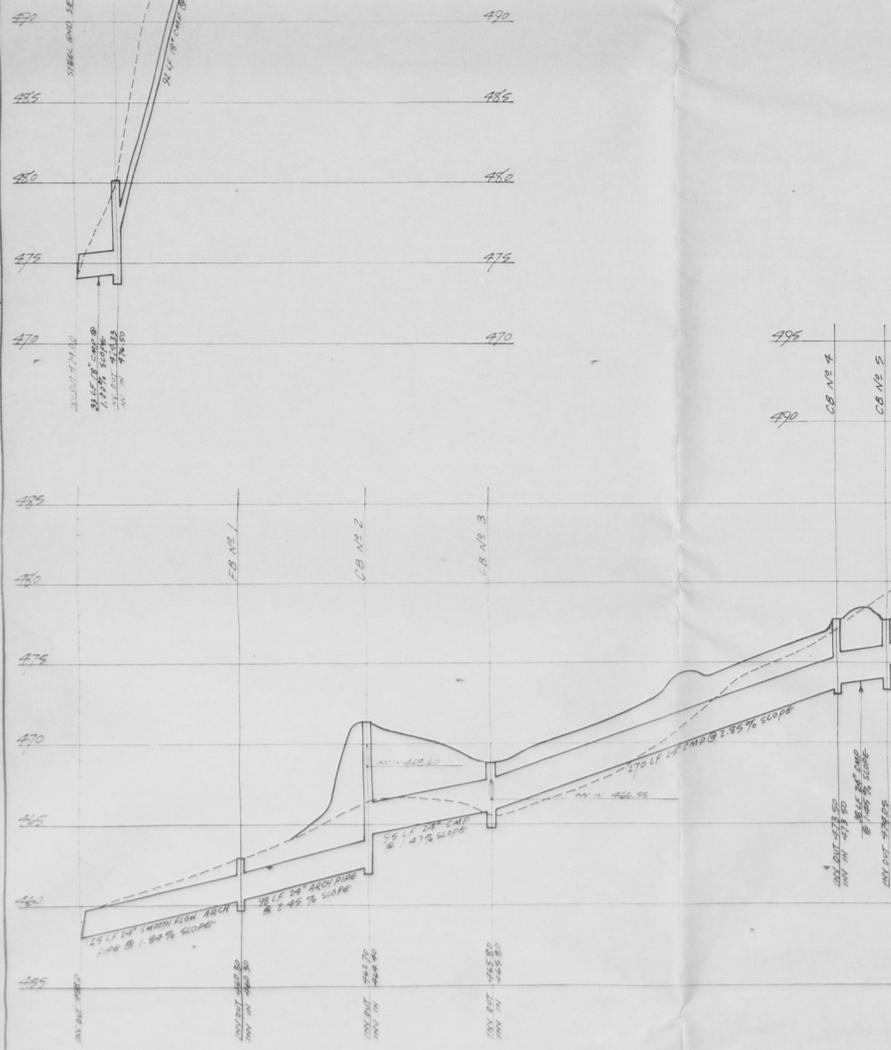
3 of 7



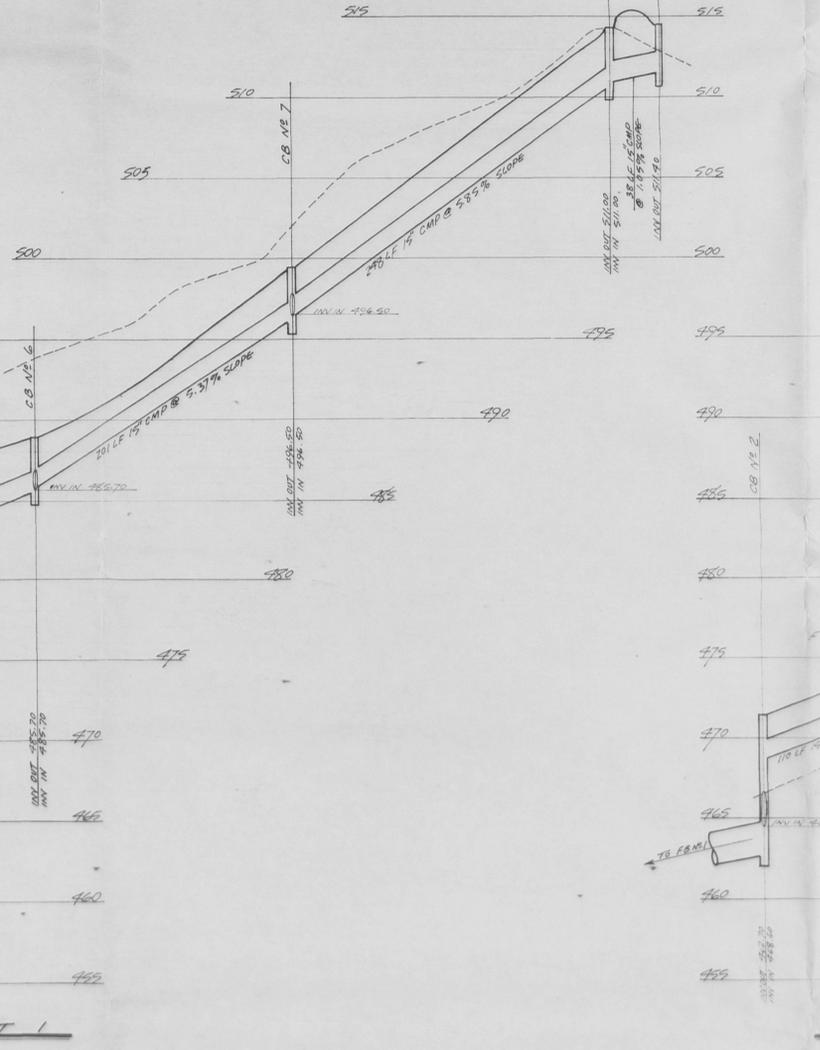
STORM SEWER PROFILE - LINE ST 3



STORM SEWER PROFILE - LINE ST 4



STORM SEWER PROFILE - LINE ST 1



STORM SEWER PROFILE - LINE ST 2

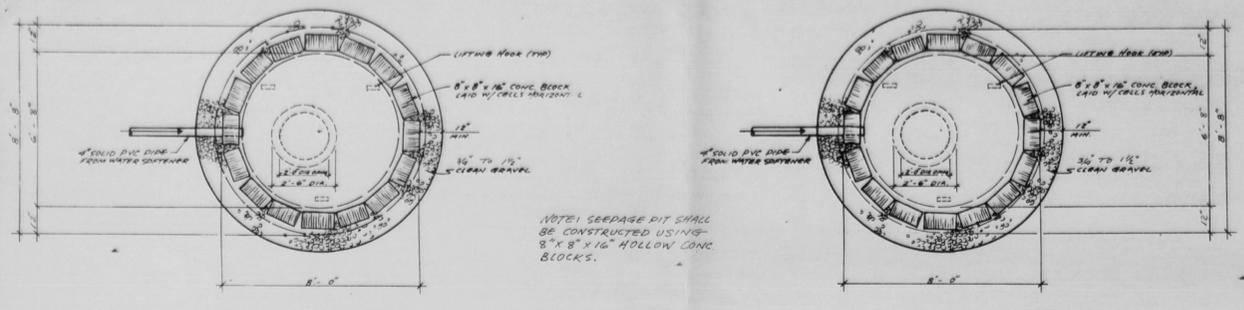
Shaw Engineering
Consulting Engineers
734 Broadway
New York, N.Y. 10003

1	CHANGE ST 4	2-22-88
1/25/88	REVISION	DATE

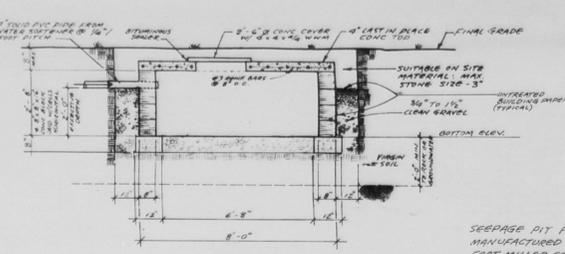
Drawn By: VA
Checked By:
Scale: HORIZ. 1" = 50'
Date: FEB. 9, 1988

Project: STORM SEWER PROFILES
BUHL & RINALDI SUBDIVISION
SHUTTLE ROAD
TOWN OF NEW WINDSOR, N.Y.

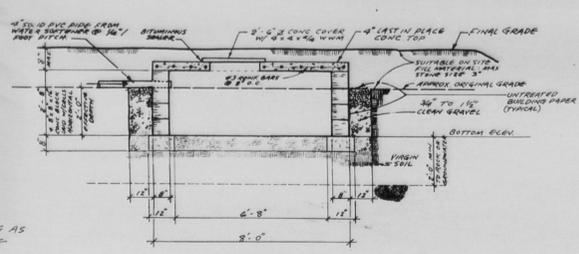
4 of 7
Project No: 8631



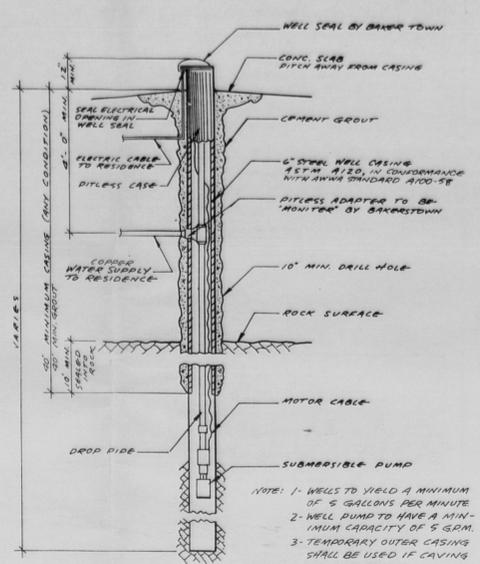
NOTE: SEEPAGE PIT SHALL BE CONSTRUCTED USING 8" X 8" X 16" HOLLOW CONC. BLOCKS.



SEEPAGE PIT FOOTING AS MANUFACTURED BY THE FORT MILLER COMPANY 8" O.D. DRYWELL FOOTING

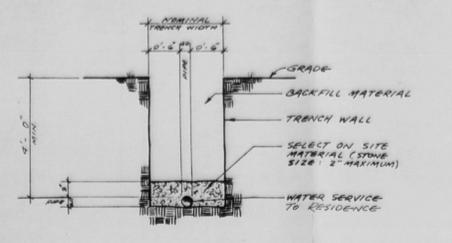


SEE PAGE PIT DETAIL TYPE 'B'

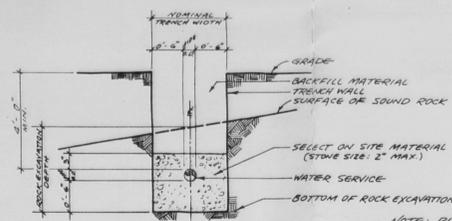


NOTE: 1. WELLS TO YIELD A MINIMUM OF 5 GALLONS PER MINUTE
2. WELL PUMP TO HAVE A MINIMUM CAPACITY OF 5 GPM.
3. TEMPORARY OUTER CASING SHALL BE USED IF CAVING IS A PROBLEM.
4. WATER SUPPLY TO RESIDENCE SHALL BE 1" UNLESS OTHERWISE NOTED ON DRAWING 1 OF 7.

WELL SUPPLY DETAIL NOT TO SCALE

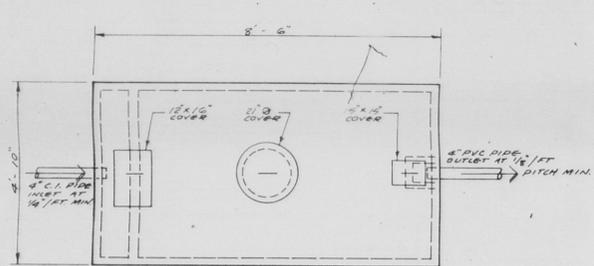


WATER SERVICE EXCAVATION NOT TO SCALE



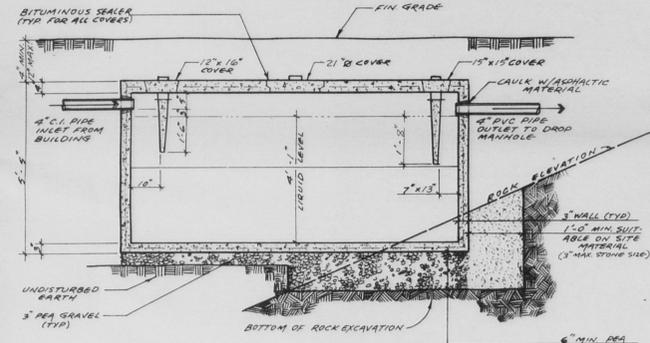
WATER SERVICE/ROCK EXCAVATION NOT TO SCALE

NOTE: BLASTING MAY BE NECESSARY WHEN INSTALLING WATER SERVICE.



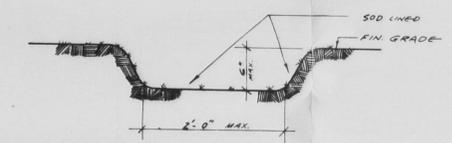
NOTES:
1. CONCRETE STRENGTH TO BE 4000 P.S.I. AT 28 DAYS
2. STEEL REINFORCEMENT 6 X 6 X 10 GA. STEEL WIRE MESH
3. SEPTIC TANK AS MANUF'D BY WOODWARD CONCRETE PRODUCTS

PLAN



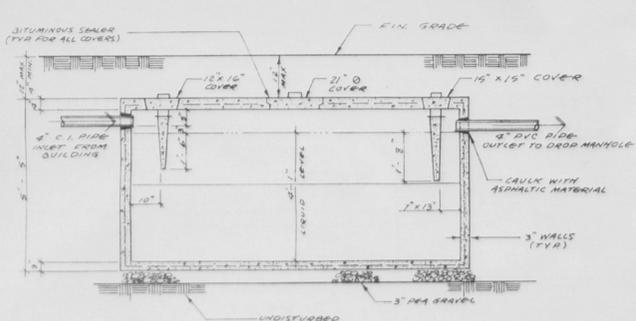
SECTION

1000 GAL SEPTIC TANK / ROCK EXCAVATION NOT TO SCALE



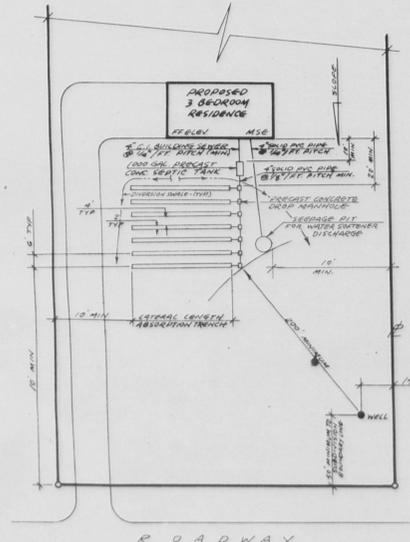
DIVERSION SWALE DETAIL N.T.S.

NOTE: DIVERSION SWALE TO BE USED TO DIVERT SURFACE WATER FROM THE FIELD ONLY AND SHALL NOT BE CONSTRUCTED IN SUCH A MANNER AS TO BE A HINDERANCE TO THE HOMEOWNER. REFER TO TYPICAL SEWAGE DISPOSAL SYSTEM.



SECTION

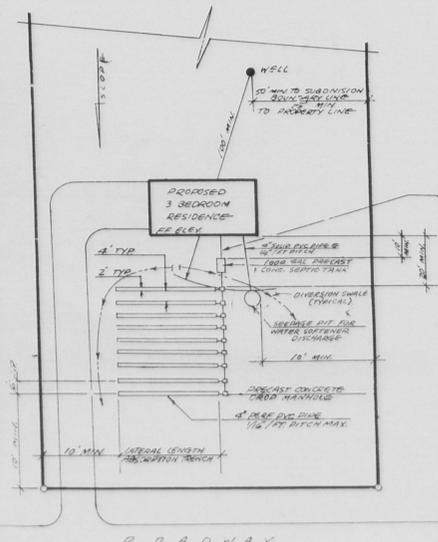
1000 GAL SEPTIC TANK NOT TO SCALE



NOTE: SEEPAGE PITS SUBJECT TO SAME SEPARATION AND PROPERTY LINE OFFSETS AS THE FIELD

TYPICAL SEWAGE DISPOSAL SYSTEM - DOWNHILL WELL NOT TO SCALE

THE TYPICAL SEWAGE DISPOSAL SYSTEM FOR UPHILL AND DOWNHILL WELLS DO NOT REPRESENT THE CONFIGURATION OF THE SYSTEM. REFER TO DWG 1 OF 7.



TYPICAL SEWAGE DISPOSAL SYSTEM - UPHILL WELL NOT TO SCALE

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
This is to certify that the septic system described herein was installed in accordance with the provisions of the Orange County Department of Health and is hereby approved. A permit is hereby issued for the use of the system which shall be valid only so long as the provisions of Section 1112 of the Public Health Law are observed.
ASSISTANT COMMISSIONER

LOT NO	CONSTRUCTION TYPE	INN IN	BOTTOM ELEV.
1	A	513.30	511.30
2	B	508.00	506.00
3	A	497.30	496.30
4	A	499.50	497.50
5	A	483.00	481.00
6	B	478.00	472.00
7	A	462.00	460.00
8	A	456.80	454.80
9	DELETED		
10	A	433.00	431.00
11	A	432.30	430.30
12	A	437.00	435.00
13	B	437.80	435.00
14	A	449.60	447.60
15	A	509.00	507.00
16	DELETED		
17	B	539.00	537.00
18	B	546.20	544.20
19	B	526.50	524.50
20	A	517.60	515.60
21	A	509.90	507.90
22	A	497.60	495.60
23	A	494.60	492.60
24	A	479.00	477.00
25	A	474.40	472.40
26	A	482.12	480.12
27	A	484.65	482.65
28	B	498.33	496.33
29	A	494.70	492.70
30	A	508.30	506.30
31	A	521.00	519.00
32	A	530.50	528.50 (4 BDRM)
	A	534.30	532.30 (2 BDRM)

Shaw Engineering
Consulting Engineers
744 Broadway
Newburgh, N.Y. 12550

DRAWING 6 OF 7 INVALID UNLESS ACCOMPANIED BY DRAWINGS 1 OF 7, 5 OF 7, AND 7 OF 7

ISSUE	REVISION	DATE
3	AS PER O.C.H.D. COMMENTS DATED 1-15-1988	1-18-1988
2	AS PER O.C.H.D. COMMENTS DATED 12-17-1987	1-11-1988
1	AS PER O.C.H.D. COMMENTS DATED 2-6-1987	7-20-1987

Drawn By: *JA*
Checked By: *JA*
Scale: AS SHOWN
Date: NOV 17, 1987

Drawing: SEWAGE DISPOSAL SYSTEM DETAILS & CONSTRUCTION DETAILS
Project: BUHL & RINALDI SUBDIVISION
Project No: 8631

6 OF 7

DESIGN TEST PITS

TEST PITS WITNESSED BY O.C.H.D.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 1 through 10.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 11 through 21.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 22 through 29.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 30 through 32.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 1 through 21.

Table with columns: LOT NO., TEST PIT NO., DEPTH, SOIL DESCRIPTION. Contains data for lots 23 through 31.

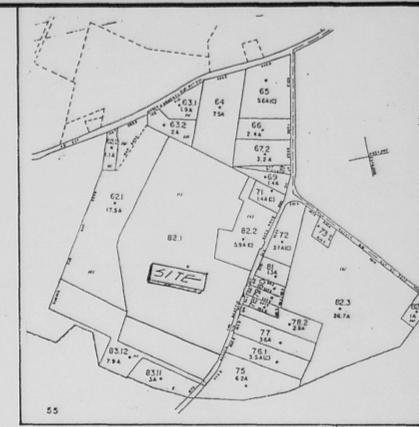
ORANGE COUNTY DEPARTMENT OF HEALTH DIVISION OF ENVIRONMENTAL HEALTH

ASSISTANT COMMISSIONER

SHEET 7 OF 7 INVALID UNLESS ACCOMPANIED BY DRAWINGS 1 OF 7, 5 OF 7, AND 6 OF 7

Shaw Engineering Consulting Engineers logo and address: 744 Broadway, Newburgh, N.Y. 12550

Project information: Drawn By, Checked By, Scale, Date, Project Name: BUHL & RINALDI SUBDIVISION, Project No: 8631



LOCATION PLAN 1"=800'



- NOTES
- Being a proposed subdivision of lands shown on the Town of New Windsor Tax Maps as Section 51, Block 1, Lots 82.1 & 82.2.
 - Also being a re-subdivision of Lots 1 & 2, as shown on Harry and Louise Wagner Subdivision Plan filed in the Orange County Clerk's Office on 24 October 1974 as Map No. 3307.
 - PROPERTY ZONE: R-1
 - PROPERTY AREA: 46.574 Acres
 - APPLICANTS: Ted Buhl & James Rinaldi
c/o Ted Buhl
1 Cornwall Avenue
Cornwall-on-Hudson, N.Y. 12520
 - All lots shown meet or exceed Zoning requirements.
 - Boundary data shown is from a field survey completed by the undersigned on 17 May 1986.
 - Topographic data shown is from aerial photogrammetric methods. Date of photography: 1979; contour interval, two (2) feet.
 - All Sanitary Sewage Disposal Systems shall be designed by a New York State-Licensed Professional prior to the issuance of a Building Permit. The systems shall be inspected during construction and certified as to conformance to the original design prior to the issuance of a Certificate of Occupancy.
 - Unauthorized addition or alteration to this plan is a violation of Section 7209 (2) of the N.Y.S. Education Law.

R-1 ZONE REQUIREMENTS

LOT AREA	LOT WIDTH	FRONT YARD	REAR YARD	REAR YARD	ST. FRONTAGE	BLD. HEIGHT	FLOOR AREA	YIELD COVERAGE
MIN.	MIN.	MIN.	MIN.	MIN.	MIN.	MAX.	MIN.	MAX.
43,560 SF	125'	45'	20'	40'	50'	70'	35%	1,200 SF

Preliminary APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON 7-2-86
 BY *Henry Scheible*
 HENRY F. SCHEIBLE
 SECRETARY



ELIAS D. GREVAS, L.S.
 LAND SURVEYOR
 33 QUACKSACK AVENUE
 NEW WINDSOR, NEW YORK 12550

PLAN FOR:
TED BUHL & JAMES RINALDI

TOWN OF NEW WINDSOR

REVISIONS:

DATE	DESCRIPTION	Drawn
07/25/86	GENERAL REVISIONS	LS

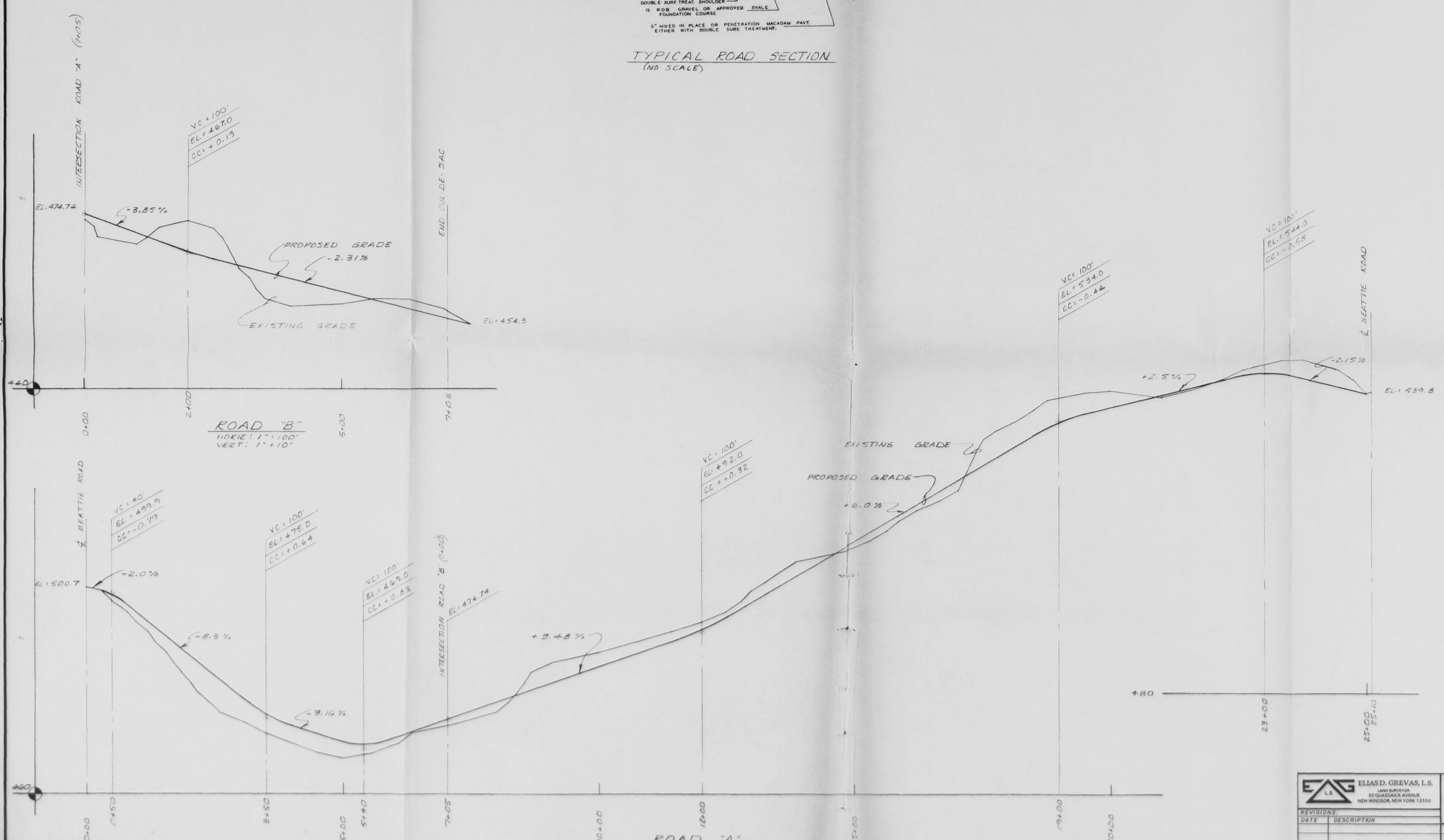
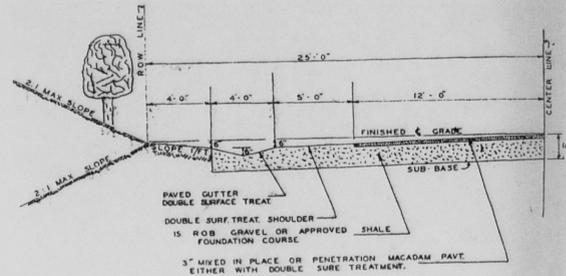
Checked: *LS*
 Scale: 1"=100'
 Date: 20 Jun 1986
 Job No: 86-023

PRELIMINARY
 MAJOR SUBDIVISION

SHEET 1 OF 2

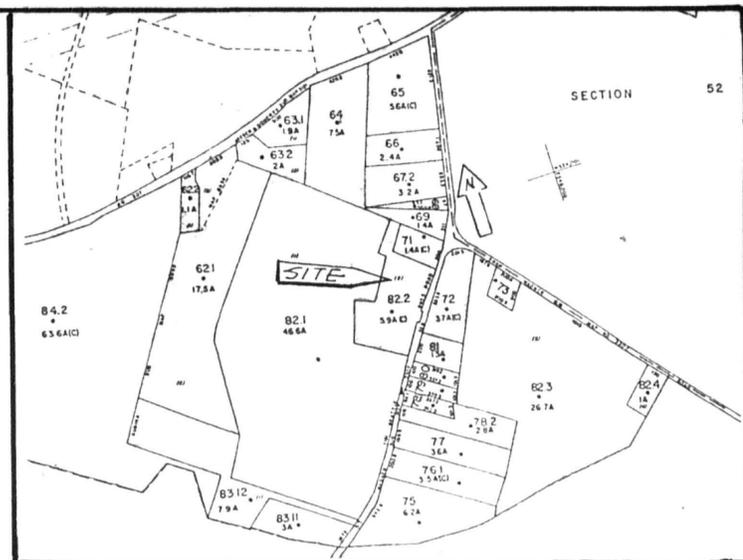
PREPARED PURSUANT TO SECTION 7208 (b) OF THE N.Y.S. EDUCATION LAW.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7207 (2) of the New York State Education Law.

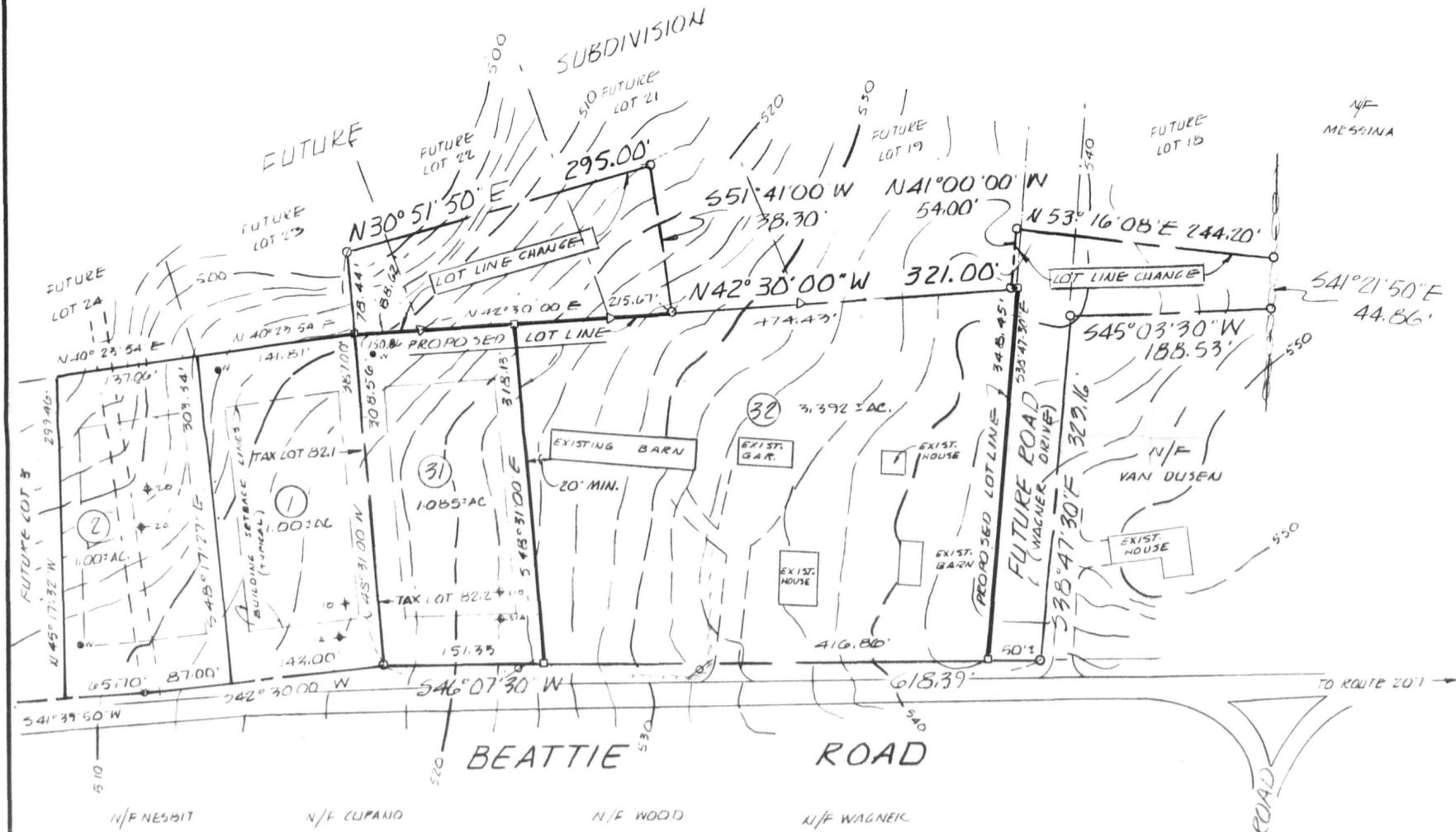
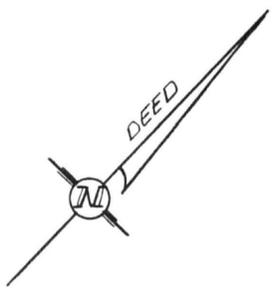


PREPARED PURSUANT TO SECTION 7208 (b) OF THE N.Y.S. EDUCATION LAW.

		ELIAS D. GREVAS, L.S. LAND SURVEYOR 33 QUASSACK AVENUE NEW WINDSOR, NEW YORK 12550	
PLAN FOR TED BUHL & JAMES RINALDI		TOWN OF NEW WINDSOR - ORANGE COUNTY - NEW YORK	
REVISIONS: DATE DESCRIPTION		Drawn: <i>WJB</i> Checked: Scale: AS SHOWN Date: 25 JUNE 1986 Job No: 86-023	
		PRELIMINARY ROAD PROFILES	
		SHEET 2 OF 2	



LOCATION MAP 1" = 800'



NOTES

1. Being/a proposed subdivision of lands shown on the Town of New Windsor Tax Maps as Section 51, Block 1, Lot 82.2 and a Lot Line Change in Section 51, Block 1, Lot 82.1.
2. Also being a re-subdivision of Lot 2, and a Lot Line Change in Lot 1, as shown on the Harry and Louise Wagner Subdivision Plan, filed in the Orange County Clerk's Office on 24 October 1974 as Map No. 3307.
3. PROPERTY ZONE: R-1
4. PROPERTY AREA: 5.93± AC
5. APPLICANTS: Ted Buhl & James Rinaldi
c/o Ted Buhl
1 Cornwall Avenue
Cornwall-on-Hudson, N.Y.
12520
6. All lots shown meet or exceeds Zoning Requirements.
7. Boundary data shown is from field survey completed by the undersigned on 17 May 1986.
8. Topographic data shown is from aerial photogrametric methods. Date of Photography: 1979
Contour Intervals, two (2) feet.
9. All Sanitary Sewage Disposal Systems shall be designed by a N.Y.S. Licensed Professional prior to the issuance of a Building Permit. The system shall be inspected during construction and certified as to conformance to the original design prior to the issuance of a Certificate of Occupancy.
10. Unauthorized addition or alteration to this plan is a violation of Section 7209 (2) of the N.Y.S. Education Law.

PERCOLATION TEST DATA

LOT NO.	TEST NO.	STABILIZED RATE
1	1A	10 MIN.
1	1B	29 MIN.
2	2A	0.3 MIN.
2	2B	2 MIN.
31	31A	14 MIN.
31	31B	19 MIN.

PERCOLATION TESTS SHOWN THUS: ⊕
PROPOSED WELLS SHOWN THUS: ●

R-1 ZONE REQUIREMENTS

LOT AREA	LOT WIDTH	FRONT YARD	SIDE YARD	REAR YARD	ST. FRONTAGE	BLD. HEIGHT	FLOOR AREA	DEVELOP. COEFF.
MIN.	MIN.	MIN.	MIN.	MIN.	MIN.	MAX.	MIN.	MAX.
43,560 SF	125'	45'	20'/40'	50'	70'	35'	1,200 SF	25%

CERTIFICATION

I hereby certify that this plan resulted from an actual field survey completed on 17 May 1986 performed in accordance with the Code of Practice adopted by the N.Y.S. Association of Professional Land Surveyors, Inc., and is, to the best of my knowledge and belief, correct.

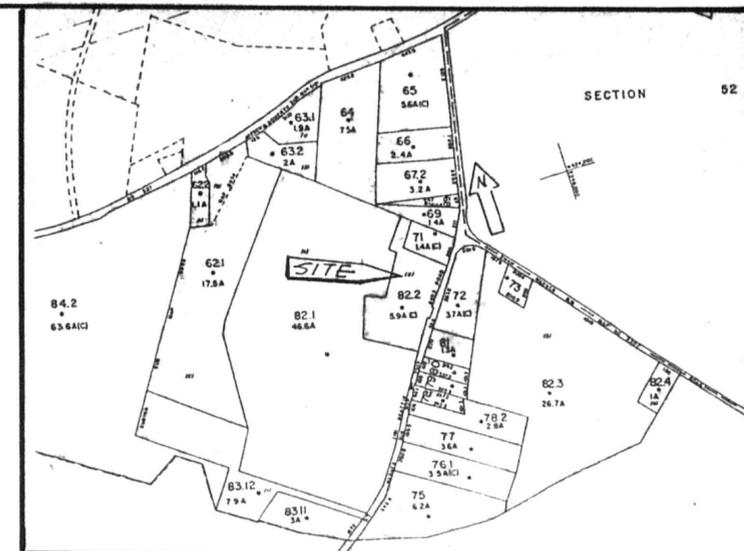


ELIAS D. GREVAS, L.S.
LAND SURVEYOR
33 QUASSACK AVENUE
NEW WINDSOR, NEW YORK 12550

DATE	DESCRIPTION
9/15/87	REVISED TO FINAL
10/25/87	AMENDED MAP (REMOVED NOTE)

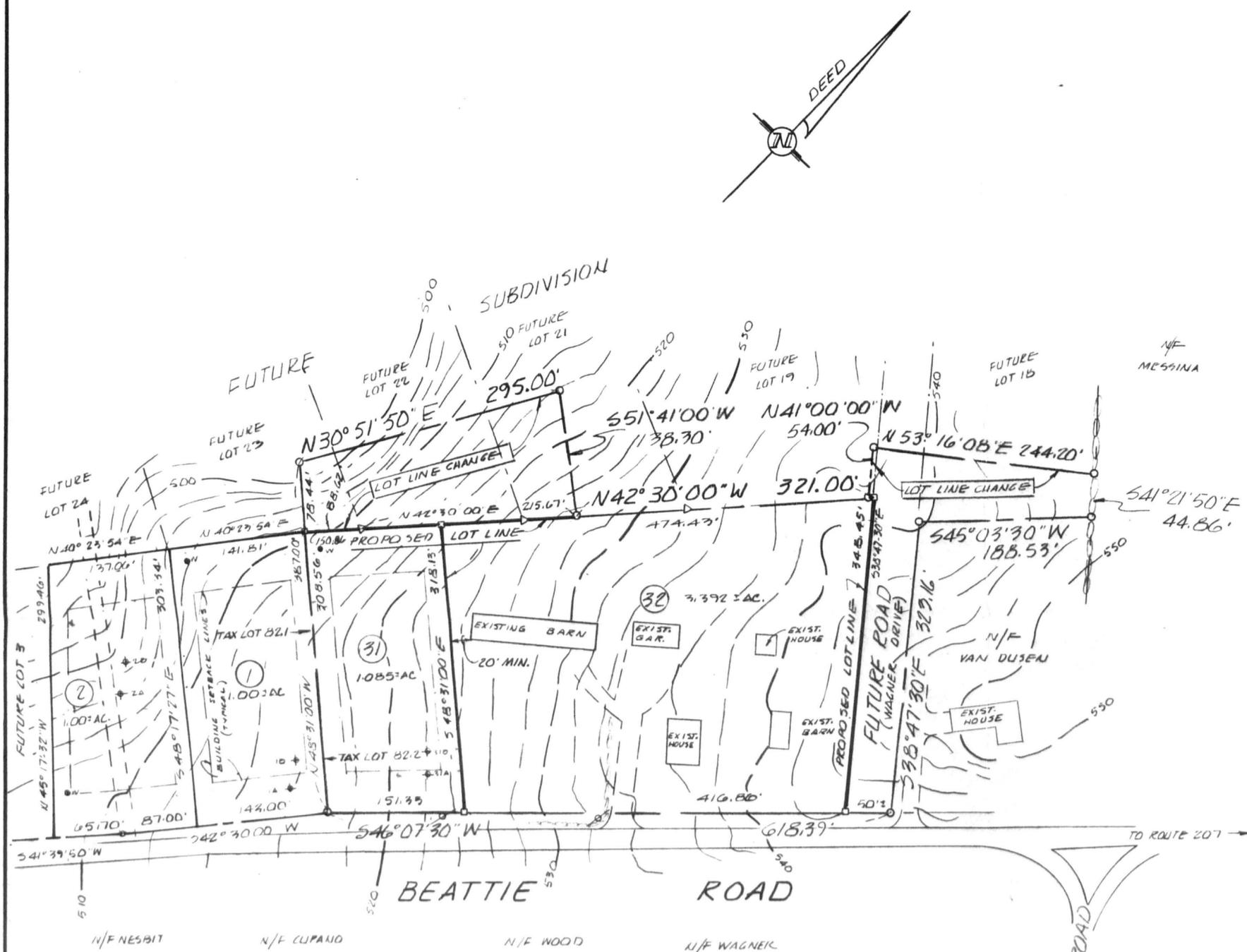
PLAN FOR
TED BUHL & JAMES RINALDI
TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK
Drawn: *EB*
Checked:
Scale: 1" = 100'
Date: 15 SEPT 86
Job No: 86-023

**AMENDED SECTION I
SUBDIVISION PLAN &
LOT-LINE CHANGE**



LOCATION MAP

1" = 800'



NOTES

- Being a proposed subdivision of lands shown on the Town of New Windsor Tax Maps as Section 51, Block 1, Lot 82.2 and a Lot Line Change in Section 51, Block 1, Lot 82.1.
- Also being a re-subdivision of Lot 2, and a Lot Line Change in Lot 1, as shown on the Harry and Louise Wagner Subdivision Plan, filed in the Orange County Clerk's Office on 24 October 1974 as Map No. 3307.
- PROPERTY ZONE: R-1
- PROPERTY AREA: 5.93± AC
- APPLICANTS: Ted Buhl & James Rinaldi
c/o Ted Buhl
1 Cornwall Avenue
Cornwall-on-Hudson, N.Y.
12520
- All lots shown meet or exceeds Zoning Requirements.
- Boundary data shown is from field survey completed by the undersigned on 17 May 1986.
- Topographic data shown is from aerial photogrammetric methods. Date of Photography: 1979
Contour Intervals, two (2) feet.
- All Sanitary Sewage Disposal Systems shall be designed by a N.Y.S. Licensed Professional prior to the issuance of a Building Permit. The system shall be inspected during construction and certified as to conformance to the original design prior to the issuance of a Certificate of Occupancy.
- Unauthorized addition or alteration to this plan is a violation of Section 7209 (2) of the N.Y.S. Education Law.

PERCOLATION TEST DATA *

LOT NO.	TEST NO.	STABILIZED RATE
1	1A	10 MIN.
1	1B	29 MIN.
2	2A	0.3 MIN.
2	2B	2 MIN.
31	31A	14 MIN.
31	31B	19 MIN.

* DATA SUPPLIED TO ORANGE COUNTY HEALTH DEPT. FOR APPROVAL BY SHAW ENGINEERING, NEWBURGH, N.Y.; LOTS 1, 2 & 31 ARE SUBJECT TO SUCH APPROVAL.
PERCOLATION TESTS SHOWN THIS: ϕ A
PROPOSED WELLS SHOWN THIS: \bullet N

R-1 ZONE REQUIREMENTS

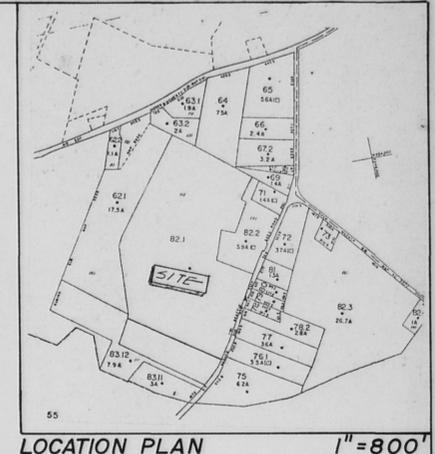
LOT AREA	LOT WIDTH	FRONT YARD	SIDE YARD	REAR YARD	ST. FRONTAGE	BLD. HEIGHT	FLOOR AREA	DEVELOPMENT
MIN.	MIN.	MIN.	MIN.	MIN.	MIN.	MAX.	MIN.	MAX.
43,560±	125'	45'	20'/40'	50'	70'	38'	1,200±	25%

CERTIFICATION

I hereby certify that this plan resulted from an actual field survey completed on 17 May 1986 performed in accordance with the Code of Practice adopted by the N.Y.S. Association of Professional Land Surveyors, Inc., and is, to the best of my knowledge and belief, correct.



	ELLAS D. GREVAS, L.S. LAND SURVEYOR 23 QUASSAICK AVENUE NEW WINDSOR, NEW YORK 12550	PLAN FOR TED BUHL & JAMES RINALDI
	TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK	SECTION 1 SUBDIVISION PLAN & LOT-LINE CHANGE
REVISIONS: DATE DESCRIPTION 9/16/87 REVISED TO FINAL		Drawn: <i>EB</i> Checked: Scale: 1" = 100' Date: 15 SEPT 86 Job No: 86-023



LOCATION PLAN 1"=800'

- NOTES**
1. BEING A PROPOSED SUBDIVISION OF LANDS SHOWN ON THE TOWN OF NEW WINDSOR TAX MAPS 45 SECT. 51 BLOCK 1 LOT B2.1 & LOT B2.2.
 2. ALSO BEING A SUBDIVISION OF LOT 2 AS SHOWN ON THE HARRY & LOUISE WAGNER SUBDIVISION PLAN FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON 24 OCT. 1974 AS MAP NO. 2307.
 3. PROPERTY ZONE: R-1
 4. PROPERTY AREA: 41.53 AC.
 5. NUMBER OF LOTS SHOWN: 30
 6. BOUNDARY DATA SHOWN IS FROM A PLOTTING OF THE SUBDIVISION MAP NOTED ABOVE, AND IS SUBJECT TO FIELD SURVEY.
 7. TOPOGRAPHIC DATA SHOWN IS BY AERIAL PHOTOGRAMMETRIC METHOD, DATE OF PHOTOGRAPHY: 1979.

R-1 ZONE REQUIREMENTS

LOT AREA	LOT WIDTH	FRONT YARD	SIDE YARDS	REAR YARD	ST. FRONTAGE	BLDG HEIGHT	FLOOR AREA	DEV. COVERAGE
MIN.	MIN.	MIN.	MIN.	MIN.	MIN.	MAX.	MIN.	MAX.
13,500 S.F.	125'	45'	20' / 40'	50'	70'	35'	1,200 S.F.	25%

Preliminary
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON 7-2-84
 BY Henry Schulz
 HENRY SCHULZ
 SECRETARY



ELIAS D. GREVAS, L.S.
 LAND SURVEYOR
 23 QUACKBACK AVENUE
 NEW WINDSOR, NEW YORK 12550

PLAN FOR:
TED BUHL & JAMES RINALDI
 TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK

REVISIONS:
 DATE DESCRIPTION
 8 MAY 84 REVISED LAYOUT

Drawn:
 Checked:
 Scale: 1"=100'
 Date: 17 Apr 1986
 Job No: 86-023

**SKETCH PLAN
 MAJOR SUBDIVISION**

UNAUTHORIZED ADDITION OR ALTERATION TO THIS PLAN IS A VIOLATION OF SECT. 7207(A) OF THE N.Y. SUBDIVISION LAW.