

PB# 88-41

New Windsor Business Park

4-2-15.1, 15.3, 16

NEW WINDSOR BUSINESS PARK
88-41 "A"

Approved 1-10-90
Plan stamped 1-25-90

General Receipt

10091

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Nov 15 19 88

Received of New Windsor Bus. Park Assoc. \$ 25.00

Twenty-five 00 DOLLARS

For Planning Board App. Dec #88-41

DISTRIBUTION

| FUND | CODE | AMOUNT |
|---------|------|--------|
| CR 1150 | | 25.00 |
| | | |
| | | |

By Pauline H. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt

11136

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Jan. 25 19 90

Received of N. W. Business Park Assoc. \$ 1508.05

One thousand Five hundred Eighty and 05/100 DOLLARS

For P/B Eng Fee \$1043.05 - P/B Fee \$465.00 #88-41A

DISTRIBUTION

| FUND | CODE | AMOUNT |
|-------------|------|---------|
| Check #1365 | | 1508.05 |
| | | |
| | | |

By Pauline H. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt

11135

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Jan. 25 19 90

Received of N. W. Business Park Assoc. \$ 1513.05

One thousand Five hundred thirteen and 05/100 DOLLARS

For P/B Eng. Fee ~~\$1043.05~~ \$470.00 #88-41B

DISTRIBUTION

| FUND | CODE | AMOUNT |
|-------------|------|---------|
| Check #1364 | | 1513.05 |
| | | |
| | | |

By Pauline H. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12550

NO. 88-41

1-25 1990

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12550

NW WINDSOR BUSINESS PARK
88-41 "R"

County File No. NWT 28-89N

COUNTY PLANNING REFERRAL

(Mandatory County Planning Review under Article 12-B,
Section 239, Paragraphs 1, m & n, of the
General Municipal Law)

Application of New Windsor Business Park
for a 7 lot Non-residential Subdivision..... Rt. 300/Temple
County Action: Approved..... Hill Rd

LOCAL MUNICIPAL ACTION

The Above-cited application was:

Denied Approved

Approved subject to County recommendations

.....
(Date of Local Action)

.....
(Signature of Local Official)

This card must be returned to the Orange County Department of Planning
within 7 days of local action.



universal
No. F5-15113

NO. 88-41

1-25 1990

Windsor Business Park

20/00

CR 1150 25.00

Town Clerk
Title

County Action: Approved Hill Rd

LOCAL MUNICIPAL ACTION
The Above-cited application was:

Denied Approved
Approved subject to County recommendations

(Date of Local Action) (Signature of Local Official)

This card must be returned to the Orange County Department of Planning within 7 days of local action.

universal
No. F5-15113

General Receipt 11136

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Received of N.W. Business Park Assoc. Jan 25 19 90
\$ 1508.05

One thousand Five hundred Eighty and 05/100 DOLLARS

For P/B Crq Fee 1043.05 - P/B fee 465.00 #88-41

| FUND | CODE | AMOUNT |
|----------------|------|--------|
| Check #1508.05 | | |
| #1365 | | |

By Pauline J. Townsend
Town Clerk

General Receipt 11135

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Received of N.W. Business Park Assoc. Jan 25 19 90
\$ 1513.05

One thousand Five hundred Thirteen and 05/100 DOLLARS

For P/B Crq Fee 1043.05 - P/B fee 470.00 #88-41B

| FUND | CODE | AMOUNT |
|----------------|------|--------|
| Check #1513.05 | | |
| #1364 | | |

By Pauline J. Townsend
Town Clerk

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12550

NO. 88-41
1-25 1990

RECEIVED FROM New Windsor Business Park
One Thousand 00/100 DOLLARS
Recreation fee 4 Lots @ 250.00 ea.

Account Total \$ 1,000.00
Amount Paid \$ 1,000.00
Balance Due \$ -0-

Maryl Mason
Secretary to the Board

Planning Board
Town Hall
555 Union Ave.
New Windsor, N.Y. 12550

NO. 88-41
1-25 1990

RECEIVED FROM New Windsor Business Park
Seven Hundred Fifty 00/100 DOLLARS
Recreation Fee 3 Lots @ 250.00 ea.

Account Total \$ 750.00
Amount Paid \$ 750.00
Balance Due \$ -0-

Maryl Mason
Secretary to the Board

A. APPLICATION FOR SUBDIVISION APPROVAL
ON A PARCEL CONSISTING OF SECTION 4, BLOCK 2, LOTS 16 & 15.1
UNDER THE
LAND SUBDIVISION REGULATIONS, TOWN OF NEW WINDSOR, NEW YORK

B. CONCEPT SITE PLAN APROVAL FOR
THE PROJECT "NEW WINDSOR BUSINESS PARK"

PROJECT NAME: NEW WINDSOR BUSINESS PARK
Section 4, Block 2, Lot 16, 15.1
Town of New Windsor
Route 300 (Temple Hill Rd.)
Town of New Windsor, New York
Orange County

OWNER/APPLICANT: NEW WINDSOR BUSINESS PARK ASSOC., INC.
147-39 175th Street
Jamaica, New York 11434
Project Manager/Principal: Jon Miller
(718) 995-4577

CONSULTANTS: Planners/Engineers/Surveyors:

KARTIGANER ASSOCIATES, P.C.
555 Blooming Grove Turnpike
Newburgh, New York 12550
(914) 562-4391

Project Engineer: Katherine A. Dewkett, P.E.
Project Architect: Drew A. Kartiganer, A.I.A.

DATE OF SUBMISSION: 1 JUNE 1988

Prepared by:

Endorsed by:

Katherine Ann Dewkett
Katherine A. Dewkett, P.E.
Kartiganer Associates, P.C.

Jon Miller
New Windsor Business Park
Associates, Inc.

INTRODUCTION

New Windsor Business Park Associates, Inc. requests Planning Board approval for the following:

A Subdivision Approval combining Tax Lots Section 4, Block 2, Lots 15.1 and 16 (total acreage of 16.48 acres) as shown on the attached Site Plan.

B. Site Plan Approval for the construction of Buildings A2 & A3 to be utilized as "office buildings for businesses and professional offices" and B1, B2, and B3 to be utilized for "planned office building development"; as designated under Items #1 and #3 Column A of the New Windsor Table of Use Regulations. Concurrently Site Plan Approval of Lot C1 to be utilized for "retail services establishment" by Special Permit under Item #2, Column B of the Table of Use regulations, is requested to complete the subdivision for the entire described property under single ownership.

SITE LOCATION & DESCRIPTION

The proposed project is located on N.Y. State Route 300 (Temple Hill/Freedom Road) approximately 1600 feet south of the Union Avenue Route 300 intersection. The parcel is more particularly described on the attached 19 May 1988 plan prepared by Kartiganer Associates, P.C.

The frontage bordering Route 300 is cleared, open, roadway level, land previously utilized as a parking area for an auto dealership. The balance of the property is second growth foliage. The topography and drainage slopes diagonally towards Route 300. There is an existing proposed right of way located between the two parcels previously discussed with the Town for use as a town road. The location of the proposed right of way as shown on the plan has been utilized in the design of the subdivision and site plans to conform with previous approvals for intended future utilization by the Town of New Windsor as a public ingress and egress to the adjoining Town lands.

ZONING

In accordance with the Town Zoning Map, the proposed project is located entirely within the "Planned Industrial" (PI) Zone. Office buildings for business and professional offices are permitted uses under Items #3, Column A of the Table of Use Regulations. Planned office building development groups are permitted uses under Item 1, Column A of the same regulations. Service establishments are permitted uses under Number 2, Column B of the same regulations. The minimum required lot area for the above are 40,000 SF, 217,800 SF (5 Acres) and 10,000 SF respectively. Municipal water and sewer is assessable on Route 300 by an 8 inch main for water and an 8 inch wastewater lateral for sewer. The following are the bulk requirements within the PI District:

I. Parcel "A" Lots designated A-1, A-2 & A-3.

Permitted Use: Office Building for Business & Professional Offices
(Per #3, Col. A)

| BULK REQUIREMENTS | REQUIRED | PROPOSED |
|-------------------|------------|--|
| Minimum Site Area | 40,000 SF | Lot A-1: 96,854 SF (2.22 Ac) Lot A-2: 72,407 SF (1.66 Ac) Lot A-3: 70,962 SF (1.63 Ac) |
| Minimum Lot Width | 150 FT | 240 FT± |
| Front Yard | 50 FT | Not to exceed minimum requirements |
| Side Yard/Total | 15/40 FT | Not to exceed minimum requirements |
| Rear Yard | 20 FT | Not to exceed minimum requirements |
| Floor Area Ratio | 0.6 | Not to exceed minimum requirements |
| Max. Building Ht. | 6 INCH/ FT | Not to exceed minimum requirements (approx. 70') |

| BUILDING | PARKING PROVIDED | OFFICE SPACE ALLOWED |
|-----------------------|------------------------|----------------------|
| A-1 | 94 | 18,800 SF |
| A-2 | 90 | 18,000 SF |
| A-3 | 87 | 17,400 SF |
| A-3 (Future Addition) | 25 Basement Parking | 5,000 SF |
| <hr/> | | |
| Totals | 269 Spaces | 59,200 SF |

II. Parcel "B", Buildings designated B1, B2, B3

Permitted Use: (Per #1 Column A of the Table of Use Regulations)
Planned Office Building Development Group

| BULK REQUIREMENTS | REQUIRED | PROPOSED |
|----------------------|---------------------------|------------------------------------|
| Minimum Site Area | 217,800 SF (5 ac) | 400,256 SF (9.19 ac) |
| Minimum Lot Width | 500 SF | 800 FT± |
| Front Yard | 100 SF | Not to exceed minimum requirements |
| Side Yard/Total | 50/110 SF | Not to exceed minimum requirements |
| Rear Yard | 50 FT | Not to exceed minimum requirements |
| Floor Area Ratio | 0.3 FT | Not to exceed minimum requirements |
| Max. Building Height | 4 IN/FT | Not to exceed minimum requirements |
| BUILDING | PARKING PROVIDED (PLACES) | OFFICE SPACE ALLOWED (SF) |
| B-1 | 300 | 44,500 SF |
| B-2 | 164 | 32,800 SF |
| B-3 | 214 | 42,800 SF |
| Totals | 678 Parking Spaces | 120,100 SF |

III. Lot "C", Building designated C1.

Permitted Use (by Special Permit): Services Establishment
(Per #2, Column B of Table of Use Regulations)

| BULK REQUIREMENTS | REQUIRED | PROPOSED |
|-------------------|-----------|------------------------------------|
| Minimum Site Area | 10,000 SF | 80,096 SF (1.84 ac) |
| Minimum Lot Width | 100 FT | 360 FT± |
| Front Yard | 40 FT | Not to exceed minimum requirements |
| Side Yard/Total | 15/35 FT | Not to exceed minimum requirements |
| Rear Yard | 15 FT | Not to exceed minimum requirements |

SUMMARY OF ENVIRONMENTAL FACTORS

The potential impact of the proposed project on a variety of environmental and community factors has been analyzed and is presented below. A completed long form Environmental Assessment Form has been provided.

GENERAL & WATER RESOURCES:

1. FLOOD HAZARDS

The parcel is not located within the 100 year flood boundary of any river, stream, or water course.

2. FRESHWATER WETLANDS

There are no designated wetlands located on the site pursuant to Article 24 of the Environmental Conservation Law.

3. STREAMS

The minor natural drainage watercourses located on the site are not protected pursuant to 6 NYCRR part 855.

4. WATER SUPPLY

The project will be serviced by the 8 inch Town of New Windsor water main (District #5) as located on Route 300 (Temple Hill Road). The estimated water supply requirements per the NYS DEC Publication "Standards for Waste Treatment Works" Table No. 1 are calculated at the rate of:

0.1 gal/day/SF of Office and Retail Gross areas

| Future Additions (SF) | Total Floor Area (SF) | |
|--------------------------|--------------------------|-----------------|
| Building A-1 | 18,000 | = 1,880 gal/day |
| A-2 | 18,000 | = 1,800 gal/day |
| A-3 (+5000) | 23,400 | = 2,340 gal/day |
| B-1 | 45,500 | = 4,450 gal/day |
| B-2 (+5000) | 32,800 | = 3,280 gal/day |
| B-3 (+5000) | 42,800 | = 4,280 gal/day |
| C-1 | 15,000 | = 1,500 gal/day |

Total Estimate (Subtotal) 19,530 gal.

Per section 15-0314 of the Environmental Conservation Law the use of water saving plumbing facilities in new and renovated buildings is mandated. Hydraulic loading, as determined from reference to Table 1, or specifically the established quantities referred to in the paragraph above, may be decreased by 20 percent in those

installations serving premises equipped with certified water saving plumbing fixtures.

As the building will be equipped with water saving devices the total flow as calculated above will in actuality be modified as follows:

$$19,530 \times .8 = \underline{15,624 \pm \text{gallons/day}}$$

5. SEWAGE DISPOSAL

The project will be serviced by the Town of New Windsor Sewer District #17. The sewage capacity is estimated to be 15624 gallons per day. (See Above) Services would be via the 8 inch sewer main traversing on Route 300.

6. PRELIMINARY TRAFFIC EVALUATION

A traffic study was prepared by the D.O.T. for the Rt. 300 corridor. A N.Y.S.D.O.T. R&P road improvement project is currently under construction. The findings of the existing traffic is summarized as follows.

| | AADT | DHV | TOTAL DAILY VEHICLES FOR PROJECT |
|--------|-----------------|------|-------------------------------------|
| Rt 300 | 10,600 Vehicles | 1170 | 194,300 SF x 10.9/1000SF = 2118 |

*AADT - AVERAGE ANNUAL DAILY TRAFFIC
DHV - DESIGN HOUR VOLUME

Per the Highway Capacity Manual (HCM) the estimated average traffic to be generated by the Office/Retail Complex is as follows:

OFFICE/RETAIL COMPLEX:

| | Enter HCM Factor x SF/1000SF | Exit HCM Factor x Rate/1000SF |
|--------------------------|---------------------------------|----------------------------------|
| AM Peak Hour Vehicles | 1.93 x 194.3 = 375 | .20 x 194.3 = 39 |
| PM Peak Hour Vehicles | .24 x 194.3 = 47 | 1.80 x 194.3 = 350 |

Rt. 300 will have sufficient capacity to service the traffic generated by the complex.

REQUESTED WAIVERS AND MODIFICATIONS OF SITE PLAN REQUIREMENTS

1. Special Permit requested for retail service establishment.
2. No zoning variances, waivers or modifications of site plan requirements requested.

ATTACHMENTS

Environmental Assessment Form (Parts 1 and 2)
Sketch Site Plan (5-19-88) Rev:0

PART 1—PROJECT INFORMATION

Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

| | | | |
|--|--|---|--------------------------|
| NAME OF ACTION New Windsor Business Park | | | |
| LOCATION OF ACTION (Include Street Address, Municipality and County) Rt. 300, Town of New Windsor, Orange County | | | |
| NAME OF APPLICANT/SPONSOR New Windsor Business Park Association, Inc. | | BUSINESS TELEPHONE (718) 995-4577 | |
| ADDRESS 147-39 175th Street | | | |
| CITY/PO Jamacia, | | STATE N.Y. | ZIP CODE 11434 |
| NAME OF OWNER (if different) | | BUSINESS TELEPHONE () | |
| ADDRESS | | | |
| CITY/PO | | STATE | ZIP CODE |
| DESCRIPTION OF ACTION Subdivision/Site Plan and Construction approvals for an Office Park Complex consisting of 179,300± SF of office space (6 buildings) 15,000 SF of retail space (1 building) | | | |

Please Complete Each Question—Indicate N.A. if not applicable

A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other PI Zone

2. Total acreage of project area: 16.48 acres.

| APPROXIMATE ACREAGE | PRESENTLY | AFTER COMPLETION |
|---|-------------------|--------------------|
| Meadow or Brushland (Non-agricultural) | <u>3.48</u> acres | <u>0</u> acres |
| Forested | <u>8</u> acres | <u>0</u> acres |
| Agricultural (Includes orchards, cropland, pasture, etc.) | _____ acres | _____ acres |
| Wetland (Freshwater or tidal as per Articles 24, 25 of ECL) | _____ acres | _____ acres |
| Water Surface Area | _____ acres | _____ acres |
| Unvegetated (Rock, earth or fill) | <u>5</u> acres | _____ acres |
| Roads, buildings and other paved surfaces | <u>4.5</u> acres | <u>10.90</u> acres |
| Other (Indicate type) <u>Ornamental Horticulture</u> | <u>0</u> acres | <u>5.5</u> acres |

3. What is predominant soil type(s) on project site? MdB, Mardin

- a. Soil drainage: Well drained _____ % of site Moderately well drained 100 % of site
 Poorly drained _____ % of site

- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? _____ acres. (See 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? Yes No

- a. What is depth to bedrock? Estimated 9FT± (in feet)

5. Approximate percentage of proposed project site with slopes: 0-10% 100 % 10-15% _____ %
 15% or greater _____ %
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? Yes No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No
8. What is the depth of the water table? _____ (in feet) Estimated Below 12'
9. Is site located over a primary, principal, or sole source aquifer? Yes No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?
 Yes No According to _____
 Identify each species _____
12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations)
 Yes No Describe _____
13. Is the project site presently used by the community or neighborhood as an open space or recreation area?
 Yes No If yes, explain _____
14. Does the present site include scenic views known to be important to the community?
 Yes No
15. Streams within or contiguous to project area: None
 a. Name of Stream and name of River to which it is tributary _____
16. Lakes, ponds, wetland areas within or contiguous to project area:
 a. Name None b. Size (In acres) _____
17. Is the site served by existing public utilities? Yes No
 a) If Yes, does sufficient capacity exist to allow connection? Yes No
 b) If Yes, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- a. Total contiguous acreage owned or controlled by project sponsor 16.48 acres.
- b. Project acreage to be developed: 16.48 acres initially; _____ acres ultimately.
- c. Project acreage to remain undeveloped 0 acres.
- d. Length of project, in miles: NA (If appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed NA %;
- f. Number of off-street parking spaces existing 0; proposed 1105.
- g. Maximum vehicular trips generated per hour 429 (upon completion of project)
- h. If residential: Number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|------------|------------|-----------------|-------------|
| Initially | _____ | _____ | _____ | _____ |
| Ultimately | _____ | _____ | _____ | _____ |
- i. Dimensions (in feet) of largest proposed structure 50' height; 150 width; 100 length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? 993 ft.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards
3. Will disturbed areas be reclaimed? Yes No N/A
- a. If yes, for what intended purpose is the site being reclaimed? _____
- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 8[±] acres.
5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?
 Yes No 2nd/3rd growth
6. If single phase project: Anticipated period of construction 36 months, (including demolition).
7. If multi-phased:
- a. Total number of phases anticipated _____ (number).
- b. Anticipated date of commencement phase 1 May month 1988 year, (including demolition).
- c. Approximate completion date of final phase May month 1992 year. (Site Plan Approved for 1st Building under Construction.)
- d. Is phase 1 functionally dependent on subsequent phases? Yes No
8. Will blasting occur during construction? Yes No
9. Number of jobs generated: during construction 150; after project is complete 160[±].
10. Number of jobs eliminated by this project 0.
11. Will project require relocation of any projects or facilities? Yes No If yes, explain _____
12. Is surface liquid waste disposal involved? Yes No
- a. If yes, indicate type of waste (sewage, industrial, etc.) and amount _____
- b. Name of water body into which effluent will be discharged _____
13. Is subsurface liquid waste disposal involved? Yes No Type _____
14. Will surface area of an existing water body increase or decrease by proposal? Yes No
 Explain _____
15. Is project or any portion of project located in a 100 year flood plain? Yes No
16. Will the project generate solid waste? Yes No
- a. If yes, what is the amount per month 30 tons
- b. If yes, will an existing solid waste facility be used? Yes No
- c. If yes, give name Orange County Transfer Station; location Stewart International Airport.
- d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No
- e. If Yes, explain _____
17. Will the project involve the disposal of solid waste? Yes No
- a. If yes, what is the anticipated rate of disposal? _____ tons/month.
- b. If yes, what is the anticipated site life? _____ years.
18. Will project use herbicides or pesticides? Yes No
19. Will project routinely produce odors (more than one hour per day)? Yes No
20. Will project produce operating noise exceeding the local ambient noise levels? Yes No
21. Will project result in an increase in energy use? Yes No
 If yes, indicate type(s) Heating, Air Conditioning, ground powered vehicles, lighting
22. If water supply is from wells, indicate pumping capacity NA gallons/minute.
23. Total anticipated water usage per day 15624 gallons/day.
24. Does project involve Local, State or Federal funding? Yes No
 If Yes, explain _____

25. Approvals Required:

| | Type | Submittal Date |
|------------------------------------|---|---|
| City, Town, Village Board | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Water & Sewer District Permits 1 Jun 88 |
| City, Town, Village Planning Board | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Planning Approvals: 1 Jun 88 |
| City, Town Zoning Board | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Subdivision & Site Plan |
| City, County Health Department | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| Other Local Agencies | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Building Permit Upon Plan Approval |
| Other Regional Agencies | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Orange Co. Planning Dept. |
| State Agencies | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| Federal Agencies | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |

C. Zoning and Planning Information

- Does proposed action involve a planning or zoning decision? Yes No
 If Yes, indicate decision required:
 zoning amendment zoning variance special use permit subdivision site plan
 new/revision of master plan resource management plan other _____
- What is the zoning classification(s) of the site? P1
- What is the maximum potential development of the site if developed as permitted by the present zoning?
179,300 SF Office 15,000 SF Retail
- What is the proposed zoning of the site? P1
- What is the maximum potential development of the site if developed as permitted by the proposed zoning?
Same as 3 above
- Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No
- What are the predominant land use(s) and zoning classifications within a 1/4 mile radius of proposed action?
Industrial, Commercial, Office (Same as Proposed)
- Is the proposed action compatible with adjoining/surrounding land uses within a 1/4 mile? Yes No
- If the proposed action is the subdivision of land, how many lots are proposed? 4 Non Residential
 a. What is the minimum lot size proposed? 400,000 + SF
- Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No
- Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? Yes No Fire Protection
 a. If yes, is existing capacity sufficient to handle projected demand? Yes No
- Will the proposed action result in the generation of traffic significantly above present levels? Yes No
 a. If yes, is the existing road network adequate to handle the additional traffic? Yes No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name New Windsor Business Park Assoc, Inc. Date 6-8-88
 Signature [Signature] Title [Title]

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

88-41



RICHARD D. MCGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

Licensed in New York,
New Jersey and Pennsylvania

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN OF New Windsor P/B # -

WORK SESSION DATE: 3 Jan '90 APPLICANT RESUB.
REQUIRED: No.

REAPPEARANCE AT W/S REQUESTED: No.

PROJECT NAME: N.W. Gwipk Sub.

PROJECT STATUS: NEW OLD X

REPRESENTATIVE PRESENT: Tom Miller; Scott K; St. Cantor

TOWN REPS PRESENT: BLDG INSP. X
FIRE INSP.
ENGINEER X
PLANNER
P/B CHMN.
OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

*718-995-4577
DOH water } got appl
DEC sewer }

must finalize town load - w/Oran

next
avail agenda

(2 CHECKS)

| | | |
|--|--------------------|------------|
| PRE-PRELIMINARY | \$ 100.00 | } CHECK #1 |
| PRELIMINARY PLAT | 100.00 | |
| FINAL PLAT @ (\$100.00 + \$5.00 per Lot) | 115.00 | |
| FINAL PLAT SECTION FEE | 150.00 | |
| SUB TOTAL: | \$ 465.00 | |
| ADD ENGINEER FEE: | 1,043.05 | |
| TOTAL CK: | <u>\$ 1,508.05</u> | |

RECREATION FEE:

3 Lots @ \$250.00/Lot \$ 750.00 CHECK #2

~~FOR THE 000.00 PER LOT 1.1 (4 LOTS)~~
(2 CHECKS)

| | | |
|--|--------------------|------------|
| PRE-PRELIMINARY | \$100.00 | } CHECK #3 |
| PRELIMINARY PLAT | 100.00 | |
| FINAL PLAT @ (\$100.00 + \$5.00 per Lot) | 120.00 | |
| FINAL PLAT SECTION FEE | 150.00 | |
| SUBTOTAL: | \$ 470.00 | |
| ADD ENGINEER FEE: | 1,043.05 | |
| TOTAL CHECK | <u>\$ 1,513.05</u> | |

RECREATION FEE:

4 Lots @ \$250.00 PER LOT \$ 1,000.00 CHECK #4

KA KARTIGANER
ASSOCIATES, P.C.
CONSULTING ENGINEERS

555 BLOOMING GROVE TURNPIKE • NEWBURGH, NY 12550-7896 • (914) 562 - 4391

11 December 1989

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

ATTENTION: CHAIRMAN

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NWPB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

Dear Planning Board:

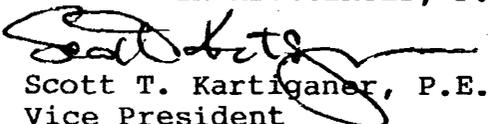
Please find attached fourteen (14) sets of subdivision plans for the New Windsor Business Park. Approvals of the sewer district extension by the NYS Department of Environmental Conservation per the letter of 24 November is attached. Also attached is a letter from McGoey, Hauser & Edsall Engineers where they take "no exception" to the drainage plan for the subdivision. Approvals from the Health Department are expected prior to the next Planning Board meeting. Plan or specification changes are not expected.

Our client is requesting that the subdivision be reviewed as final and that we be placed on the next Planning Board agenda. It is also requested that foundation and site work for lot 15.1.2 and infrastructure improvements for the subdivision be allowed to proceed, at the owner's risk, so that the building may be ready for spring occupancy. This would include all improvements with the exception of water utilities that would be installed as required under Health Department permit.

Also find attached a copy of the letter sent Return Receipt Requested to the Orange County Planning Department sent on 11 August 1989 per the request of Mr. Edsall on 9 August 1989 pertaining to their review requirements. If there are any questions, please do not hesitate to contact me at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.


Scott T. Kartiganer, P.E.
Vice President

STK:lmm
Encl. a/s

→ *NEW WINDSOR BUSINESS PARK SUBDIVISION: 88-41*
BY MR. VAN LEEUWEN: What is going to happen with this road?

BY MR. EDSALL: Maybe on that point I can, if the chairman, if it is his pleasure, I will clarify what recent activities and discussions with Supervisor Green were. The Town still has an interest in having this roadway offered for dedication for some future acceptance. In addition, for the period between approval and the point when a dedication may be accepted, the Town has interest in having the rights to utilize the road and is an access to the municipal complex, be it by restricted use for official uses or whatever conditions the Town feels appropriate. Mr. Miller has forwarded a letter which is in the Planning Board records, a copy indicating such agreement and that concept I have suggested be the subject of an actual agreement between the developer and the Town. George Green feels that is a very acceptable way to handle the issue since it isn't clear whether dedication will be accepted and George assured me that once the Board approves the project and be it conditionally on that agreement being executed, we can work the conditions out and John has indicated that he is going to sit down with us and get all the legal papers in order so that the agreement can meet Tad Seaman's requirements. So that if road dedication, the agreement between the developer and the Town are in concept all resolved, they are documented by letters. The supervisor has endorsed them.

JANUARY 10, 1990

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There really should not be a problem at this point with the Planning Board.

BY MR. VAN LEEUWEN: Are we going to put the sewer and water lines in?

BY MR. MILLER: Yes.

BY MR. VAN LEEUWEN: Up to town specs too?

BY MR. MILLER: Yes.

BY MR. EDSALL: He has also at my request to the town indicating that he'd install them in accordance with the state and county approvals, in accordance with the Town's requirements under the review of the Town and then offer those lines independently for dedication which is a 50 foot easement for purposes of access for maintenance up until the time we get the road, so that issue has been resolved and I received that letter today and that was also endorsed by the supervisor, so we have tried to anticipate some of the concerns you might have and straighten them out.

BY MR. VAN LEEUWEN: On this piece you are looking to subdivide these three lots, is that the idea, or is this all one piece?

BY MR. MILLER: It is actually two separate. They are both separate, but we are going for the whole subdivision at this time.

BY MR. VAN LEEUWEN: Two separate pieces got to be two separate applications, two separate deeds, correct me if I am wrong.

BY MR. KARTIGANER: It was so long ago.

BY MR. VAN LEEUWEN: I don't mind working with you. You are working with us.

BY MR. MC CARVILLE: You don't need two separate --

BY MR. VAN LEEUWEN: This is a separate tax lot and this is a separate tax lot. You have a problem once you send this out to Goshen. They are not going to know what we are talking about. You can't do that. Am I right, Andy?

BY MR. KREIGER: He has got two separate tax lots on the

same map?

BY MR. VAN LEEUWEN: Yes.

BY MR. EDSALL: He has actually got before you which was about a year and a half was clarified, he has actually got two subdivisions, two minor subdivisions before you. He has already performed a minor subdivision creating lots 15 and 16 and the center portion. Now he is creating from lot 15.1 as it is called, this 15.11, 15.12 and 15.13. So that is a three lot minor subdivision of a previously subdivided lot.

BY MR. VAN LEEUWEN: The reason why I bring this up, this constitutes a major subdivision.

BY MR. EDSALL: That clarification came up. We asked the county under the state realty law if this would be considered a major subdivision because it is a commercial subdivision and not a subdivision for residential purposes. They did not care to review it and they acknowledged that in fact it was two separate subdivisions, one being four lots and one being three lots. We went through that.

BY MR. VAN LEEUWEN: You are missing my point. I have no problem with it but it should be done on two separate maps.

BY MR. EDSALL: We asked that question earlier on.

BY MR. VAN LEEUWEN: We approved that map tonight or any other time or next meeting, you send that map to Goshen and they are not going to know what we are doing.

BY MR. KARTIGANER: We have two separate maps. This is just this one that you see up here is just showing the master plan.

BY MR. VAN LEEUWEN: Oh, okay.

BY MR. KARTIGANER: This one shows parcel 15 subdivision plan.

BY MR. VAN LEEUWEN: I have no problem with the subdivision, the biggest problem I have had right along is this road.

BY MR. SCHIEFER: That's been, according to Mark, that is resolved.

BY MR. VAN LEEUWEN: I have no problem. I make a motion to

approve it.

BY MR. PAGANO: I'd like to address the road while we are on the subject of it. This road is going to be --

BY MR. VAN LEEUWEN: I will withdraw my motion.

BY MR. PAGANO: This is going to be a high speed road, not a high speed road. We are going to have a lot of people exiting here and we have -- it comes into a 90 degree. First of all, I'd like to recommend that if we can widen the road here, utilize the space right up to the property line if possible, so that we can get this right turn in here and open it up if we can put an island in there, because this would allow easier exit and entrance.

BY MR. VAN LEEUWEN: John, it is up to the state. We can't tell the state what to do.

BY MR. PAGANO: We can open it up more.

BY MR. EDSALL: They have a maximum of 30 feet.

BY MR. PAGANO: If we ask them if we wanted to open it up a little more.

BY MR. EDSALL: They'd deny the permit. They'd deny the Town of New Windsor if we wanted to go over 30.

BY MR. PAGANO: I am trying to get this opened up more so that more of a deceleration zone. Is this 30 feet now the roadway itself? I don't see a dimension.

BY MR. VAN LEEUWEN: Curbs are 30 feet. Do you have an approval from the state?

BY MR. KARTIGANER: We have state approvals.

BY MR. SCHIEFER: It is the maximum state allows now.

BY MR. SOUKUP: John, that curb is in place. The entrance curb is in place.

BY MR. KARTIGANER: The state is the one that put the curb in.

BY MR. SCHIEFER: If it is in place and that is the maximum, there is nothing you can do.

BY MR. EDSALL: The town has in the past, for another subdivision, requested approval for actually, the town law calls for 34 foot wide roads, curbed roads, and one of the reasons why the state or the town's typical details were reduced to 30 feet was that the town couldn't get the permits and we were denied approvals by the state. State wouldn't give us anything over 30.

BY MR. VAN LEEUWEN: I just went through that for my parcel, okay, because I have trucks coming in and out. They said 30 feet that is it.

BY MR. SCHIEFER: Any other discussion on this, gentlemen? If we can't get that, that part is resolved.

BY MR. VAN LEEUWEN: State controls it. I make a motion we take lead agency.

BY MR. EDSALL: You have already taken lead agency for both minor subdivisions in January '89.

BY MR. VAN LEEUWEN: I make a motion we declare negative declaration.

BY MR. EDSALL: Got it already in August.

BY MR. VAN LEEUWEN: I make a motion we approve the subdivision for map number 15.1, 15.2 and 15.3.

BY MR. EDSALL: I would request that your approval be conditional on the comments that I have made for the subdivision, one namely being the fact that because I received the agency approval copy only yesterday, I have not had the opportunity to check to make sure that what you see before you is what the town required and the town, state and county approved, it is a formality to check it, but I think that should be done and there is some other --

BY MR. VAN LEEUWEN: Subject to Mr. Edsall's review.

BY MR. SOUKUP: One other question, Mark, on the review I didn't see the subject to a bond posted.

BY MR. EDSALL: There is a comment in here regarding the bond. I was somewhat flexible in the way I worded it by stating that the improvement bond as deemed necessary by the town board. We have got a unique situation on this road

that in fact the town may or may not depending upon the wording of the agreement indicate that it is going to be a town road.

BY MR. SOUKUP: If you are going to accept the dedication, don't you want a bond?

BY MR. EDSALL: Because that is a unique situation as far as the term that is the Town wants the easement prior to accepting the dedication and the manner in which it is going to be negotiated for the agreement, Supervisor Petro negotiated with John Miller on this at Supervisor Green's request. I have left that flexible and said the bond as required by the Town Board.

BY MR. VAN LEEUWEN: The original agreement was that the Town would put in the water and sewer lines and John would do the roads. Now John has gone ahead and done the whole road when he is finished he is going to dedicate to the Town, so I don't see where there is a bond needed and they are going to have to give us an easement to use the road when we construct Town Hall.

BY MR. SOUKUP: Leave it up to the Town Board to waive the bond if they feel it is not appropriate and the other question is this is the cul-de-sac at the end. Is that temporary or permanent?

BY MR. VAN LEEUWEN: I am sure the Town is going to take it. It needs the ingress and egress.

BY MR. SOUKUP: The subdivision map for lot 16 doesn't reflect an easement, either temporary or permanent for that cul-de-sac which may in fact be needed for some period of time. I don't know, it should reflect on the subdivision map though as a temporary easement to be dedicated if and when or if you intend to leave it in, it should be on the 16.3 lot in some permanent form. None of the maps reflect that.

BY MR. MILLER: I think --

BY MR. VAN LEEUWEN: The best way is give the Town an easement.

BY MR. MILLER: Yes.

BY MR. VAN LEEUWEN: And once the Town comes in and taps,

then you can take the lane back.

BY MR. MILLER: Right.

BY MR. SOUKUP: There has to be some easement or right of way dedication with or without the cul-de-sac. You may choose to keep it for his own turning around ability within the industrial park in which case 16.3 should be modified on the map to allow for that.

BY MR. VAN LEEUWEN: If we go to this map here, the cul-de-sac is different than what it is up there.

BY MR. KARTIGANER: No, that is not a cul-de-sac.

BY MR. VAN LEEUWEN: Okay, I am sorry. Well, then that is part of -- we come up with the next subdivision, then that is part of this subdivision. We are talking about this one here. We are talking about the lefthand side, the three lots right now that becomes the next subdivision, not for this one.

BY MR. LANDER: Still has to have a cul-de-sac at the end.

BY MR. VAN LEEUWEN: That comes out of 16.3.

BY MR. SCHIEFER: If there is no easement required for this cul-de-sac for these three.

BY MR. EDSALL: I agree with Vince. I didn't pick that up as part of my list of conditions for all these easements and dedications and so on, but I'd think that it would be appropriate to make it a condition. When you do, if you do approve the lot 16 subdivision, call for a temporary easement for the cul-de-sac but also require that that be terminated once the town accepts it as a through road because I don't think you are going to want to have a cul-de-sac at the point locating where vehicles are coming over the Town property.

BY MR. SCHIEFER: Right now we are dealing with these three.

BY MR. EDSALL: Next subdivision you may want to.

BY MR. VAN LEEUWEN: I move the question.

BY MR. SCHIEFER: We are approving 15.11, 15.12 and 15.13 subject to Mark's comments of January 10th.

BY MR. VAN LEEUWEN: Drawing number S2, sheet 3 approving three lot subdivision of 15.11, 15.12 and 15.13.

BY MR. MC CARVILLE: Put a note that shaded area is not part of the approval.

BY MR. PAGANO: I will second it.

ROLL CALL:

McCarville: Aye.
VanLeeuwen: Aye.
Pagano: Aye.
Soukup: Aye.
Lander: Aye.
Schiefer: Aye.

BY MR. SCHIEFER: Now we get to the cul-de-sac.

BY MR. PAGANO: We also address the roadway with some sort of access for emergency vehicles to come in here if you can give us something that, you know, this roadway is here, it is existing. HealthShield and they want to put another building up here but this road here, some sort of access for emergency vehicles because if this road gets blocked up, there is no other access into your area.

BY MR. KARTIGANER: I think we'd have to take care of that on an individual site planning basis.

BY MR. PAGANO: Something to kick around while we are doing it now because --

BY MR. SOUKUP: HealthShield is going to improve that road and extend it back to another lot behind the adult home, so that we said to them we wanted provisions for access to one of your lots and we say to you we want you to provide an access for emergency vehicles into their driveway also would be to your benefit.

BY MR. MILLER: Is that a private road?

BY MR. VAN LEEUWEN: This is a private road.

BY MR. SOUKUP: It will be more than one user. It will be three users.

BY MR. MILLER: They have no problem giving me the permission okay, it is easier for me. All my parking lots, by the way, to interconnect, so it is not like you are stuck on that one road.

BY MR. SOUKUP: It is not something new that you haven't heard before.

BY MR. MILLER: As far as the cul-de-sac, Mark will pick it up in the agreement.

BY MR. SOUKUP: And a temporary easement to be vacated.

BY MR. MILLER: Cul-de-sac was purely put on this because the Board requested it. I didn't have it drawn that way originally so --

BY MR. PAGANO: We are still not sure whether the Town was going to go ahead.

BY MR. MILLER: Certainly for a moment there they weren't.

BY MR. SCHIEFER: They are going ahead with it so you can put a temporary easement for the cul-de-sac on lot 16.3.

BY MR. MILLER: Right.

BY MR. KARTIGANER: And not on the map.

BY MR. SOUKUP: Subject to Mark's letter with respect to prior agreements with the Town for the road for the utilities for the access and the Town Board's action on the bond.

BY MR. SCHIEFER: We have all the subject to's and no motion.

BY MR. SOUKUP: I will move approval of the four lot subdivision on parcel 16 subject to the prior listed conditions of the engineer's report.

BY MR. PAGANO: I will second that.

BY MR. SCHIEFER: That includes the temporary cul-de-sac.

BY MR. SOUKUP: Right.

BY MR. SCHIEFER: As long as that is taken care of, I don't

JANUARY 10, 1990

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care.

ROLL CALL:

| | |
|-------------|------|
| McCarville: | Aye. |
| VanLeeuwen: | Aye. |
| Pagano: | Aye. |
| Soukup: | Aye. |
| Lander: | Aye. |
| Schiefer: | Aye. |

NEW YORK STATE DEPARTMENT OF HEALTH

APPROVAL OF PLANS
FOR PUBLIC WATER SUPPLY IMPROVEMENT

This approval is issued under the provisions of 10 NYCRR, Part 5:

| | | | |
|---|---|--------------------------|--|
| 1. Applicant: T. New Windsor | 2. Location of Works (C, V, T): T. New Windsor | 3. County: Orange | 4. Water District (Specific Area Served) W.D. #6 |
| 5. Type of Project: <input type="checkbox"/> 1 Source <input type="checkbox"/> 3 Pumping Units <input type="checkbox"/> 5 Fluoridation <input type="checkbox"/> 2 Transmission <input type="checkbox"/> 4 Chlorination <input type="checkbox"/> 6 Other Treatment REMARKS: To serve New Windsor Business Park | | | <input checked="" type="checkbox"/> 7 Distribution <input type="checkbox"/> 8 Storage <input type="checkbox"/> 9 Other |

By initiating improvement of the approved supply, the applicant accepts and agrees to abide by and conform with the following:

- a. THAT the proposed works be constructed in complete conformity with the plans and specifications approved this day or approved amendments thereto.

ISSUED FOR THE STATE COMMISSIONER OF HEALTH

December 28, 1989

Date

M. J. Schleifer

Designated Representative

P.E.

M.J. Schleifer, P.E., Assistant Commissioner
O.C. Dept. of Env. Health
124 Main St., Goshen, NY 10924

Name and Title (print)

Distribution: White — Applicant
Pink — Central Office (SP/RS)

Yellow — File (LMO or SMO)
Blue — Other



OFFICE OF THE UNDERSIGNED

147-39 175 STREET, JAMAICA, NY 11434
(718) 995-4577 FAX (718) 244-1141

NEW WINDSOR BUSINESS PARK

January 8, 1990

Town Board
Town of New Windsor
555 Union Avenue
New Windsor, New York 12553

Reference: New Windsor Business Park
Route 300 Temple Hill Road
Subdivision Approval/Site Plan
Planning Board ~~(89-4)~~ (89-10)

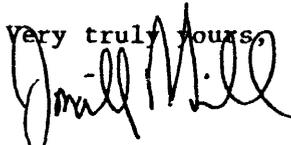
Gentlemen:

In association with the proposed subdivision approval for the above referred to project we will be constructing a watermain and sanitary sewer extension within the new right of way. The construction plans as prepared by Kartiganer Associates, P.C. have been reviewed and have received County and Municipal approvals.

Upon completion of the systems we respectfully request that the Town take over control of the water and sewer lines and will offer formal dedication at that time as may be required.

Noted in our letter of January 4, 1989 to Town Supervisor Green (copy attached) if the Town does not request dedication of the right of way, but only the water and sanitary systems, we shall provide a fifty (50) foot easement along the entire length of the right of way in order for the Town to maintain and service the systems, as long as New Windsor Business is not denied continuous and un-disrupted access to their buildings.

Very truly yours,


New Windsor Business Park Associates
Jonathan Miller
President
JM/ts

cc: Supervisor Green
Planning Board
Marc Edsel, P.E.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR, ~~Sanitary Insp.~~
D.O.T., O.C.H., O.C.P., D.P.W., WATER, SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

Kartiganer Assoc. P.C. for the building or subdivision of
New Windsor Business Park _____ has been

reviewed by me and is approved

disapproved _____.

If disapproved, please list reason _____

Provide for final Air Test on Main Sewer line with Engineer for the Town.

Provide for Sanitary Permits for each Building lot.

Provide a Tie-in sheet locating spurs off main sewer line.

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

James D. Masten Jr
SANITARY SUPERINTENDENT

January 18, 1990
DATE

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,
D.O.T., O.C.H., O.C.P., D.P.W., ~~WATER~~, SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

Kartigan Assoc. for the building or subdivision of
New Windsor Business Park has been

reviewed by me and is approved

~~disapproved~~ _____.

~~If disapproved, please list reason~~

water is available to feed this property -
New Windsor Business Park is currently being fed
by town water.

HIGHWAY SUPERINTENDENT

Steve D'adio
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,
D.O.T., O.C.H., O.C.P., D.P.W., WATER, SEWER, ~~HIGHWAY~~, REVIEW
FORM:

The maps and plans for the Site Approval N.W. Business Pl.
Subdivision _____ as submitted by
Kartigan for the building or subdivision of
_____ has been
reviewed by me and is approved _____,
disapproved _____.

If disapproved, please list reason _____

Fred Fays, Jr.
HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

1/12/80
DATE

CC: M.E.

CC: Planning Board Chairman
Building Insp



Department of Health

LOUIS HEIMBACH
County Executive

SALLY FAITH DORFMAN, M.D., M.S.H.S.A.
Commissioner of Health

December 28, 1989

T. New Windsor
555 Union Ave.
New Windsor, NY 12550

Re:
Approval of plans &
specifications for:
W.M. Ext. to serve
~~New Windsor Business Park~~
Route 300 - T. New Windsor

Gentlemen:

We have this day approved the plans and specifications submitted by Kartiganer Assoc., P.C., for the above mentioned project.

Application for this project was duly made by you and received in this office on August 9, 1989.

We are enclosing a Certificate of Approval. A copy of the approved plans and specifications is being retained in our files and the remaining sets are being returned to your engineer.

Very truly yours,

M. J. Schleifer

M.J. Schleifer, P.E.
Assistant Commissioner

MJS/aje

cc: Engineer
O.C. Planning Dept.
File

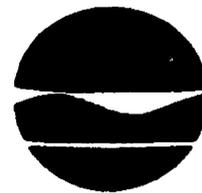
enc.

RECEIVED
JAN 2 1990

JAN 2 1990

CC: M.E.
JAN - 5 1990

New York State Department of Environmental Conservation
202 Mamaroneck Avenue, White Plains, New York 10601
(914) 761-6660



Thomas C. Jorling
Commissioner

November 24, 1989

Mr. Scott T. Kartiganer, P.E.
Vice President
Kartiganer Associates, P.C.
555 Blooming Grove Turnpike
Newburgh, New York 12550

RE: Approval of Plans and Specifications for Addition to
Sewer District No. 17 to Serve
New Windsor Business Park
Town of New Windsor

Dear Mr. Kartiganer:

This is to advise you that the plans and specifications for the above referenced project are being approved by this Department. This project consists of approximately 722 feet of eight inch gravity sewer with four manholes as shown in the plans prepared by Kartiganer Associates, P.C. consisting of four pages, last revision November 10, 1989.

By initiating the construction of the said project covered by the approval of the plans and specifications, the applicant accepts and agrees to abide by and conform with the following:

- (1) This approval is issued pursuant to SPDES Permit No. NY-0022446.
- (2) That this approval letter shall be maintained on file by the applicant.
- (3) That the approval is revocable or subject to modification or change pursuant to Article 17 of the Environmental Conservation Law.
- (4) That any and all construction undertaken by the terms of the approval of plans shall be completely and wholly at the risk of the applicant.
- (5) That the facilities shall be fully constructed and completed in compliance with plans as approved on November 24, 1989.
- (6) That this office is to be notified when construction commences.

- (7) That the engineer will forward the results of the leakage tests of the completed work to this Department.
- (8) That the professional engineer supervising such construction shall certify to this Department in writing and to the applicant that the constructed facilities have been under his supervision and that the works have been fully completed in accordance with the engineering report and the plans.
- (9) That the leakage outward or the infiltration inward of the constructed sewer line shall not exceed 200 gallons per inch of pipe diameter per mile per day for any section of the sewer system between manholes and including manholes.
- (10) The approved project must be completed within five (5) years of the approval date at which time the approval will expire.

Enclosed please find one copy of the approved plans and the engineering report. Also, one copy of the approved plans is being sent to the County Health Department.

Very truly yours,



Cesare J. Manfredi, P.E.
Principal Sanitary Engineer

CJM:AC:sec

Enclosure

CC: Orange County Health Department w/plans
George Green, Supervisor, Town of New Windsor
Town of New Windsor, Planning Board ✓

CC: M.E ✓



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12550
(914) 562-8640
- Branch Office**
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765
(914) 856-5600

20 November 1989

Kartiganer Associates, P.C.
555 Blooming Grove Turnpike
Newburgh, NY 12550

ATTENTION: SCOTT KARTIGANER

**SUBJECT: NEW WINDSOR BUSINESS PARK SUBDIVISION (88-41)
TOWN OF NEW WINDSOR PLANNING BOARD**

Dear Mr. Kartiganer:

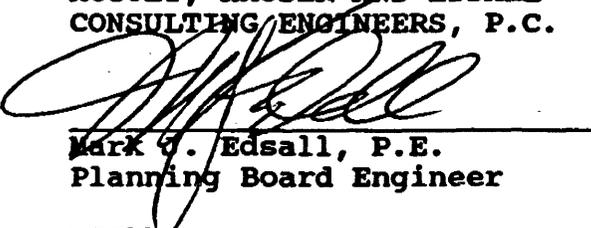
Our office has received your submittal dated 13 November 1989 with regard to the drainage system for the subject subdivision. Our office has reviewed this drainage plan and takes no exception to the arrangement shown thereon. Please be advised of the following general comments:

1. Although you indicate that the layout is "tentative" and the "actual development of the drainage system on the sites would be subject to final building locations on each of the parcels", please be aware that the necessary capacity of the system is a requirement of the subdivision and each individual site plan. Should the individual development plans of any particular lot require relocation of storm water piping and/or structures, such relocation must be effected in such a manner that will maintain in the overall system's capacity.
2. You are again reminded that the details of the drainage easements and discharge rights will require coordination, should the proposed road be dedicated as a Town road.

Please take the necessary actions to ensure that all site plans submitted to the Planning Board include the necessary drainage facilities as identified in your stormwater report and the subdivision drainage plan. Should you have any questions concerning the above, please do not hesitate to contact the undersigned.

Very truly yours,

MCGOEY, HAUSER AND EDSALL
CONSULTING ENGINEERS, P.C.



Mark G. Edsall, P.E.
Planning Board Engineer

MJEkb

cc: Files (88-41, 89-10 & 89-11)
Town Planning Board

buspark.kb



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

Licensed in New York,
New Jersey and Pennsylvania

25 September 1989

**Kartiganer Associates, PC
Consulting Engineers
555 Blooming Grove Tnpk.
New Windsor, New York 12550**

ATTENTION: KATHY DEWKETT

**SUBJECT: NEW WINDSOR BUSINESS PARK SUBDIVISION (T88-41)
COMMENTS REGARDING DRAINAGE STUDY**

Dear Kathy:

Our office has made a review of the Drainage Study dated July 1989, with regard to the subject project. Please note the following comments:

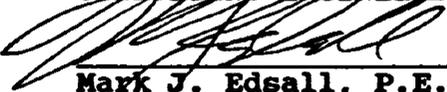
- 1. The report text refers to an existing 2' square box culvert. The plan attachment to the report indicates that the culvert has a 3' square box culvert. The actual size, slope and capacity should be re-checked.**
- 2. It is again noted, as was noted in previous discussions, that drainage from the roadway is directed through private pipes on private parcels. This layout will require that, should the road be proposed as a Town road in the future, the Town be granted rights to discharge through this system. Also, it should be noted that it is not the Town's intent to take ownership of these lines through the private parcels, nor perform the maintenance on same.**
- 3. The report fails to provide mapping of the tributary areas which discharge through the site; also it is unclear if tributary flows are included in the drainage calculations. The drainage system should have capacity for both on-site flows, as well as flows discharged through the site.**

4. The report should more clearly define the "post" and "pre" development flows and provide calculations in support of same. The "post" development flows should not exceed the capacity of the existing culverts. At this time, it should be understood that, at minimum, the culvert should be capable of handling a fifty (50) year storm incident.
5. The report table on page 1 indicates Lot 15.1.3 twice. Please explain.

Please review the above comments with respect to the submitted report. Should you have any questions concerning these comments, please do not hesitate to contact the undersigned or Patrick J. Hines of our office. As soon as the comments above have been evaluated, we anticipate that you will be submitting a revised report for our review. Thank you for your cooperation in this matter.

Very truly yours,

McGOEY, HAUSER AND EDSALL
CONSULTING ENGINEERS, P.C.



Mark J. Edsall, P.E.
Principal

MJEsjg

cc: Town Planning Board

kart



Louis Holmbeck
County Executive

**Department of Planning
& Development**

124 Main Street
Goshen, New York 10924
(914) 294-5151

Peter Garrison, Commissioner
Richard S. DeTurk, Deputy Commissioner

**ORANGE COUNTY DEPARTMENT OF PLANNING & DEVELOPMENT
239 L, M or N Report**

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and Countywide considerations to the attention of the municipal agency having jurisdiction.

Referred by Town of New Windsor Planning Board D P & D Reference No. NWT 28-89N
County I.D. No. 4 / 2 / 15.1, 15.3
16

Applicant New Windsor Business Park
Proposed Action: 7 lot Non-Residential Subdivision RT. 300/ Temple Hill Road
State, County, Inter-Municipal Basis for 239 Review within 500 feet of NYS Rt. 300

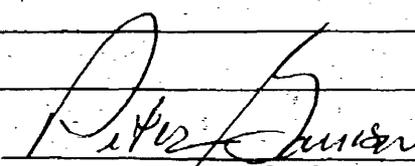
Comments: There are no major countywide planning issues to bring to your attention.
Any future plans to modify the proposed cul-de-sac?

Related Reviews and Permits NYS Dept. of Transportation- curbcuts.

County Action: Local Determination _____ Disapproved _____ Approved XXXXXXX

Approved subject to the following modifications and/or conditions: _____

9/14/89
Date


Commissioner

KA KARTIGANER
ASSOCIATES, P.C.
CONSULTING ENGINEERS

555 BLOOMING GROVE TURNPIKE • NEWBURGH, NY 12550-7896 • (914) 562 - 4391

CERTIFIED R.R.R.

11 August 1989

Orange County Planning Department
124 Main Street
Goshen, New York 10924

ATTENTION: CHERYL MERGO

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NWPB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

PLANNING DEPARTMENT REVIEW OF SUBDIVISION

Dear Ms. Mergo:

Please find enclosed one copy of the SUBJECT subdivision plans for review by your Department. This package is being sent to you for your review per Section 239, l & m of the General Municipal Law.

Should you have any questions regarding this submission, please do not hesitate to contact me at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD/lmm
Encl. a/s

cc: w/o encl: Town of New Windsor Planning Board ✓

SENDER: Complete Items 1 and 2 when additional services are desired, and complete Items 3 and 4.
 Put your address in the "RETURN TO" Space on the reverse side. Failure to do this will prevent this card from being returned to you. The return receipt fee will provide you the name of the person delivered to and the date of delivery. For additional fees the following services are available. Consult postmaster for fees and check box(es) for additional service(s) requested.

1. Show to whom delivered, date, and addressee's address. 2. Restricted Delivery
 †(Extra charge)† †(Extra charge)†

| | |
|---|---|
| 3. Article Addressed to: <i>Orange Co Dept Planning</i> <i>124 Main St.</i> <i>Boalen, NY 10924</i> <i>Attn: Cheryl Mergs</i> | 4. Article Number <i>P 741 247 118</i> |
| 5. Signature - Addressee X | Type of Service: <input type="checkbox"/> Registered <input type="checkbox"/> Insured <input checked="" type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Express Mail |
| 6. Signature - Agent X <i>Adoris Moore</i> | Always obtain signature of addressee or agent and DATE DELIVERED. |
| 7. Date of Delivery AUG 14 1989 | 8. Addressee's Address (ONLY if requested and fee paid) |

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-36 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 88- 41

| TASK-NO | REC | --DATE-- | TRAN | EMPL | ACT DESCRIPTION----- | RATE | HRS. | TIME | -----DOLLARS----- | | | |
|---------|-------|----------|------|------|-----------------------|-------|------|--------|-------------------|--------|---------|--------|
| | | | | | | | | | EXP. | BILLED | BALANCE | |
| 88-41 | 19113 | 09/07/88 | TIME | NJE | MC NW BUS PK | 40.00 | 0.20 | 8.00 | | | | |
| 88-41 | 20702 | 09/28/88 | TIME | NJE | MC NW BUS PK | 40.00 | 0.50 | 20.00 | | | | |
| 88-41 | 22970 | 11/07/88 | TIME | NJE | MC N W BUS PK | 40.00 | 0.50 | 20.00 | | | | |
| 88-41 | 22986 | 11/07/88 | TIME | NJE | CL N W BUS PK | 17.00 | 0.50 | 8.50 | | | | |
| 88-41 | 25300 | 12/12/88 | TIME | NJE | MC NW BUS PK SUB | 40.00 | 0.40 | 16.00 | | | | |
| 88-41 | 26865 | 12/13/88 | TIME | NJE | CL NW BUS PK/REV COMM | 19.00 | 0.50 | 9.50 | | | | |
| 88-41 | 25570 | 12/15/88 | TIME | NJE | MC NW BUS PK | 40.00 | 0.30 | 12.00 | | | | |
| | | | | | | | | 94.00 | | | | |
| 88-41 | 26156 | 12/19/88 | | | BILL - PARTIAL | | | | | | -72.50 | |
| | | | | | | | | | | | -72.50 | |
| 88-41 | 28648 | 01/23/89 | TIME | NJE | MC NW BUS PARK | 60.00 | 0.50 | 30.00 | | | | |
| 88-41 | 28663 | 01/24/89 | TIME | NJE | MC NW BUS PARK | 60.00 | 0.70 | 42.00 | | | | |
| 88-41 | 28530 | 01/25/89 | TIME | NJE | CL NEW WIND BUS PARK | 19.00 | 1.00 | 19.00 | | | | |
| 88-41 | 28668 | 01/25/89 | TIME | NJE | MC NW BUS PARK | 60.00 | 0.50 | 30.00 | | | | |
| | | | | | TASK TOTAL | | | 215.00 | 0.00 | | -72.50 | 142.50 |
| | | | | | GRAND TOTAL | | | 215.00 | 0.00 | | -72.50 | 142.50 |

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

ASK: 88- 41

| TASK-NO | REC | --DATE-- | TRAN | EMPL | ACT | DESCRIPTION----- | RATE | HRS. | TIME | -----DOLLARS----- | | |
|---------|-------|----------|------|------|-----|---------------------|-------|------|--------|-------------------|---------|---------|
| | | | | | | | | | | EXP. | BILLED | BALANCE |
| 88-41 | 17581 | 09/07/88 | TIME | MJE | MC | NW BUS PK | 40.00 | 0.20 | 8.00 | | | |
| 88-41 | 19088 | 09/28/88 | TIME | MJE | MC | NW BUS PK | 40.00 | 0.50 | 20.00 | | | |
| 88-41 | 21261 | 11/07/88 | TIME | MJE | MC | N W BUS PK | 40.00 | 0.50 | 20.00 | | | |
| 88-41 | 21277 | 11/07/88 | TIME | MJE | CL | N W BUS PK | 17.00 | 0.50 | 8.50 | | | |
| 88-41 | 23471 | 12/12/88 | TIME | MJE | MC | NW BUS PK SUB | 40.00 | 0.40 | 16.00 | | | |
| 88-41 | 24983 | 12/13/88 | TIME | MJE | CL | NW BUS PK/REV COMM | 19.00 | 0.50 | 9.50 | | | |
| 88-41 | 23734 | 12/15/88 | TIME | MJE | MC | NW BUS PK | 40.00 | 0.30 | 12.00 | | | |
| | | | | | | | | | 94.00 | | | |
| 88-41 | 24316 | 12/19/88 | | | | BILL PARTIAL | | | | | | -72.50 |
| | | | | | | | | | | | | -72.50 |
| 88-41 | 26730 | 01/23/89 | TIME | MJE | MC | NW BUS PARK | 60.00 | 0.50 | 30.00 | | | |
| 88-41 | 26745 | 01/24/89 | TIME | MJE | MC | NW BUS PARK | 60.00 | 0.70 | 42.00 | | | |
| 88-41 | 26614 | 01/25/89 | TIME | MJE | CL | NEW WIND BUS PARK | 19.00 | 1.00 | 19.00 | | | |
| 88-41 | 26750 | 01/25/89 | TIME | MJE | MC | NW BUS PARK | 60.00 | 0.50 | 30.00 | | | |
| | | | | | | | | | 215.00 | | | |
| 88-41 | 29022 | 02/28/89 | | | | BILL inv 69 172 | | | | | | -142.50 |
| | | | | | | | | | | | | -215.00 |
| 88-41 | 29698 | 03/06/89 | TIME | MJE | MC | NW BUS PARK | 60.00 | 0.20 | 12.00 | | | |
| 88-41 | 30834 | 03/14/89 | TIME | EJ | CL | ISO PUBLICATION | 19.00 | 0.30 | 5.70 | | | |
| 88-41 | 30610 | 03/21/89 | TIME | MJE | MC | NW BUS PK SUB | 60.00 | 0.50 | 30.00 | | | |
| 88-41 | 30612 | 03/21/89 | TIME | MJE | MC | SITE PLAN NW BUS PK | 60.00 | 0.60 | 36.00 | | | |
| 88-41 | 30618 | 03/22/89 | TIME | MJE | MC | NW BUS PK SUB | 60.00 | 0.20 | 12.00 | | | |
| 88-41 | 30902 | 03/22/89 | TIME | EJ | CL | NW BUS PK | 19.00 | 0.50 | 9.50 | | | |
| 88-41 | 30620 | 03/22/89 | TIME | MJE | MC | SITE PLAN NW BUS PK | 60.00 | 0.20 | 12.00 | | | |
| 88-41 | 32955 | 04/17/89 | TIME | MJE | MC | BUS PARK SUB | 60.00 | 0.20 | 12.00 | | | |
| | | | | | | | | | 344.20 | | | |
| | | | | | | TASK TOTAL | | | 344.20 | 0.00 | -215.00 | 129.20 |
| | | | | | | | | | 344.20 | 0.00 | -215.00 | 129.20 |
| | | | | | | GRAND TOTAL | | | 344.20 | 0.00 | -215.00 | 129.20 |

NEW WINDSOR BUSINESS PARK - Subdivision - Rt. 300 (88-41)

Kathleen Dewkett came before the Board representing this proposal.

Ms. Dewkett: I'm here representing Kartiganer Associates for New Windsor Business Park. We are here tonight to request preliminary approval for the subdivision. Now, last time, we were before the Board, there were a few items that were brought up and I'd like to go through those items. The cover letter to the latest revision of the plan goes through them so I am just going to kind of read through it. One of the major areas of discussion was does this constitute a major subdivision or a minor subdivision. I discussed this matter with Mr. Ronen and we decided it actually constitutes two minor subdivisions. The plan you see there is a subdivision master plan. It shows both minor subdivisions. The second and third sheets are plans of each minor subdivision. And, those would be the plans that would be submitted for approval. This first sheet here is a good indicator of the overall plan that we'd like to come up with. Unless there is a question, I don't think I have to go into the reasoning behind our decision that it was two minor subdivisions. We also have--

Mr. VanLeeuwen: There is two parcels of land.

Ms. Dewkett: Correct. Actually, there is three existing parcels of land. There is a parcel 15.3 which is a 25 foot wide parcel that is offered for dedication.

Mr. Schiefer: Where is that?

Mr. Dewkett: I will show you. This right here is already a parcel and it is parcel lot 15,3 that was, when the subdivision was done before, I was here. It was subdivided into three parcels. This one here which was retained by New Windsor Business Park. This one here which is also retained by New Windsor Business Park and this parcel which was sold to Automotive Brake.

Mr. McCarville: This is going to be a town road, correct.

Ms. Dewkett: Yes, we are going to offer this and the dashed portion of the other lot for dedication as a town road. I have a copy of a letter that has been sent to the town and it is written by myself and endorsed by John Miller who is the President of New Windsor Business Park Associates and here is a copy of the letter. I don't have enough copies for everyone but basically, it says that the business park takes no exception to dedication to 15.3 and a new parcel out of the subject project which is the dashed project to the Town of New Windsor for use as a public road.

Mr. Edsall: The discussion about the 50 foot dedication I'd talked to Kathy about because we had a situation where we are getting it in two pieces, 25 from one and 25 from another and it wasn't really clear that they still intended to build a town road. I asked for

clarification which looks like we have a very good one now. I also touched base with the Town Supervisor who indicated it was his opinion that they would still want a road to be developed as a town road so it looks like we are all going in the same direction. I had just past on to the Town Board members that it appears that the Town Board is still interested in having this as a town road so I don't think it is going to be a problem.

Mr. VanLeeuwen: How come this turn-around doesn't come up to this property line.

Ms. Dewkett: We gave it a 50 foot buffer.

Mr. VanLeeuwen: I'd rather see it right up because otherwise, it could be a problem.

Ms. Dewkett: The town is going to own that piece.

Mr. Soukup: There is one problem with the geometry. The town can't get a 50 foot right-of-way to connect to your 50 foot right-of-way. You don't have enough space and the town road would have a neck in it. It wouldn't be a full 50 foot. The geometry doesn't allow for a 50 foot wide right-of-way to the town property.

Ms. Dewkett: That would have to be a lot line change because this is an existing lot.

Mr. McCarville: Just square it off.

Mr. Schiefer: There is a possibility this is now the Town of New Windsor but considering what is going on, it may not remain that way. That is something that happened in that area.

Mr. Edsall: The same item that Mr. Soukup brought up, what I am going to do is I will pull out the Town Hall property proposed development plan to find out what orientation that road was proposed at and I will send one over to Kathy's office so they can work that out so it does what the town intended it to do.

Ms. Dewkett: Another area that was brought up will this subdivision have to be reviewed by Orange County. I spoke to--

Mr. VanLeeuwen: It is three lots on each site.

Mr. Soukup: They are independent lots.

Ms. Dewkett: It has to go for--because it will be a water main extension. They'd like to review it. The other thing that was brought up was the turn-around. We put in an 80 foot diameter turn-around cul-de-sac. I realize that the town specs say 100 but because of the intended use of this cul-de-sac, I felt that 80 foot was sufficient. The usual intended use for the cul-de-sac is for emergency equipment, school buses.

Mr. VanLeeuwen: We cannot accept anything less than 100 foot. We want 110. We can't accept anything less. We can't accept any less but only the Town Board can waive it.

Mr. Babcock: Right now, another thing, Kathy, we are having quite some problems with just 100 foot with the new trucks with the plows with wings on them. They can't get turned around.

Ms. Dewkett: But--

Mr. Babcock: If this gets dedicated the way it is temporarily--

Ms. Dewkett: Ultimately the use of this though is going to be with curb cuts and linked parking lots and that is not going to be a problem. You will have plenty of access to turn around. You can pull into a driveway and turn around and it will be public.

Mr. VanLeeuwen: We still have to get 100 feet. We can't waive it. I agree with what you are saying but we can't waive it. I also would put in a request if the road continued that the area in the cul-de-sac revert to the parcels.

Mr. Soukup: You don't show an easement or dedicated area around the cul-de-sac on either of the minor subdivisions and that particular line that I'm referring to is the same line Hank is talking about, should be a temporary easement to go with the temporary cul-de-sac. We don't know when but if it happens--

Mr. VanLeeuwen: Once the road is put in, it automatically reverts back to the other two parcels.

Mr. Schiefer: We want 110 but we can buy 100.

Mr. Babcock: In just discussions over here, I mean, it is just my personal feeling that possibly if the cul-de-sac can go up on the existing Town of New Windsor property, you know, so that the road would be there and it wouldn't be the cul-de-sac, a private property that we are going to be maintaining until it is accepted.

Ms. Dewkett: I am sure that my client would be very happy to do that. And, temporary easement for the construction of the turn-around.

Mr. VanLeeuwen: I have no problem with giving preliminary approval. We can change this.

Mr. John Miller: In an effort to expedite my approval on a preliminary basis, I'd like to keep the cul-de-sac where it is and move forward and make it 100 feet.

Mr. VanLeeuwen: She has all the comments now, okay, as far as I'm concerned, I just made a motion to give preliminary approval.

Mr. Babcock: Kathy or her client wants to talk to the supervisor or

to make some type of--

Mr. Soukup: Make a golf club. It would fit better using a small piece of the town property.

Mr. Schiefer: Any other comments.

Mr. Edsall: Just when you are moving ahead with your motion, I suggest that you first take individually for each of the two minor subdivisions, take lead agency status under SEQR and then if you decide to make a preliminary action for each subdivision, do it independently because they are two separate actions.

Mr. VanLeeuwen: I make a motion that we accept lead agency with regard to the SEQR process on 15.1 of the New Windsor Business Park.

Mr. Pagano: I will second that motion.

Mr. McCarville: Shouldn't the master plan state these two things be handled separately.

Mr. Edsall: The following two sheets are independent.

ROLL CALL:

| | |
|----------------|-----|
| Mr. McCarville | Aye |
| Mr. VanLeeuwen | Aye |
| Mr. Pagano | Aye |
| Mr. Schiefer | Aye |
| Mr. Soukup | Aye |

Mr. VanLeeuwen: I make a motion that we take lead agency status under the SEQR process for the second subdivision 16.1 with regard to New Windsor Business Park.

Mr. Pagano: I will second that motion.

ROLL CALL:

| | |
|----------------|-----|
| Mr. McCarville | Aye |
| Mr. VanLeeuwen | Aye |
| Mr. Soukup | Aye |
| Mr. Pagano | Aye |
| Mr. Schiefer | Aye |

Mr. VanLeeuwen: I make a motion that we give preliminary approval on lots 15.1, 15.2 and 15.3 with regard to New Windsor Business Park.

Mr. McCarville: I will second that motion.

ROLL CALL:

| | |
|----------------|-----|
| Mr. McCarville | Aye |
| Mr. VanLeeuwen | Aye |
| Mr. Pagano | Aye |
| Mr. Schiefer | Aye |
| Mr. Soukup | Aye |

Mr. McCarville: I make a motion that we give preliminary approval to the parcels 16.4, 16.1, 16.2 and 16.3 of the New Windsor Business Park.

Mr. Pagano: I will second that motion.

ROLL CALL:

| | |
|----------------|-----|
| Mr. McCarville | Aye |
| Mr. VanLeeuwen | Aye |
| Mr. Pagano | Aye |
| Mr. Schiefer | Aye |
| Mr. Soukup | Aye |

Mr. Edsall: Did you get a short form EAF.

Ms. Dewkett: We handed in the long form but I will check and make sure.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,
D.O.T., O.C.H., O.C.P., D.P.W., WATER, SEWER, ~~SEWER~~, REVIEW
FORM:

The maps and plans for the Site Approval _____
Subdivision New Windsor Bus. Park as submitted by
Karliger Assoc. for the building or subdivision of _____
_____ has been
reviewed by me and is approved yes
disapproved _____

If disapproved, please list reason _____

Fred Lays, Jr.
HIGHWAY SUPERINTENDENT *MLD*

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

02/03/89
DATE

KA KARTIGANER
ASSOCIATES, P.C.
CONSULTING ENGINEERS

555 BLOOMING GROVE TURNPIKE • NEWBURGH, NY 12550-7896 • (914) 562 - 4391

25 January 1989

Town Board
Town of New Windsor
555 Union Avenue
New Windsor, New York 12550

ATTENTION: GEORGE GREEN, SUPERVISOR

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NWPB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

OFFER FOR DEDICATION - PROPOSED TOWN ROAD

Dear Supervisor Green:

Currently the SUBJECT project is under review by the Town of New Windsor Planning Board. The project consists of two minor subdivisions divided by a road entering onto Temple Hill Road in the Town of New Windsor. During previous submissions for site plan approval, it was proposed by New Windsor Business Park Associates to construct the SUBJECT road from Route 300 to property owned by the Town of New Windsor. The previous subdivision was designed such that Section 4, Block 2, Lot 15.3 would be dedicated to the town for use as a town road. Accordingly, New Windsor Business Park Associates takes no exception to dedication of parcel 15.3 and a new parcel out of the SUBJECT project to the Town of New Windsor for use as a public road.

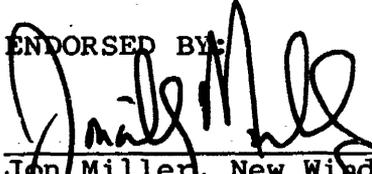
Should you have any questions regarding this matter, please do not hesitate to contact either Jon Miller, New Windsor Business Park Associates or myself at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett
Katherine A. Dewkett, P.E.
Project Engineer

ENDORSED BY:



Jon Miller, New Windsor
Business Park Associates

Date: 1-25-89

cc: Jon Miller
Town of New Windsor Planning Board
Mark Edsall, P.E., Planning Board Engineer

KAD/lmm

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 24 January 1989
SUBJECT: New Windsor Business Park

PLANNING BOARD REFERENCE NUMBER: 88 - 41

FIRE PREVENTION REFERENCE NUMBER: FPS-89-007

PREVIOUS REFERENCE NUMBERS: 88-58 & 88-106

A review of the above referenced subject site plan/ sub-division was conducted on 24 January 1989, with the following being noted.

- 1) Town Code Chapter 21, Section 21-10.

Water main lines and sizes are not shown on the site plan, as well as the fire hydrant locations.

- 2) Town Code, Titled Street Specifications.

Road width does not meet town code specifications.

- 3) Title 9 - NYCRR, Section 1161.

For emergency access, the driveway entrances to each building to be a minimum of twenty-four (24) feet.

- 4) Title 9 - NYCRR, Section 1100.

As each parcel is developed, handicapped accessibility will have to be determined.

New Windsor Business Park
(Continued)

(2)

PLAN DATED: 28 December 1988, Revision 3.

This site plan/subdivision is found unacceptable.



Robert F. Rodgers; CCA
Fire Inspector

CC: M.E.

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 24 January 1989
SUBJECT: New Windsor Business Park

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New Windsor Business Park
(Continued)

(2)

PLAN DATED: 28 December 1988, Revision 3.

This site plan/subdivision is found unacceptable.



Robert F. Rodgers; CCA
Fire Inspector

CC: M.E.

Revised Plans
P.B. #88-41

BUILDING INSPECTOR, P.D. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H.

O.C.P. WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____

Subdivision Kartiganer Assoc. as submitted by
subdivision of New Windsor business Park for the building or
reviewed by me and is approved ✓ has been
disapproved _____.

~~If disapproved, please list reason.~~

New Windsor business Park has obtained a permit
for an 8" water hook-up.

HIGHWAY SUPERINTENDENT

Steve D. Dr
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

CC: M.E.

Minutes of P.B. meeting 12-14-88.

NEW WINDSOR BUSINESS PARK - SITE PLAN - (88-41)

Kathleen DewKett came before the Board representing this proposal.

Ms. DewKett: We were here again last the 9th of November and basically tonight I am going to request a sketch plan approval of the subdivision.

Mr. VanLeeuwen: We don't have sketch plan approval. We have conceptual preliminary approval.

Mr. Edsall: It is referred to both ways in the ordinance, sketch and conceptual.

Ms. DewKett: Pre-preliminary approval of the subdivision. This has been here twice before. Last time--

Mr. Scheible: You were in for preliminary, you were in for sketch plan.

Mr. Van Leeuwen: Pre-preliminary.

Ms. DewKett: Sketch plan approval of the subdivision, nothing to do with the individual site plans.

Mr. Scheible: Do we have--you want subdivision sketch plan, nothing to do with the site plan. We are not working on any site plan, working strictly on the subdivision.

Mr. Edsall: Right.

Mr. Soheible: I wanted everybody to be aware we are not here for site plan.

Ms. DewKett: It is already divided into two lots. We are technically dividing one lot into three parcels and the other lot into four parcels, technically. But, we don't design the entire parcel, the entire subdivision as one entity.

Mr. Van Leeuwen: What you have to do is make a turn-around because I don't think this road will ever come back behind this building.

Ms. DewKett: That is something we can handle in the preliminary phase of the design.

Mr. Scheible: This is all been granted by DOT, this ingress and egress.

Ms. DewKett: There is an existing ingress and egress here. There is an existing one here. This is the existing one and we are proposing to move it down to here. We'd have to go to the DOT.

Mr. Van Leeuwen: Have they seen this already.

Ms. DewKett: They have seen the two that they have approved. They have not seen the removal of one.

Mr. Van Leeuwen: This map, they have seen.

Ms. DewKett: These are being built right now. The shaded building is the one currently under construction.

Mr. Van Leeuwen: This has to go to the County Planning Department.

Mr. Scheible: Don't we have to have a public hearing. This is a major subdivision.

Ms. DewKett: During preliminary phases, yes.

Mr. Pagano: Our remarks about interconnection, where it goes out, this is bordering the old Infante property and they are cutting out into Route 300. Why not eliminate the access and come into Infante.

Ms. DewKett: That is a private road.

Mr. Van Leeuwen: It is owned by the Old Age Home. I think we should set it up for a public hearing. I make a motion we set it up for a public hearing.

Mr. Edsall: I just want to ask a question before. Kathy, exactly I am a little confused as to which lots are--you said it exists as two lots now and you are splitting each of the two lots, one into two lots.

Ms. DewKett: One into three, the one that is parcel A1, A2 and A3 is an existing lot and that we are splitting into three parcels. The one that is A4, 5 and 6 is also an existing lot.

Mr. Edsall: The plan should show what is one lot and what is the other lot and maybe you should number them, you know, A1, A2 and A3

for splitting parcel A and B, 1B, 2 and B3 for whatever because right now we can't tell if it is technically--

Mr. Scheible: Is this a major subdivision.

Mr. Edsall: No, they are submitting, one is for two subdivisions that is not a major subdivision so it should be two applications.

Mr. Roncs: It depends on how long ago those lots were subdivided.

Mr. Van Leeuwen: We did a lot line change. That is what made the subdivision.

Ms. DewKett: I believe it was awhile ago.

Mr. Edsall: I think that is something that should be clear on the plan so we understand what we have before us.

Mr. Scheible: We don't want, what you call creeping subdivision.

Mr. Van Leeuwen: I'd like to see the two neighboring parcels with the senior citizens homes. I'd like to see them shown and the location of the building and that driveway.

Ms. DewKett: Those are old lot lines. The one that is a parcel being divided by three, that used to be owned by Automotive Brake.

Mr. Van Leeuwen: The lot line was done two, possibly three years ago.

Mr. Scheible: So, it is a major subdivision then.

Ms. DewKett: No.

Mr. Roncs: Why don't you touch base with the County Health Department and see whether they, because it was a lot line change, whether they would consider it.

Mr. Van Leeuwen: I think we ought to let our attorney check it out.

Mr. Edsall: Joe, I have met with the health department and discussed commercial subdivisions in the past with them and they have told me they don't fall under the Realty Subdivision Law. Remember we sent Gateway and they said they weren't interested. So, it is purely a decision as to whether you need a public hearing on the town end.

Mr. Scheible: We are going to let our attorney clear it all up once and for all and then Joe will get back to us and let us know.

Ms. DewKett: If it is a minor subdivision then there is no public hearing required.

Mr. Roncs: It is discretionary with the Board as to whether they want it or not. Was there a determination as to whether the concept was approved. Or, do you have the concept approved.

Ms. DewKett: I don't have anything.

Mr. Roncs: That is what you are looking for.

Ms. DewKett: Yes.

Mr. Roncs: And, I don't think that we got to that point, did we.

Mr. McCarville: No.

Mr. Roncs: That is your intention or do you want to wait for some answers on this major/minor issue.

Mr. McCarville: I think the conceptual is fine with me, whether it goes to a public hearing or not, after the fact, that is fine. It is not a final. It is simply conceptual so I move for conceptual approval.

Mr. Edsall: Keep in mind that sketch plans can be written, not dimensioned, can be hand drawn. They don't have to be drawn on engineering paper. A sketch plan can be a hand drawn layout, just so that the Board gives some direction so that you can set up for the public hearing.

Mr. Scheible: A conceptual on site plan.

Mr. Edsall: Sketch plan on--in concept, if you like it, it is just setting up for the other steps.

Mr. Roncs: By giving concept approval, the applicant would be well justified in complaining if you later wanted a fewer number of lots, a different arrangement of the lots, a different road network, a different curb cut and things of that sort. In other words, if you give it conceptual approval, then you are telling them go ahead with the detailed engineering but the general layout and the road layout that you have here is satisfactory to the Board.

Mr. Van Leeuwen: We don't even have a turn-around at the end of the road.

Ms. DewKett: That would be dealt with.

Mr. Van Leeuwen: If somebody wants to second the motion.

Mr. McCarville: I withdraw the motion.

Mr. Van Leeuwen: The plan is incomplete.

Ms. DewKett: It is more than complete for a sketch plan. It is more than complete.

Mr. Schiefer: We don't like what we see. When we have some objections.

Ms. DewKett: To the turn-around, you want a turn-around. That is something that is very easily fit into that plan.

Mr. Rones: What about the business about the curb cut and how this road is laid out. There was some discussion about putting the entrance at another point to take advantage of a traffic light.

Mr. Pagano: From a standpoint, is there any way we can make a motion that entitles us to make the necessary changes after we give it conceptual approval tonight.

Mr. Rones: If there are changes you are to make, there is no point in giving conceptual approval if there are changes that a general consensus of the Board thinks are appropriate, let the applicant know what the changes are so they can make the changes, bring the plan back and then see if you like the concept. If it is just something minor, then that is a different story. If it is just a question of a cul-de-sac, I don't suppose that but if you want the curb cut to be at this end rather than where it is, that might have a big impact.

Mr. Van Leeuwen: Are the size of the lots shown on the plan.

Ms. DewKett: Yes, acreage and area footage. What changes.

Mr. Schiefer: Turn-around, some agreement on the curb cut.

Ms. DewKett: The road in the center, that is being built. That is part of the site plan you approved for parcel A1. That has already been approved. It is just a matter of parcel B which should be handled under a site plan approval of parcel B, not something we should be determining under the subdivision. That will go and we will determine that when we do a site plan approval for parcel B, for whatever building that we put in there. As far as the turn-around goes, that is something that obviously can be put in there and I don't think it should hold up approvals that we are seeking so that we can continue on with this process.

Mr. Van Leeuwen: Kathy, it is 10 o'clock at night and we can stand here and argue. If somebody wants to make a motion, I could care less. I know what I have to do, not until it is right.

Ms. DewKett: And, it is just the turn-around that you want because I am writing these things down.

Mr. Van Leeuwen: There is other things we need our attorney to check out to see if we can go along with a three lot subdivision and a four lot subdivision compared to the subdivision.

Mr. Schiefer: Site plan or minor.

Mr. Scheible: From what I see here tonight, you want us to vote on it tonight.

Ms. DewKett: I guess not. I would like to know what I need to submit for approval.

Mr. Scheible: I think there are too many things up in the air right now and I'd rather that we wait until the next time that you are on

the agenda. I think there are comments that have to be made, our attorney has to check some of our--get some legal input into this matter.

Mr. Rones: Primarily, I think just my interpretation of the information here is I think the Board needs more time to look at this particular presentation to decide if the changes that they may want to make or the suggestions they have for the applicant or major or minor or whatnot, you haven't formulated your ideas about this plan well enough yet to give conceptual approval.

Ms. DewKett: How many more meetings is that going to take.

Mr. Rones: How ever many it takes. You are not putting up a one-family house here.

Mr. McCarville: Part of the confusion is that it has been in for a pre-submission conference and one more time after that but it wasn't clear if it was a subdivision site plan combined application, major subdivision. This is the first presentation of the subdivision. At least now we know.

Mr. Scheible: The last that time that you were in here, you showed it to us, it was, looked pretty much like a site plan map at the time and at that time, we made the comment that what are you here for. Are you here for site plan or subdivision.

Ms. DewKett: We resolved that. It was subdivision. There hasn't been any changes to this plan. The only thing that was changed was the zoning. That is the only thing that was changed between last time and this time. I outlined that in my letter.

Mr. Van Leeuwen: But, Kathy, in a subdivision, the building should come off that, okay because--

Ms. DewKett: Again, we discussed this last time. It is not really necessary to discuss it again but I showed the building because on a subdivision for houses you would expect me to show the houses. I showed the building to give you a general idea of what we are asking for.

Mr. Van Leeuwen: If we approve this thing, somebody might think we approved that building on this piece of property.

Mr. Rones: Well, you have to make that clear.

Mr. Scheible: Our attorney has recommended to us that we check our--we check a few points out before we proceed any further.

D500511 -- RECONSTRUCTION OF TEMPLE HILL ROAD -- 8052.06.321
MORANO CONSTRUCTION CORP.

MEMORANDUM
REGION 8 CONSTRUCTION GROUP
DEPARTMENT OF TRANSPORTATION

TO: New Windsor Business Park.

FROM: J.E.O'Malley _____, ENGINEER-IN-CHARGE

SUBJECT: Curbing and sidewalk.

DATE: 11-14-1988

Please be advised that our contractor, Morano Construction Corp. has completed the curbing and sidewalk in front of New Windsor Business Park to the extent of limitations previously agreed between the State and Kartiganer Engineers. Therefore Morano's contractual responsibility has been satisfactory completed, exclusive of brick pavers. Completion of remaining curb, sidewalk, driveways, and brick pavers will be responsibility of the site contractor for New Windsor Business Associates under HWP# 08 87 0991



cc: A. Spinella
L. Leonard
D. Green
W. Bains
M. Babcock, N.W. Building Inspector



555 BLOOMING GROVE TURNPIKE • NEWBURGH, NY 12550-7896 • (914) 562 - 4391

17 January 1989

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

ATTENTION: CHAIRMAN

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NWPB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

SUBDIVISION PLAN, REV. 3

Gentlemen:

Please find enclosed fourteen (14) copies of the SUBJECT plan set. This subdivision plan set is submitted at this time for "PRELIMINARY" approval of the subdivision. Once again let me state that only the subdivision of the land is subject to approval at this time. Individual site plans for each parcel will be submitted when appropriate.

One major area of concern discussed at the 14 December 1988 Planning Board meeting was if the subdivision constituted a minor or major subdivision. After consulting with Joe Rones, Planning Board attorney, it was decided the project constitutes two minor subdivisions. One of Lot 15.1 into three parcels and the other of Lot 16 into 4 parcels. The minor subdivisions are submitted as one project to insure uniformity of design for the entire office park with regard to roadway access, drainage and utilities. A copy of the written confirmation of this information with Mr. Rones is included.

Another area of concern discussed at the 14 December 1988 Planning Board meeting was if the Orange County Department of Health would need to review the plan. I discussed this issue with Stoyell Robbins of the Department of Health. Mr. Robbins stated the Department would review the plan on the basis of a water main extension project. The Department, however, would not review the subdivision of the land. The Department recommends preliminary approval of the lot layout so they may evaluate the appropriateness of the watermain location. A copy of my letter confirming this information and Mr. Robbins letter to myself clarifying the

information is included.

Per comments made at the 14 December 1988 meeting a turnaround has been added at the end of the major road. This turnaround has an 80' diameter which I feel is sufficient for its intended purposes. Due to the nature of the subdivision with many curbed entrances leading to each parcel and linked parking areas the usual reasons for turnarounds, such as snow removal equipment, school buses and cars, do not apply.

Also the individual parcel details such as curb cuts, building locations, parking lots and landscaping have been eliminated to reduce confusion. These details will be addressed during the individual site plans for each parcel.

The format of the plan set has changed per my telecon with Mark Edsall of 15 December 1988. The first sheet is a master plan of the subdivision showing all lots. The second and third sheets show each minor subdivision. A uniform drainage and utility plan will be developed for the entire project.

Should you have any questions regarding this submission please feel free to contact me at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD/snh

cc: Jon Miller, New Windsor Business Park Assoc.
Mark Edsall, Planning Board Engineer

KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE: (914) 562-4391

15 December 1988

Town of New Windsor Planning Board Attorney
555 Union Avenue
New Windsor, New York 12550

ATTENTION: JOSEPH RONES

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NW PB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

STATUS OF MINOR SUBDIVISION

Dear Mr. Rones:

This letter serves as a written confirmation of our telecon of even date regarding the SUBJECT project. The two original lots Sec 4 Block 2 Lot 15 and Sec 4 Block 2 Lot 16 are shown as existing lots on the New Windsor Tax Maps revision dated 1 May 1981. Therefore the SUBJECT project is actually two minor subdivisions of 3 and 4 lots.

Supplemental information to our telecon reveals that Sec 4 Block 2 Lot 15 was subdivided into three parcels in 1986. Lots 15.1 (5.04 Ac) and 15.3 (0.45 Ac to be used for road) were retained by New Windsor Business Park while Lot 15.2 (3.00± Ac) was conveyed by New Windsor Business Park to Automotive Brake. Lot 15.1 is proposed to be divided into 3 parcels which is still considered a minor subdivision.

Should further investigation into this matter by your office reveal information contrary to these findings please contact me by 30 December 1988.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD/snh

cc: Jon Miller, New Windsor Business Park Assoc.
Mark Edsall, McGoey, Hauser & Edsall
Town of New Windsor Planning Board

KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE: (914) 562-4391

15 December 1988

Orange County Department of Health
124 Main Street
Goshen, New York 10924

ATTENTION: STOYELL M. ROBBINS, SR. PUBLIC HEALTH ENGINEER

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NW PB PROJECT NO. 88-41
K.A. JOB NO. 88016.00

HEALTH DEPARTMENT REVIEW OF COMMERCIAL SUBDIVISIONS

Dear Mr. Robbins:

This letter serves as a written confirmation of our telecon of even date regarding the SUBJECT project. The Department does not review or approve commercial site plans. However, if the plan involves a substantial extension of a watermain the plan must be reviewed on the basis of a watermain expansion project. It is your opinion that this project which involves an approximately 1000 foot extension (the 1000' figure is actually approximately 700' after referring to the plan sheet) of the watermain that the county Department of Health will be involved in the review process.

A formal application must come from the Town if the main will be a public main or from the developer if the main will be private. In order to review a plan for a private main the Department will require Preliminary Approval form the Town Planning Board for the plan showing the location of the main. Also the Department will require a copy of the maintenance agreement between the Town and Developer for the main.

Should you have any corrections to my assessment of our telecon or additional information regarding the SUBJECT please contact me by 30 December 1988.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD/snh

cc: Jon Miller, New Windsor Park Assoc.
Mark Edsall, McGoey, Hauser & Edsall
Town of New Windsor Planning Board



COUNTY OF ORANGE

LOUIS HEIMBACH, County Executive

Department of Health

124 MAIN STREET
GOSHEN, NEW YORK 10924 TEL: 914-294-7961

Walter O. Latzko
President, Board of Health

December 27, 1988

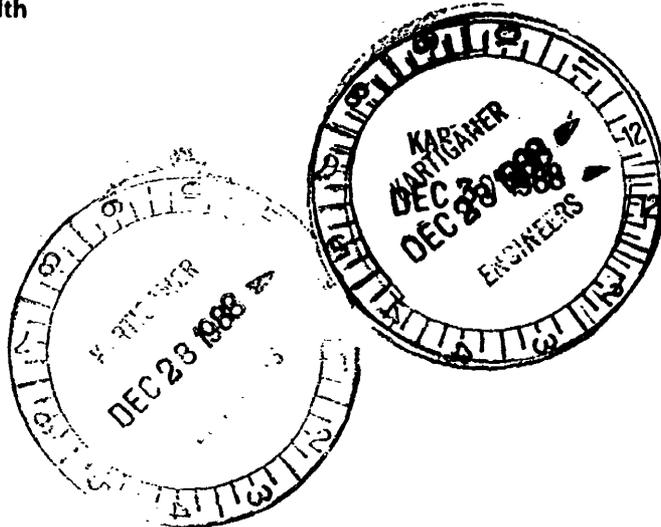
Katherine A. Dewkett, P.E.
Kartiganer Assoc.
555 Rt. 94
Newburgh, NY 12550

Re:
Health Dept. Review of
Commercial Subdivisions

Dear Ms. Dewkett:

With regard to our telecon of December 15, 1988 and your confirmation letter of same date, certain details require modification and/or clarification. These are listed below.

1. Whether a project is considered a watermain extension (WME) requiring review, or a service line which does not, is based on the disposition of water rather than the size of the project. If it is built for water system ownership it is a watermain extension, as is a privately owned pipe delivering water to different property owners. A pipe with one connection to the system and one meter owned by one owner, although providing water to several tenants would normally be considered a service.
2. The Health Department does not require preliminary approval by the Town Planning Board showing location of the watermain or any consideration by such an organization of the water location. However, we recommend preliminary approval of a general layout from which this office can evaluate the appropriateness of the watermain location.
3. A copy of a maintenance agreement between the developer and the Town is not a requirement. The engineer report must address arrangements between the developer and the ultimate property owner (or association) and the water district (which may or may not be the Town) for the long term maintenance of the watermain. If a formal agreement has been made, a copy should be appended.
4. Not covered: A permanent maintenance easement is required for a public main on private property, or a private main on private property of a different owner.



Kartiganer Assoc.
Page 2
December 27, 1988

5. Not covered: An arrangement of meters on individual services from a private main to be read by the water district will require the concurrence of the water district.

I hope this will serve to clarify these matters. If you have any further questions, feel free to call or write.

Very truly yours,



Stoyell M. Robbins, P.E.
Sr. Public Health Engineer

SMR/aje

cc: Jon Miller
Mark Edsall
T. New Windsor Planning Board

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 15 December 1988
SUBJECT: New Windsor Business Park

PLANNING BOARD REFERENCE NUMBER: 88 - 41

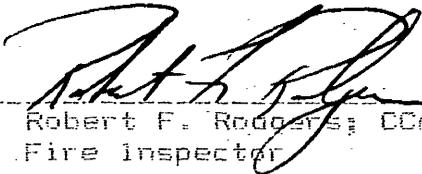
FIRE PREVENTION REFERENCE NUMBER: 88 - 106

PREVIOUS REFERENCE NUMBERS: 88 - 58

A review of the above referenced subject site plan/ sub-
division was conducted on 15 December 19 88
with the following being noted.

- 1) The road width does not meet the street specifications as outlined in the Town Code.
- 2) Water main lines and sizes are not shown on the site plan, as well as the fire hydrant locations. Chapter 21 - 10 of the Town Code.
- 3) The width of the driveway entrances to each building to be a minimum of 24 feet. Title 9, NYCRR, Section 1161.2.

This site plan/subdivision is found unacceptable.



Robert F. Rodgers; CCA
Fire Inspector

BUILDING INSPECTOR, P.D. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H.

O.C.P. WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Kartigan Assoc. for the building or
subdivision of New Windsor business park. has been
reviewed by me and is approved
disapproved _____.

~~If disapproved, please list reason.~~

water is available in this area-

HIGHWAY SUPERINTENDENT

Steve D. [Signature]

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE: (914) 562-4391

5 December 1988

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

ATTENTION: HENRY SCHEIBLE, CHAIRMAN

SUBJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR, ROUTE 300
NWPB PROJECT NO. 88-41
KA JOB NO. 88016.00

SUBDIVISION PLAN, REV. 2

Gentlemen:

Please find enclosed fourteen (14) copies of the SUBJECT plan sheet. The plan has been revised per 9 November 1988 comments from Mark J. Edsall, P.E., Planning Board Engineer and per comments from the 9 November 1988 Planning Board Meeting. The revisions are as follows.

The Use/Bulk Regulations have been changed per the current code. Parcels A1 through A6 fall under the category of "Office Buildings for Business and Professional Offices", Zone PI, Column A, No. 14. We are requesting a variance for Parcel B to operate as a Zone NC for Personal Service Stores. The Bulk Regulations remain the same for Parcels A and were revised for Parcel B.

Should you have any questions regarding this submission, please do not hesitate to contact me at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD/snh

encl: a/s

cc: Jon Miller
Mark Edsall, P.E., Planning Board Engineer



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. MCGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

Licensed in New York,
New Jersey and Pennsylvania

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

PROJECT NAME: New Windsor Business Park
PROJECT LOCATION: Temple Hill (Freedom) Road
PROJECT NUMBER: 88-41
DATE: 9 November 1988

1. The Applicants have submitted a plan for the re-subdivision of the previously approved New Windsor Business Park property and its subsequent development. The previously approved parcel is designated as Parcel A (divided as A-1, A-2, A-3). The plan also indicates the development of two (2) additional adjoining parcels (designed Parcel B and Parcel C). The plan was previously reviewed on a pre-submission basis at the 14 September 1988 Planning Board Meeting.

2. The "site information" shown on the plan, "permitted uses" section appears incorrect. The use column and number references do not coincide with the Town code. This section and the "bulk regulations" shown thereunder should be checked by the Applicant's Representative.

3. The Board should be advised that a single subdivision plan should be reviewed for approval, and subsequently filed (if approved). The Board should determine if they will require each individual site to be "self-sufficient" with respect to bulk table compliance, or if the overall development of all five sites should be "bulk-conforming". If the parcels are subdivided, each lot should be evaluated individually, and a separate plan for each should be submitted.

It is important that the Board make this determination before the process continues.

4. The sketch plan for the development of all five lots depicts a significant development of each parcel. Although this zone does not (in many cases) restrict development coverage, I am concerned regarding stormwater collection and run-off.

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

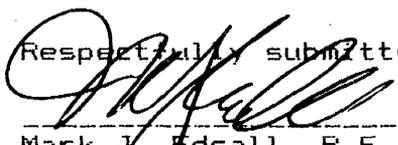
PROJECT NAME: New Windsor Business Park
PROJECT LOCATION: Temple Hill (Freedom) Road
PROJECT NUMBER: 88-41
DATE: 9 November 1988

-2-

5. The disposition of the main road running north-south should be determined; is this intended for Town dedication or will same be private and right-of-ways granted to each parcel using the roadway?

6. At such time that the manner in which each parcel will be reviewed is determined by the Planning Board, further engineering reviews can be continued (in greater detail) and appropriate comments made.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEnje

park

NEW WINDSOR BUSINESS PARK-TEMPLE HILL ROAD-SUBDIVISION (88-41)

Kathleen DewKett from Kartiganer's office came before the Board representing this proposal.

Ms. DewKett: I received the comments from Mark Edsall this morning about the project so what I'd like to do is go item for item through his comments. Basically, last time we saw you it was presubmission conference on the 14th of September. At that time, there was not and I don't think any of you had had a chance to review the plan yet

so since then, Mark has reviewed the plan now. One of his comments were just a general comment but I noticed that he also was looking at the wrong revision of the map so where in his comments when he talks about parcel C and parcel B, there is no longer a parcel B and parcel C. It is parcel A1 through 6. Then, what was parcel C is now parcel B. The second item on his list of comments was about the permitted uses appears to be incorrect. This is zoned PI and under #3 in the table of use, PI and I will read it for you, office building for editorial business and professional offices and research design and development, laboratories including incidental clinics, cafeterias and recreational facilities for the exclusive use of company employees. That is the use that we took and that puts us under group OO in the table of bulk regulations so that is the bulk regulation that we used.

Mr. Edsall: Do you have the old or current tables because they directly cross reference the bulk requirements. There is no back references anymore.

Ms. DewKett: We might have the old tables but--

Mr. Edsall: If you are cross referencing between uses and another one that is two bulk tables ago. There was an interim set and the final printed set here that is where I was confused. I think you are using the old tables.

Ms. DewKett: I am pretty sure we have the latest update.

Mr. Edsall: Do they look like this?

Ms. DewKett: Yes.

Mr. Babcock: Which one are you using.

Mr. Edsall: Can you update these?

Ms. DewKett: Yes. On parcel B, we are proposing to be a service establishment so that would require a special use permit.

Mr. VanLeeuwen: What kind of service establishment.

Ms. DewKett: Something along the lines of a, say a deli type of thing, not a restaurant but something where people who are in the office part can go and get some lunch, possibly take it back. That is parcel B.

Mr. Rones: I don't see that in a special use permit. That is not in the PI zone.

Ms. DewKett: It is but it refers back to the NC.

Mr. Edsall: Not these tables. You are back to the old tables. I had cross references. I don't believe these have back references to other zones.

Mr. VanLeeuwen: I think what the applicant should do is get together with our engineer and see if they can't get the proper uses straightened out first.

Mr. Roncs: Under special permit, there is trailers, dwelling units, railroad, public utility, bulk storage, manufacturing of bricks and concrete, municipal refuses, public utility generating plant. It may be back here and permitted.

Mr. Babcock: It is a permitted use in an NC zone. If you wanted to put something of that nature in a PI zone, you'd require a use variance to do that.

Ms. DewKett: As opposed to a special use permit. We will get this straightened out.

Mr. Roncs: You want a deli type operation.

Ms. DewKett: A service establishment. That would be a typical use under that what we had been looking for. Now, I am going to go on to item 3 which talks about the different kinds of approvals that we are looking for. Basically, we are going to go for two different approval processes on this. It is a subdivision by we'd also like to proceed with parcel A2 and parcel B towards site plans for these two parcels.

Mr. VanLeeuwen: I think we should do the subdivision first.

Ms. DewKett: Well, I think we'd like to proceed with them at the same time and--

Mr. VanLeeuwen: You have to submit the plan first.

Ms. DewKett: We couldn't get any kind of approvals before this subdivision was granted. I mean that we understand but we want to proceed with both procedures so that we can get both sets approvals at the same time. Therefore, not delay any further the building of these two parcels.

Mr. Scheible: I'd like to see the subdivision. You have to have a subdivision and I don't want to get involved in a site plan either. I want to see a subdivision first. Then, we will go into the site plan.

Mr. VanLeeuwen: I suggest she goes back and gets plans made up with the subdivision and get on whatever agenda and get the subdivision done.

Ms. DewKett: This plan will serve as a plan for the subdivision. It shows the different lots. It shows an idea of what we'd like to do as far as the square footage on each lot, what kind of proposal we'd like to do. It shows the road and entrances off the main road.

Mr. Scheible: I'd like to see a map without any of the building structures attached. I want to see a subdivision map. I don't want to see a subdivision map. I don't want to see buildings and so forth on a subdivision map.

Mr. Edsall: I agree with you maybe if the Board feels appropriate, we can review this so that we have a concept of an overall development plan which if they came in with just a subdivision plan or just one site plan, the Board may ask for it. Maybe you can use it as a reference plan as each site plan gets approval and look at it for concept for the subdivision and then what Kathy can do is bring in a separate subdivision plan after you feel comfortable with the general concept of the development.

Mr. DewKett: That is what we are looking for is a conceptual approval or a sketch plan approval. If it was a residential subdivision, we'd go for sketch plan approval.

Mr. VanLeeuwen: This is not within what we are used to working with. We are used to working with a subdivision when a subdivision is completed, then we go into site plan.

Ms. DewKett: Let's not worry about the site plan at this point. If this was a residential subdivision, you'd want me to show possible locations of houses or how many houses I would be wanting to put on each lot so that is what I am trying to show you here. We are looking to put, I assume that you want to know what is the general idea, what we would like to do.

Mr. Edsall: The Board is going to be looking for individual site plans to be submitted for each parcel and then you'd use this as a reference to see how all the pieces of the subdivision fit.

Ms. DewKett: It only makes sense to design some of the things as a subdivision, the utilities certainly the drainage, you'd want the drainage for the entire subdivision to be designed as one and each individual site plan for each individual parcel would be, would have to reflect that design and that approved design for the entire subdivision. That is what we are trying to proceed with, a concept approval of the entire complex. What we'd like to see done with it and then when that is settled, then we will come in with the individual site plans for each parcel.

Mr. Jones: The whole thing is not going to be developed in one shot. You show existing drainage pond here coming out here across Temple Hill Road. Is this going to take care of everything..

Ms. DewKett: That will have to be determined in a better design study.

Mr. Jones: If not, you will have trouble later on. You have to cure it in the beginning.

Ms. DewKett: Right.

Mr. Scheible: Right now, you are coming up this far with the sidewalks, how far did you come.

Ms. DewKett: The sidewalks that were just completed go from the two

entrances there. There is two entrances that have been constructed on the site with the DOT permit and the sidewalk goes in between the two entrances. Eventually, as we develop the parcel to the south, we will now continue the sidewalks through the entire thing. And, each individual site plan would also reflect the sidewalks being put in. As we get into the preliminary phase of the design for the subdivision, we will do a detail drainage study to determine how much impoundment or what the collection system should be.

Mr. Scheible: I see no problem with the concept that she is trying to bring in here.

Mr. VanLeeuwen: I don't see any problems.

Mr. Scheible: The concept seems to be in line.

Mr. VanLeeuwen: While we are on the tour over the weekend, I think we should hit this spot.

Mr. Scheible: Are the buildings all going to be of the same building construction.

Ms. DewKett: Yes, we will try and maintain a uniform.

Mr. Scheible: I'd like to see a little mix.

Ms. DewKett: We have made parcel A4 larger so we can put in a larger building. We'd like to use that as our flag ship lot but that has yet, that is some time down the road but we would like to see that as our flag ship building and be the focal point of the entire complex.

Mr. Scheible: Okay. Thank you.

Ms. DewKett: So, the other thing that was discussed if that road is going to be dedicated to the Town or not, I think we discussed last time that originally that road was asked for when plans were being made to build a police station up there. Basically, we'd like to keep that as a road dedicated to the Town if we are going to require some sort of turn-around up there, that can be designed in there. It provides access.

Mr. VanLeeuwen: For the time being, I'd put a turn-around because if you wait for the addition to be put on the Town Hall, you might wait forever.

Ms. DewKett: As far as the actual design of the turn-around, you have got to realize you have many entrances and exits coming out so any kind of vehicle that does go up can get out through the parking lot.

Mr. VanLeeuwen: We can't approve this road.

Ms. DewKett: Because it doesn't have a turn-around.

Mr. VanLeeuwen: Right.

Ms. DewKett: That can be worked out.

Mr. Babcock: I'd like to make one statement as far as about the different lots once it is subdivided, that the only way that we'd be able to handle this project is that each site plan would have to be a separate site plan with a separate number.

Ms. DewKett: Yes, we'd want to also because we don't want to develop each site at the same time so we don't want to tie ourselves into something that we weren't going--

Mr. Babcock: The only way you can track a site is to have individual numbers for it to track it because if you got held up on one for one problem or another, it wouldn't hold you up on the next one.

Ms. DewKett: Yes, we'd be looking at that.

Mr. Scheible: Tippy, how do you feel about the concept.

Mr. Jones: Okay.

Mr. VanLeeuwen: I am not crazy about it but--

Mr. Lander: It is all right.

Mr. Scheible: Now, you can go back to the drawing board.

Mr. Jones: Parcel B has only one entrance and exit, right.

Ms. DewKett: Plus it can also be interconnected to the other sites through the parking lots. There's an existing entrance onto that site so I am not anticipating getting problems getting the DOT entrance but I have not talked to them about that specific entrance. The other two are constructed and approved entrances.

Mr. Scheible: Well, we will take a look at it over the weekend.

Ms. DewKett: The other thing would be initiation of the SEQR process and the declaration of the lead agency. It was not one of Mark's comments but--

Mr. VanLeeuwen: I think we will wait until the next meeting before we do that.

Mr. Scheible: We are under review this evening, just a review. I don't think we are ready yet to take that on until we do a site inspection.

Ms. DewKett: All right.

Mr. VanLeeuwen: Because then we are involved in a time limit.

Mr. Scheible: Exactly. We want to get a better look and next meeting,

that is when we start the time clock.

Ms. DewKett: Thank you.

*Minutes of P.B. Meeting
of 9-14-88*

PRE-SUBMISSION CONFERENCE

#88-41

NEW WINDSOR BUSINESS PARK

Kathleen Dewkett from Kartiganer Office came before the board representing this proposal.

Miss Dewkett: This is one on Temple Hill Road and Route 32 that need referral to the Zoning Board of Appeals.

Mr. Babcock: I had the opportunity to talk to Mr. Miller, the owner, about the stuff that we have talked about. Maybe you can bring him up on the matter of record and discuss what is going on with the road.

Miss Dewkett: The road, as far as New Windsor Business Park, correct?

Mr. Babcock: Correct.

Miss Dewkett: I was told that both parts were on the agenda although that I see it is only the one part. This is a quick referral to the Zoning Board of Appeals. We are proposing to put in approximately 56,000 square feet of strip mall, 6400 feet of it is a restaurant, the rest of it will be stores and as you can see, the commercial zone is through the property. We are assuming it is 200 feet but we'd like a referral to the Zoning Board of Appeals to find out where that exact boundary is and then the second thing, we are going to need a possible zone change for the part that is professional office or if we are going for a variance, that can take care of that. This is on Route 32 next to Ponderosa. It is 5.4 acres and I'd just like, this is a concept plan for site plan and I will need a quick denial so I can get onto the Zoning Board agenda.

Mr. Ronas: Except the Zoning Board of Appeals likes to have some general guidelines as to whether the concept is acceptable to the planning board.

Mr. Babcock: The way the town code reads is that a zone line running parallel to a road shall be 200 feet of the road.

Miss Dewkett: If it follows the property lines you can take it as the property lines and it seems to follow the parallels that are to the north of it and they're approximately 250 feet.

Mr. Babcock: But, not your property line.

Miss Dewkett: No.

Mr. Babcock: That property was 500 feet deep or 400 feet deep so even if it did follow the adjoining property at 250 approximately half of that property is back in the R-5 zone.

Miss Dewkett: Which is PO, correct?

Mr. Babcock: That was changed back to R-5.

Mr. Bones: One light or another, they need to go to the Zoning Board of Appeals to figure out where the lines are or what variances they need.

Miss Dewkett: Exactly.

Mr. VanLeeuwen: Who owns this property?

Miss Dewkett: Mr. John Miller.

Mr. Pagano: Are you going to be using the same road as Washington?

Miss Dewkett: Yes, we are hoping to use one entrance onto the town road and one onto 32. I've been into preliminary contact with Don Green for entrance permits onto Route 32.

Mr. Babcock: If you gentlemen, I don't know whether everybody was here but if you gentlemen remember when this project came in for this subdivision for this particular piece of property of the front of Washington Green property and on that subdivision, they had taken up that whether they were using a town road where they were coming off of it and they had some recommendation for the planning board to do that. If you remember on Washington Green the DOT wanted a turning lane.

Miss Dewkett: Which we have shown on our plan. We got the plan from Washington Green.

Mr. Babcock: This piece of property was a subdivision that you gentlemen approved.

Miss Dewkett: At that time, it was just a proposal.

Mr. Edsall: Has the DOT agreed to the main entrance.

Miss Dewkett: They have not agreed to it. I have just started the preliminary process.

Mr. Edsall: Do they seem to feel that is an appropriate point at a preliminary basis?

Miss Dewkett: We are just discussing the site distances. The only problem or the only potential issue is how far from the new town road should that entrance be and as you see, we have cleared quite a ways from that town road.

Mr. Edsall: During Washington Green, the board wanted to access the town road to use what is going to be a new road.

Mr. Scheible: You also have a service entrance also.

Miss Dewkett: Yes, to service the loading dock and the back.

Mr. Scheible: Is that going to be enclosed?

Miss Dewkett: No, just a strip mall.

Mr. VanLeeuwen: Before the Zoning Board of Appeals they are going to want to know if you have a road entrance permit.

Miss Dewkett: I can't get a road entrance permit without a better proposal. The DOT doesn't look at it until you've got some sort of a approval from the town. But, I think it is prudent for the Zoning Board to look at it and give us a reading on where that line could be and what variances we might need. I believe also at that time, they try to go in front of the Zoning Board and we were told they couldn't do it until they had a better idea of what they wanted to do.

Mr. Roncs: The issue now, I think, as far as of course they have to be referred to the Zoning Board is this kind of commercial development of the whole site the kind of thing the Planning Board would like to see. Once they get the interpretation on where the zone boundary is and what variances they might need, then they are going to have to come back here and develop the site plan.

Mr. VanLeeuwen: We don't need this, we have enough restaurants on 32.

Mr. Roncs: Is whatever the market will bear.

Mr. Pagano: This was before us and we had a problem with this back piece of property because it is different zoning. We didn't know what it was going to be used for.

Miss Dewkett: This is the footprint that we like and these are the approximate locations.

Mr. Scheible: Does anybody have any problems as to their approach here. Do you think it warrants going on to the Zoning Board. Do you think this plan warrants any further considerations.

Mr. VanLeeuwen: We should take a copy home, take a look at it and study it and come back to the next meeting and make a recommendation.

Mr. Scheible: The Zoning Board doesn't want to--they want us to get involved in it before we send it onto the Zoning Board. They are looking for input so they can make decisions. I can see their point.

Miss Dewkett: In the office you have got the fourteen copies and everything, all the applications are made so if you feel that you need the time to review it then we can certainly be on the next meeting.

Mr. Scheible: We will take a closer look at it. This point back here, I'd like to see it flagged so when I drive up their driveway here I'd like to see where this point lies, how far back.

Miss Dewkett: All right. I expect to be on the agenda for the 20th of September.

Mr. Scheible: We will notify you exactly when you are going to be on the agenda.

NEW WINDSOR BUSINESS PARK - TEMPLE HILL ROAD

Miss DewKett: This is an existing building that you can see shaded in. Basically, we are here tonight with a sketch plan or a pre-application plan for seven lots commercial subdivision on 16.4 acres. It is in a planned industrial zone so it is within the zoning and as I said, partial A1 is already under construction and approved. The road, the main road going to the property is going to be proposed to be dedicated to the town. I know that before we took over the project that there was talk about that being a possible connection to the town hall. That is still part of our plan. It is in a water and sewer district, water district #5, sewer district #7. We are also planning 6 lots will be planned office building. We are hoping to divide out parcel B. You can see it there for a service establishment. Which, under the codes, is going to require a special permit. That would be approximately 12 to 15,000 square feet for the service establishment. I am here tonight for the sketch plan approval of this plan. I have not seen any comments from Mark.

Mr. VanLeeuwen: This is the first we have seen this.

Mr. Babcock: We have had them in the file. This is the first time that they have come on the agenda.

Mr. Scheible: You are here only because of the good graces of the Planning Board. You have jumped the gun already. You are here for presubmission meeting only. This is not a regular agenda thing so it won't be any approvals or anything granted this evening.

Mr. VanLeeuwen: I am not going to even think about a vote.

Mr. Babcock: One of the things that we have discussed and I have discussed with the chairman was that there was some talk of the town when this road was going to come through to the police station or may still go through that the town was going to share in some of the work of this road. What has now developed is that what I would like to know from the applicant if that still is the same situation we are running into or is he building the road.

Miss DewKett: That would have to be answered by Mr. Miller.

Mr. Babcock: We talked during our discussions on this and I want him to state this for a matter of record.

Mr. Miller: I am building the road, putting in the water and the sewer.

Mr. Scheible: While you are putting all these things in, I have one more request. Please put in sidewalks.

Mr. Miller: That has been addressed.

Mr. Scheible: We have started sidewalks on the corner of Union Avenue and Temple Hill Road and I'd like to move them along the road.

Miss DewKett: The sidewalk issue has already been requested or addressed. They were requested by Supervisor Green and Dick McGoey. We talked to the State DOT and the DOT has agreed to put them in as part of their on going project from just in front of parcel A1. Now, as we go into this and get this going for site plan approvals for the other buildings along the frontage of Route 300, we will put in sidewalks to continue that system.

Mr. Miller: At this time, we are adding in this area extra drainage facilities that were requested by the State at our cost.

Mr. Ronas: Can the board give the applicant a general conceptual approval on this or just want to take it and walk around the site.

Mr. VanLeeuwen: We have to digest the damn thing first.

Mr. Scheible: This is the first time we have seen it.

Mr. Miller: In general certainly when we came here the first time around we presented the idea that this would be an office park in time.

Mr. VanLeeuwen: But, there was never anything on paper. This is the first time we have seen it.

Miss DewKett: You need another two weeks and I will be on the Planning Board agenda for that too.

Mr. Ronas: The next available spot on the agenda we will have you in.

Mr. Scheible: You have jumped the gun already we are only up to what point.

Mr. Edsall: Right now, you are serving #29 and this is application #41 for '88. We can't put you out in front of everybody right now.

Mr. Scheible: What we gave you the chance to do is come in answer a few questions and give us a chance to start reviewing this. So, I will notify your office of the next available agenda day when it is ready to get back on the agenda.

Miss DewKett: Any questions that I can answer?

Mr. VanLeeuwen: No, we have to review it.

Mr. Lander: Just take care of the drainage.

I, Jonathan Miller having offices at 147-39 175th Street
Jamaica State New York state that I am a Partner of
New Windsor Business Park Associates and that we are the OWNER'S
in fee of the property located on the East side of Temple Hill Road
(Route 300) shown on the designated tax maps as Section 4 Block 2
Lot 15 Town of New Windsor; that I have been authorized by said
corporation to have filed on our behalf by Kartiganer Associates, P.C.
all required application forms and documents as may be necessary and/or
required by the Town for the purposes of obtaining Lot sub-division
and Site approvals.

By: 
Signature

Sworn to before me this 25th
date of July 1988


NOTARY PUBLIC/OR/COMMISSIONER OF DEEDS
(Affix Seal)

MARLENE TRENTINI
NOTARY PUBLIC, State of New York
No. 4807154
Qualified in Nassau County
Commission Expires March 31, 1989

1/31/89

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 23 August 1958

SUBJECT: New Windsor Business Park.

Planning Board Reference Number: Not supplied

Fire Prevention Reference Number: FF-58

A review of the above referenced subject site plan/subdivision was conducted on 23 August 1958, with the following being noted.

- 1) Road width, to be the same size as entrance drive, and not lowered in width to 24 feet as shown.
- 2) Water main lines and fire hydrants not shown on site plan. Size of water main line to be also shown

This site plan/subdivision is found unacceptable.



 Robert F. Rodgers; CCA
 Fire Inspector

KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE: (914) 562-4391

16 September 1988

Town of New Windsor
Planning Board
555 Union Avenue
New Windsor, New York 12550

ATTENTION: HENRY SCHEIBLE, CHAIRMAN

SUBJECT: NEW WINDSOR BUSINESS PARK ROUTE 300 - NWPB PROJECT
NO. 88-41; KA JOB NO. 88016.00

Gentlemen:

During the discussion period of your last Planning Board meeting 14 September 1988, the SUBJECT project site plan was brought to your attention for proceeding in the review process. It is suggested that this application be technically reviewed as a preliminary subdivision and site plan.

It is hereby noted the first phase of this project is presently under construction (Parcel A1). Accordingly, the developer would like to proceed expeditiously with the continuation of the public road through the project to link up with the Town of New Windsor land. As noted during the informal discussion, recommended sidewalks will be constructed along the entire frontage of the property. The infrastructure of the project will act as a catalyst in tying together the development of Route 300 and Union Avenue intersection which appears to be shaping up as the new "Hamlet of New Windsor". It is requested that the Planning Board and its advisors proceed with the review and scheduling so that this project may proceed with a minimum of delay. Expediting the completion of this project would most certainly assist the Town in its efforts of establishing desirable neighborhood standards through a project in place. Your attention to this matter in placing this project on your earliest available Planning Board agenda would be very much appreciated.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

KAD:lmm

cc: Jon Miller
Mark Edsall, P.E., Planning Board Engineer
George Green, Supervisor

88-41

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T.
O.C.H. O.C.P. WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by _____

Kartiganer Assoc. for the building or subdivision
of N.W. Business Park has been reviewed by me and
is approved

~~disapproved~~ _____

If disapproved, please list reason.

Water is available in this area

HIGHWAY SUPERINTENDENT

Stan D. D. D.

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
4 BURNETT BOULEVARD
POUGHKEEPSIE, N.Y. 12603

ALBERT E. DICKSON
REGIONAL DIRECTOR

FRANKLIN E. WHITE
COMMISSIONER

August 11, 1988

*HLK
KD
Let Jon White know about this*

Katherine A. Dewkett, P.E.
Kartiganer Associates, P.C.
Consulting Engineers
555 Route 94
Newburgh, New York 12550

RE: D500511, Route 300
Orange County

Dear Ms. Dewkett:

Receipt of your letter dated August 10, 1988, relative to the curb and sidewalk construction in the vicinity of the New Windsor Business Park along Route 300 is hereby acknowledged.

Please be advised that we concur with your request and by copy of this letter our Engineer-In-Charge is being directed to incorporate both the curb and sidewalk into the ongoing construction project.

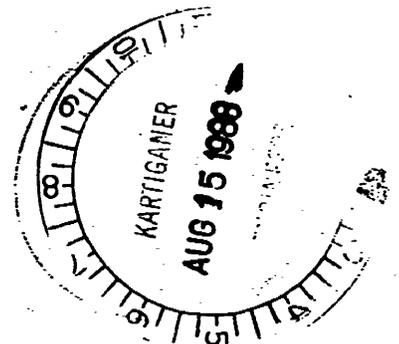
Very truly yours,

A. J. BAUMAN
REGIONAL CONSTRUCTION ENGINEER

By:

[Signature]
L. F. LEONARD
AREA CONSTRUCTION SUPERVISOR

AJB:LFL:ljs
CC: J. O'Malley, EIC



KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE (914) 562-4391

*Copy 3
File in
both files*

15 July 1988

Town of New Windsor
Planning Board
555 Union Avenue
New Windsor, New York 12550

ATTENTION: HENRY SCHIEBLE, CHAIRMAN

SUBJECT: AGENDA STATUS: 1. ROUTE 32 SHOPPING CENTER
2. NEW WINDSOR BUSINESS PARK ✓
DANIEL RUBIN CO. DEVELOPERS

88-41

Dear Henry:

The SUBJECT projects have been entered for Planning Board review on 28 June 1988. The Route 32 Shopping Center will require Zoning Board of Appeals review and adjudication subsequent to the Planning Board's formality in referring it to the ZBA. I am therefore requesting that this be placed on your earliest agenda so that the necessary ZBA documentation may move forward.

The New Windsor Business Park is a continuation of a project under construction which can supply the Town of New Windsor some fairly heavy rateables if the project can move along.

Your early attention to these matters for placement on the Planning Board agenda would be appreciated. Thank you for your past courtesies.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.



Herbert L. Kartiganer, P.E., L.S.
Project Principal in Charge

HLK:lmm

88-41

BUILDING INSPECTOR, P.B. ENGINEER, FIRE INSPECTOR, D.O.T. O.C.H. O.C.P.
WATER, SEWER, HIGHWAY REVIEW FORM: D. P. W.

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Kartigamer Engineers for the building or subdivision of
New Windsor Business Park has been
reviewed by me and is approved _____
disapproved _____.

If disapproved, please list reason.

Need additional information regarding sewer
lines to service property

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

~~_____
SANITARY SUPERINTENDENT~~

July 11, 1988
DATE

KARTIGANER ASSOCIATES, P. C.
CONSULTING ENGINEERS
555 ROUTE 94 NEW WINDSOR
NEWBURGH, NEW YORK
ZIP CODE: 12550 PHONE: (914) 562-4391

28 June 1988

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

PROJECT: NEW WINDSOR BUSINESS PARK
TOWN OF NEW WINDSOR - NYS ROUTE 300
K.A. JOB NO. 88016.00

SUBJECT: SKETCH PLAN/CONCEPT PLAN

Gentlemen:

Please find enclosed Applications for Subdivision/Site Plan and Proxy Statements for each parcel. This will complete our SUBJECT submission for the project. The sketch plan and Application Report were previously submitted via our 9 June 1988 correspondence.

Should you have any questions, please do not hesitate to contact me at your earliest convenience.

Very truly yours,

KARTIGANER ASSOCIATES, P.C.

Katherine Ann Dewkett

Katherine A. Dewkett, P.E.
Project Engineer

cc: J. Miller
KAD:lmm

RECEIVED

JUN 28 1988

TOWN ENGINEER'S OFFICE
TOWN OF NEW WINDSOR

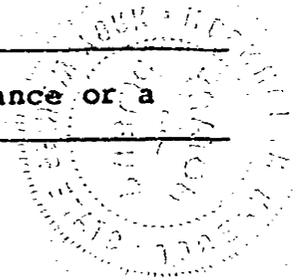
Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, LOT-LINE CHANGE
OR SUBDIVISION PLAN APPROVAL

1. Name of Project New Windsor Business Park
2. Name of Applicant New Windsor Business Park Assoc. Phone (718) 995-4577
Address 147-39 175th Street, Jamaica, New York 11434
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record New Windsor Business Park Assoc. Phone (718) 995-4577
Address 147-39 175th Street, Jamaica, New York 11434
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Kartiganer Associates, PC. Phone (914) 562-4391
Address 555 Blooming Grove Turnpike, New Windsor, New York 12550-7896
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Location: On the East side of Route 300
(Street)
1600 feet South
(Direction)
of Union Avenue
(Street)
7. Acreage of Parcel 5.49 AC 8. Zoning District PI
9. Tax Map Designation: Section 4 Block 2 Lots 15.1, 15.3
10. This application is for Subdivision / Site Plan Approval
11. Has the Zoning Board of Appeals granted any variance or a special permit concerning this property? No



If so, list Case No. and Name _____

12. List all contiguous holdings in the same ownership
Section 4 Block 2 Lot(s) 15.1, 15.3, & 16

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE
SS.:
STATE OF NEW YORK

_____ being duly sworn, deposes and says
that he resides at _____
in the County of _____ and State of _____
and that he is (the owner in fee) of _____
(Official Title)
of the Corporation which is the Owner in fee of the premises
described in the foregoing application and that he has authorized
_____ to make the foregoing
application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

24 day of June 1988

[Signature]
(Owner's Signature)

[Signature]
(Applicant's Signature)

[Signature]
Notary Public

(Title)

JOSEPH M. JOHNSON
Notary Public, State of New York
No. 444518107
Qualified in Nassau County
Commission Expires June 30, 1988

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, LOT-LINE CHANGE
OR SUBDIVISION PLAN APPROVAL

1. Name of Project New Windsor Business Park
2. Name of Applicant New Windsor Business Park Assoc Phone (718) 995-4577
Address 147-39 175th Street, Jamaica, New York 11434
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record New Windsor Business Park Assoc Phone (718) 995-4577
Address 147-39 175th Street, Jamaica, New York 11434
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Kartiganer Associates, PC Phone (914) 562-4391
Address 555 Blooming Grove Turnpike, New Windsor, New York 12550-7896
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Location: On the East side of Route 300
1600 feet South
(Direction)
of Union Avenue
(Street)
7. Acreage of Parcel 10.99
8. Zoning District PI
9. Tax Map Designation: Section 4 Block 2 Lot 16
10. This application is for Subdivision / Site Plan Approval
11. Has the Zoning Board of Appeals granted any variance or a special permit concerning this property? No

If so, list Case No. and Name _____

12. List all contiguous holdings in the same ownership
Section 4 Block 2 Lot(s) 15.1, 15.3 & 16

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

_____ being duly sworn, deposes and says
that he resides at _____
in the County of _____ and State of _____
and that he is (the owner in fee) of _____
(Official Title)
of the Corporation which is the Owner in fee of the premises
described in the foregoing application and that he has authorized
_____ to make the foregoing
application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

24 day of June 1988

[Signature]
(Owner's Signature)
[Signature]
(Applicant's Signature)

[Signature]
Notary Public

(Title)

Notary Public, State of New York
No. 14 4518107
Qualified in Nassau County
Commission Expires June 30, 1988

PROXY STATEMENT

for submittal to the

TOWN OF NEW WINDSOR PLANNING BOARD

Jonathan Miller deposes and says that he
resides at 305th 74th St NYC NY
(Owner's Address)

in the County of Manhattan
and State of NY

and that he is the owner in fee of Section 4, Block 2,
Lot 15.1 & 15.3, Town of New Windsor, New York

which is the premises described in the foregoing application and
that he has authorized Vortigamer Engineers
to make the foregoing application as described therein.

Date: 6.24 - 88

Jonathan Miller
(Owner's Signature)

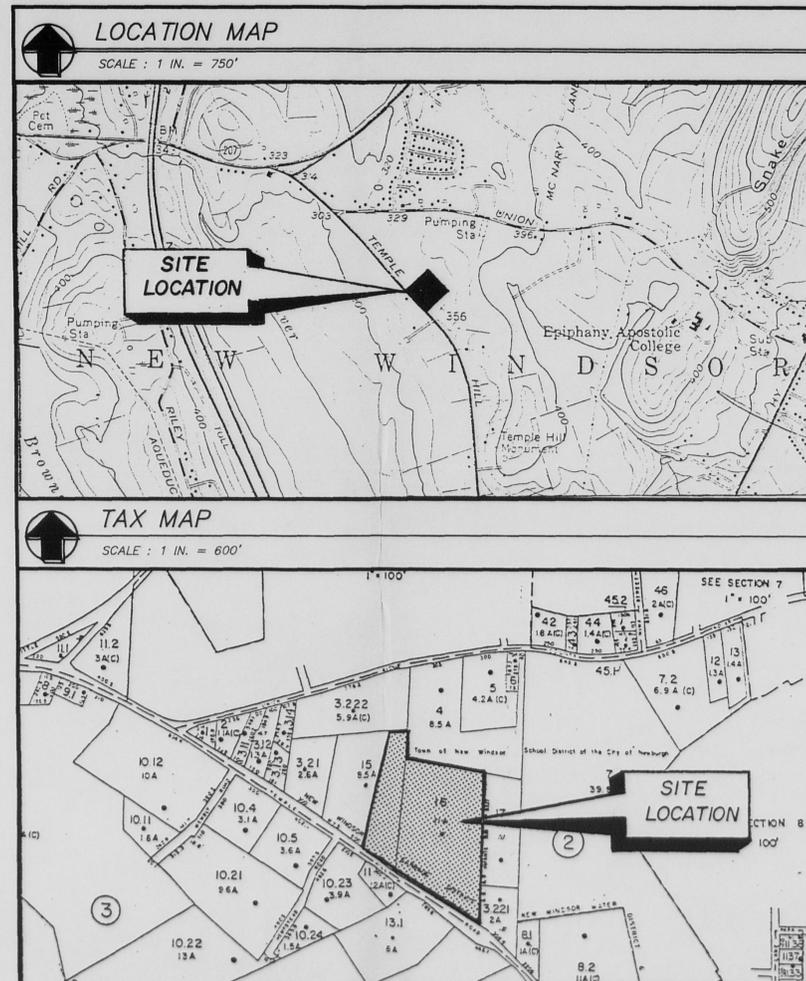
Barbara Miller
(Witness' Signature)

NEW WINDSOR BUSINESS PARK SUBDIVISION

ROUTE 300, NEW WINDSOR, ORANGE COUNTY, NEW YORK

DRAWING INDEX

| SHEET No. | DWG. No. | DESCRIPTION |
|-----------|----------|---|
| 1 | C | TITLE SHEET |
| 2 | S-1 | SUBDIVISION MASTER PLAN |
| 3 | S-2 | BOUNDARY SUBDIVISION & LOT LINE REVISIONS FOR LOTS (FORMERLY) 15.1 & 15.1.3 |
| 4 | S-3 | BOUNDARY SUBDIVISION & LOT LINE REVISION FOR LOT (FORMERLY) 16 |
| 5 | DR-1 | DRAINAGE & ROADWAY PLAN |
| 6 | P-2 | WATER MAIN EXTENSION & SANITARY SEWER PLAN |
| 7 | PR-1 | SEWER LINE PROFILE |
| 8 | WPR-1 | WATER LINE PROFILE |
| 9 | WD-2 | WATER EXTENSION DETAILS |
| 10 | D-1 | SANITARY & STORM WATER DETAILS |



SUBDIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON Jan 25, 1990
 BY Daniel C. McCarville
 DANIEL C. MCCARVILLE
 SECRETARY

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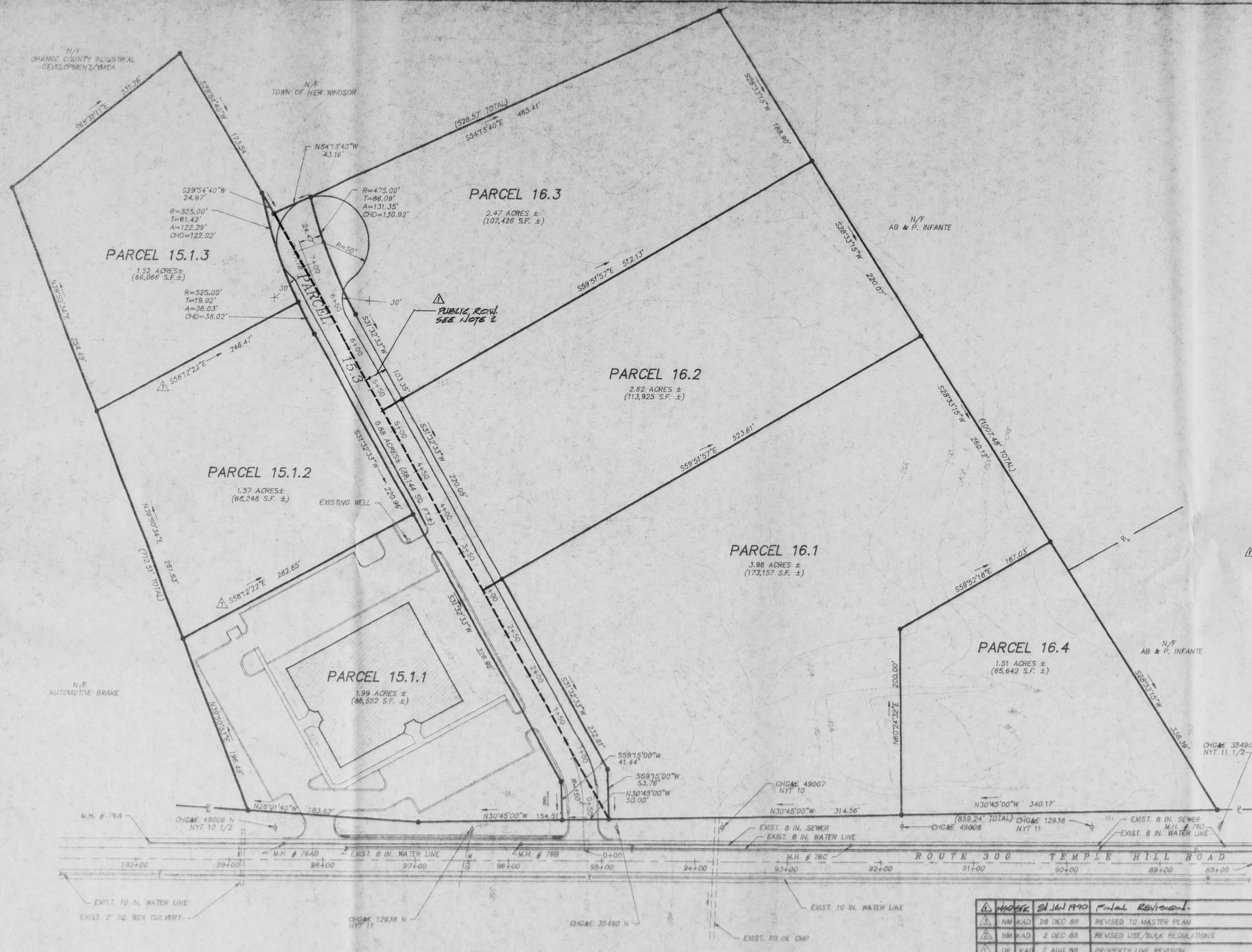
NEW WINDSOR BUSINESS PARK
 ROUTE 300, NEW WINDSOR, N.Y.
 DEVELOPER:
 NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
 147-39 175th ST., JAMAICA, N.Y. 11434
 DRAWN: N.M. SCALE: NTS
 CHECKED: H.L.K. DATE: 6 DEC 89

| REV | DR | CK | DATE | DESCRIPTION |
|-----|----|----|------|-------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

KARTIGANER ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

TITLE SHEET

DWG. NO. : c
 SHEET : 1
 OF : 7
 JOB NO : 88016.00



SITE INFORMATION

LOCATION : TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION :
1. SECTION #4 - BLOCK #2
LOT #15.1 & 15.3 5.49± ACRES

2. SECTION #4 - BLOCK #2
LOT 16 10.99± ACRES

TOTAL AREA : 16.48 ACRES
ZONED : PLANNED INDUSTRIAL (P.I.)
WATER DISTRICT : No. 5
SEWER DISTRICT : No. 7
UTILITIES : CENTRAL HUDSON G & E / N. Y. TELE.
SCHOOL DISTRICT : NEWBURGH CONSOLIDATED
FIRE DISTRICT : VAILS GATE
HIGHWAY : N.Y.S. D.O.T. NEWBURGH RESIDENCY

PERMITTED USES :
OFFICE BUILDINGS FOR BUSINESS & PROFESSIONAL OFFICES
(SEE P.I. USE/BULK REGULATION - COL. "A" - #14)

BULK REGULATIONS

| ITEM | REQUIRED |
|----------------------------------|------------------------------------|
| PERMITTED USES - OFFICE BUILDING | |
| LOT AREA | 40,000 S.F. (MIN.) |
| LOT WIDTH | 150' (MIN.) |
| FRONT YARD | 50' (MIN.) |
| SIDE YARD/TOTAL | 15'/40' (MIN.) |
| REAR YARD | 20' (MIN.) |
| FLOOR AREA RATIO | 0.6 (MAX.) |
| HEIGHT | 6 IN./FT. TO NEAREST PROPERTY LINE |
| PARKING | 1 SPACE/200 S.F. |

NOTES :

- BOUNDARY & TOPOGRAPHICAL SURVEY INFORMATION BASED UPON MAPS PREPARED BY PETER R. HUSTIS, L.L.S., OF BEACON, N.Y. LICENSE No. 49205, FOR NEW WINDSOR BUSINESS PARK "MAP OF SUBDIVISION & LOT LINE RE-ALIGNMENT" DATED APRIL 2, 1987, & "BOUNDARY & TOPOGRAPHICAL SURVEY" DATED APRIL 7, 1988
- OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR FOR A PUBLIC ROADWAY AND PUBLIC UTILITY RIGHT OF WAY (R.O.W.)

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SUBDIVISION PLAN
NEW WINDSOR BUSINESS PARK
SCALE : 1 IN. = 50'

| REV | DR | CK | DATE | DESCRIPTION |
|-----|----|-----|-----------|------------------------------|
| 1 | NM | KAD | 28 DEC 88 | REVISED TO MASTER PLAN |
| 2 | NM | KAD | 2 DEC 88 | REVISED USE/BULK REGULATIONS |
| 3 | OK | KAD | 2 AUG 88 | PROPERTY LINE REVISION |

NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.

DEVELOPER :
NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
147-39 175th ST., JAMAICA, N.Y. 11434

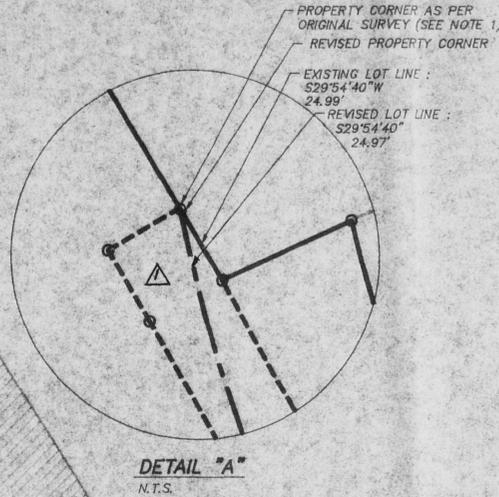
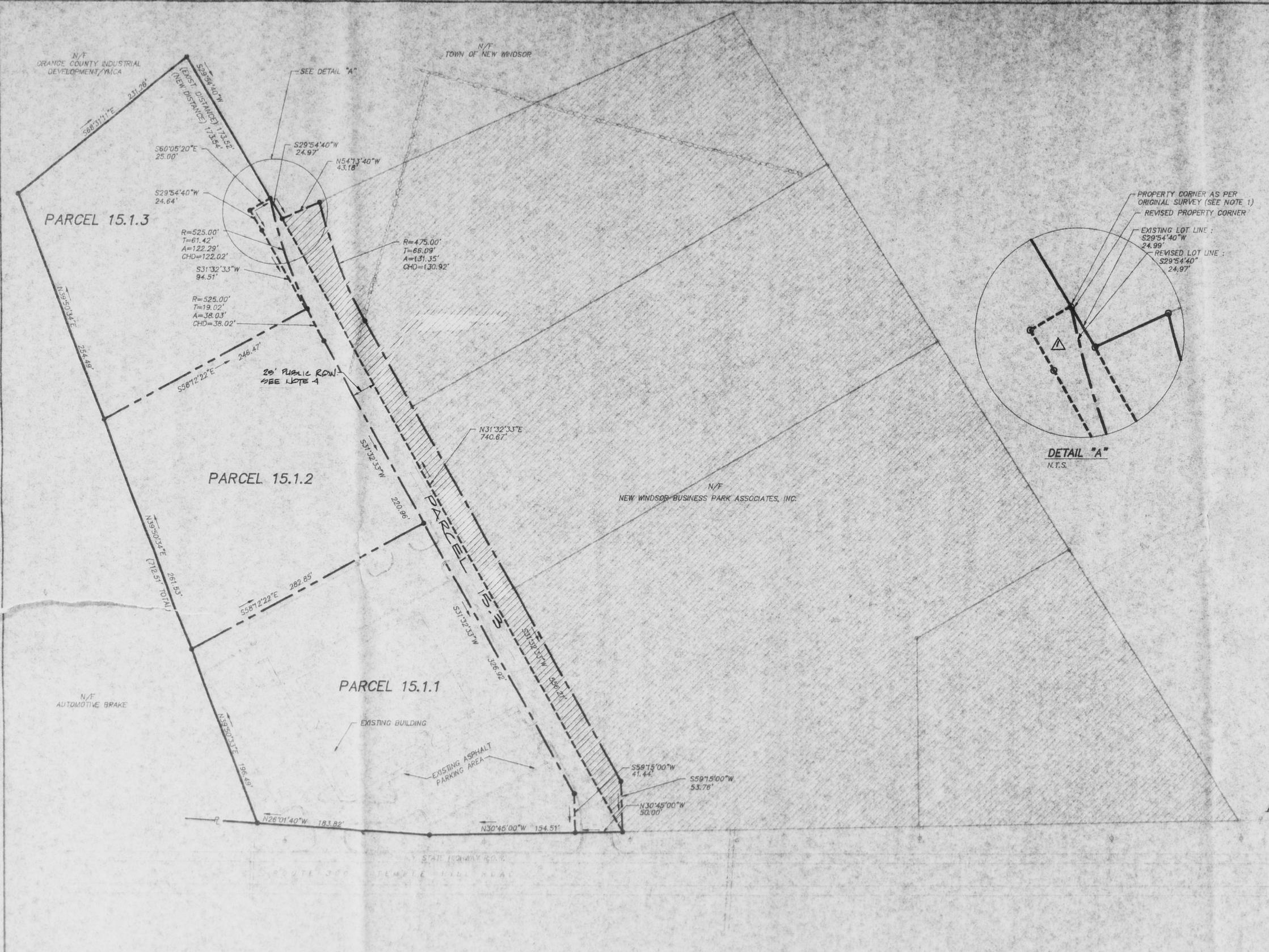
DRAWN : N.M. SCALE : 1 IN. = 50'
CHECKED : K.A.D. DATE : 19 MAY 1988

SUBDIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON: Jan 25, 1991
BY: Daniel C. McCarville
DANIEL C. MCCARVILLE
SECRETARY

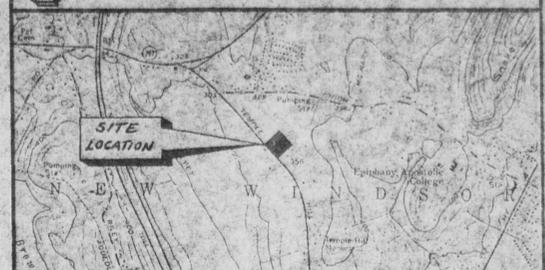
KARTIGANER ASSOCIATES, P.C.
CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

SUBDIVISION MASTER PLAN

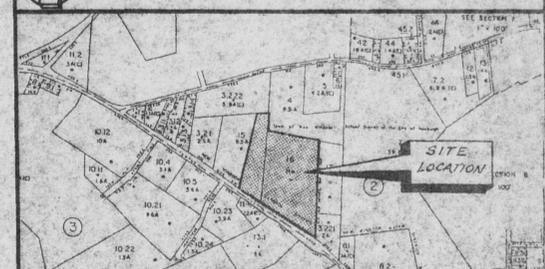
DWG. NO. : S-1
SHEET : 2
OF : 10
JOB NO. : 88016.00



LOCATION MAP
SCALE: 1 IN. = 1000'



TAX MAP LOCATION



SITE INFORMATION

LOCATION : TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION :
SECTION #4 - BLOCK #2
LOT #15.1 & #15.3

ZONED : PLANNED INDUSTRIAL (P-1)
WATER DISTRICT : No. 17
SEWER DISTRICT : No. 6

TABLE OF AREAS

| PARCEL No. | AREAS (ACRES) |
|------------|---------------|
| 15.1.3 | 1.52± |
| 15.1.2 | 1.57± |
| 15.1.1 | 1.99± |
| 15.3 | 0.88± |

NOTES :

- SURVEY DATA SHOWN IN ACCORDANCE WITH SUBDIVISION MAP ENTITLED "MAP OF SUBDIVISION & LOT LINE RE-ALIGNMENT FOR NEW WINDSOR BUSINESS PARK", DATED APRIL 2, 1987, PREPARED BY PETER R. HUSTIS L.L.S. (N.Y.S. LICENSE No. 49205) REVISED SUBDIVISION LOT LINES SUPERCEDES MAP FILED ORANGE COUNTY CLERK'S OFFICE, FILED ON : 14 AUG. 1987, MAP No. 8437
- TAX LOT DATA SHOWN IS IN ACCORDANCE WITH THE TAX ASSESSMENT MAP OF THE TOWN OF NEW WINDSOR.
- ADJOINING OWNERS ARE IN ACCORDANCE WITH THE TAX ASSESSMENT ROLLS OF THE TOWN OF NEW WINDSOR.
- PARCEL 15.3 IS OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR FOR A PUBLIC ROADWAY AND PUBLIC UTILITY RIGHT OF WAY (R.O.W.)
- PROPERTY SHOWN IS IN THE TOWN OF NEW WINDSOR PLANNED INDUSTRIAL (P-1) ZONE.
- SUBDIVISION IS A NON-RESIDENTIAL SUBDIVISION WITH WATER AND SEWER PROVIDED BY THE TOWN OF NEW WINDSOR.

APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON Jan 25, 1990
By Daniel C. McCarville
DANIEL C. MCCARVILLE
SECRETARY

| MAY 24 1990 FINAL REVISION | | | |
|----------------------------|----|-----|-------------|
| REV | DR | CHK | DESCRIPTION |
| | | | |

LEGEND

| | |
|--|----------------------------------|
| | EXISTING LOT LINES TO REMAIN |
| | EXISTING LOT LINES TO BE REMOVED |
| | NEW LOT LINES AS REVISED |
| | SUBDIVISION LOT LINES |

PARCEL 15 SUBDIVISION PLAN

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NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.

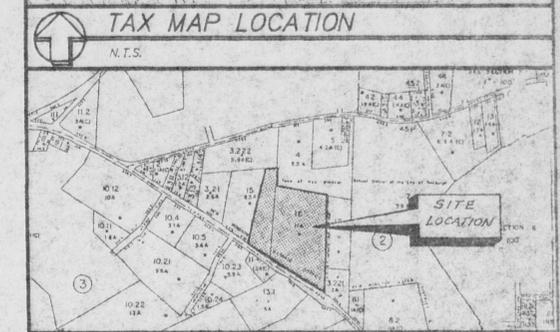
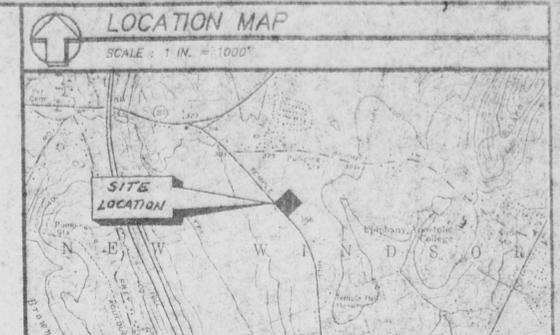
DEVELOPER :
NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
147-39 175th ST., JAMAICA, N.Y. 11434

DRAWN : N.M. SCALE : 1 IN. = 50'
CHECKED : HUK DATE : 3 AUGUST 1989

KARTIGANER ASSOCIATES, P.C.
CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

BOUNDARY SUBDIVISION & LOT LINE REVISIONS FOR LOTS (FORMERLY) 15.1 & 15.3

DWG. NO. : 5-2
SHEET : 3
OF : 10
JOB NO. : 8801E.00



SITE INFORMATION

LOCATION: TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION:
SECTION #4 - BLOCK #2
LOT 16

ZONED: PLANNED INDUSTRIAL (P-1)
WATER DISTRICT: No. 17
SEWER DISTRICT: No. 8

| PARCEL No. | AREAS (ACRES) |
|------------|---------------|
| 16.1 | 3.98± |
| 16.2 | 2.82± |
| 16.3 | 2.47± |
| 16.4 | 1.51± |

- NOTES:**
1. SURVEY SHOWN IN ACCORDANCE WITH SUBDIVISION MAP ENTITLED "BOUNDARY & TOPOGRAPHICAL SURVEY FOR NEW WINDSOR BUSINESS PARK" DATED 7 APRIL, 1988, PREPARED BY PETER R. HUSTIS, L.L.S. (N.Y.S. LICENSE NO. 49205).
 2. TAX LOT DATA SHOWN IS IN ACCORDANCE WITH THE TAX ASSESSMENT MAP OF THE TOWN OF NEW WINDSOR.
 3. ADJOINING OWNERS ARE IN ACCORDANCE WITH THE TAX ASSESSMENT ROLLS OF THE TOWN OF NEW WINDSOR.
 4. PROPERTY SHOWN IS IN THE TOWN OF NEW WINDSOR PLANNED INDUSTRIAL (P-1) ZONE.
 5. SUBDIVISION IS A NON-RESIDENTIAL SUBDIVISION WITH WATER AND SEWER SERVICE PROVIDED BY THE TOWN OF NEW WINDSOR.
 6. OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR FOR A PUBLIC ROAD-WAY AND PUBLIC UTILITY RIGHT OF WAY (ROW).
- SUBDIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON August 1990
 BY Daniel C. McCarville
 DANIEL C. MCCARVILLE
 SECRETARY

LEGEND

| | |
|--|----------------------------------|
| | EXISTING LOT LINES TO REMAIN |
| | EXISTING LOT LINES TO BE REMOVED |
| | NEW LOT LINES AS REVISED |
| | SUBDIVISION LOT LINES |

PARCEL 16 SUBDIVISION PLAN

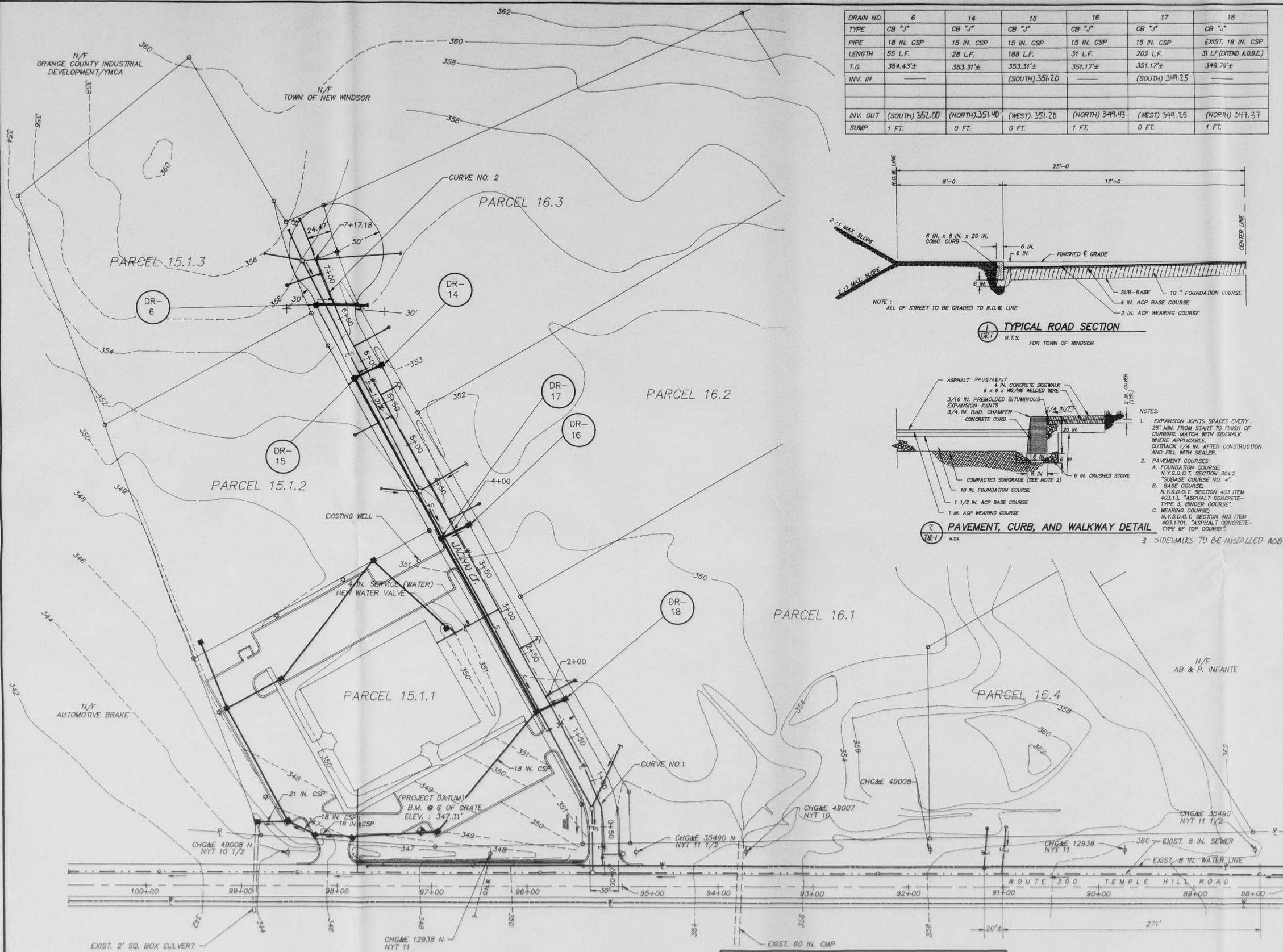
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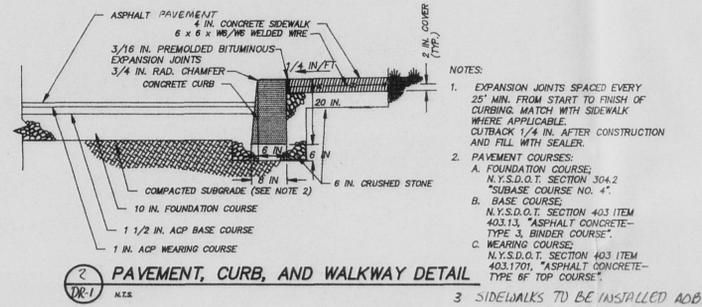
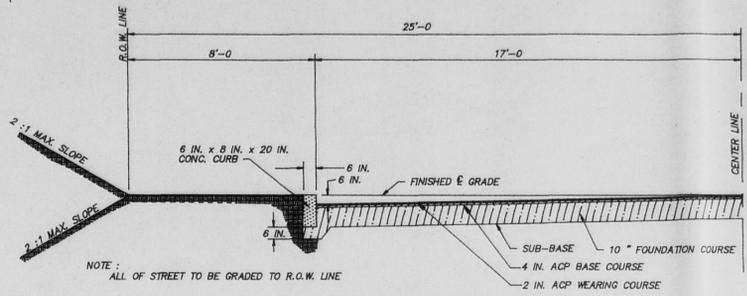
NEW WINDSOR BUSINESS PARK
 ROUTE 300, NEW WINDSOR, N.Y.
 DEVELOPER:
 NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
 147-39 175th ST., JAMAICA, N.Y. 11434
 DRAWN: N.M. SCALE: 1 IN. = 90'
 CHECKED: H.K. DATE: 11.3 AUG. 1989

KARTIGANER ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550
BOUNDARY SUBDIVISION & LOT LINE REVISIONS FOR LOT (FORMERLY) 16
 DWG. NO.: S-J
 SHEET: 4
 OF: 10
 JOB NO.: 88016.00

| REV | DR | CK | DATE | DESCRIPTION |
|-----|----|----|------|-------------|
| | | | | |
| | | | | |



| DRAIN NO. | 6 | 14 | 15 | 16 | 17 | 18 |
|-----------|----------------|----------------|----------------|----------------|----------------|---------------------------|
| TYPE | CB "J" |
| PIPE | 18 IN. CSP | 15 IN. CSP | 15 IN. CSP | 15 IN. CSP | 15 IN. CSP | EXIST. 18 IN. CSP |
| LENGTH | 55 L.F. | 28 L.F. | 188 L.F. | 31 L.F. | 202 L.F. | 31 L.F. (EXTEND A.O.B.E.) |
| T.G. | 354.43'± | 353.31'± | 353.31'± | 351.17'± | 351.17'± | 349.79'± |
| INV. IN | | | (SOUTH) 351.20 | | (SOUTH) 349.25 | |
| INV. OUT | (SOUTH) 352.00 | (NORTH) 351.40 | (WEST) 351.20 | (NORTH) 349.43 | (WEST) 349.25 | (NORTH) 347.37 |
| SUMP | 1 FT. | 0 FT. | 0 FT. | 1 FT. | 0 FT. | 1 FT. |



GENERAL NOTES

1. TOPOGRAPHIC INFORMATION AND SURVEY DATUM FROM SURVEYS PREPARED BY PETER L. HUSTIS, L.S., N.Y.S. LICENSE NO. 49205, FOR NEW WINDSOR BUSINESS PARK, DATED 2 APRIL 1987 AND 7 APRIL 1988.
2. PROJECT DATUM IS 4.04 FT. HIGHER THAN USGS DATUM.
3. ELEVATIONS OF EXISTING M.H. INVERTS ARE PER FIELD SURVEY AND CORRECTED TO PROJECT DATUM.
4. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS OF 8 MAY 1989. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT AND CO-ORDINATE WITH ALL UTILITY COMPANIES. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. ALL DISTURBED OR DAMAGED AREAS SHALL BE RESTORED AND/OR REPLACED TO MATCH OR EXCEED PRE-EXISTING CONDITIONS, AND COMPLY WITH ANY APPLICABLE CONTRACT DETAILS.
6. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED PERMITS AS REQUIRED BY THE TOWN OF NEW WINDSOR AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION.

SUBDIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON Jan 25, 1990
 BY Daniel C. McCarville
 DANIEL C. MCCARVILLE
 SECRETARY

LEGEND

- NEW ELECTRIC LINES
- NEW GAS LINE
- NEW 8 IN. PVC WATER LINE
- EXISTING 8 IN. WATER LINE
- NEW 8 IN. PVC SANITARY SEWER LINE
- EXISTING 8 IN. SANITARY SEWER LINE
- EXISTING PRIVATE PIPELINE
- NEW MANHOLES
- EXISTING MANHOLES
- NEW FIRE HYDRANT
- TYPICAL WATER VALVE
- EXISTING LIGHT POLE
- NEW CATCH BASINS
- DR-10 DRAIN NUMBER

CURVE DATA

| | |
|--------------------|--------------------|
| CURVE NO. 1 | CURVE NO. 2 |
| PC = 0+47.98 | PC = 6+31.58 |
| PT = 1+20.52 | PT = 7+17.18 |
| = 27'42"27" | = 9'48"33.47" |
| D = 38'11"49.87" | D = 11'27"32.96" |
| R = 150.00' | R = 500.00' |
| L = 72.54' | L = 85.60' |
| T = 36.99' | T = 42.91' |

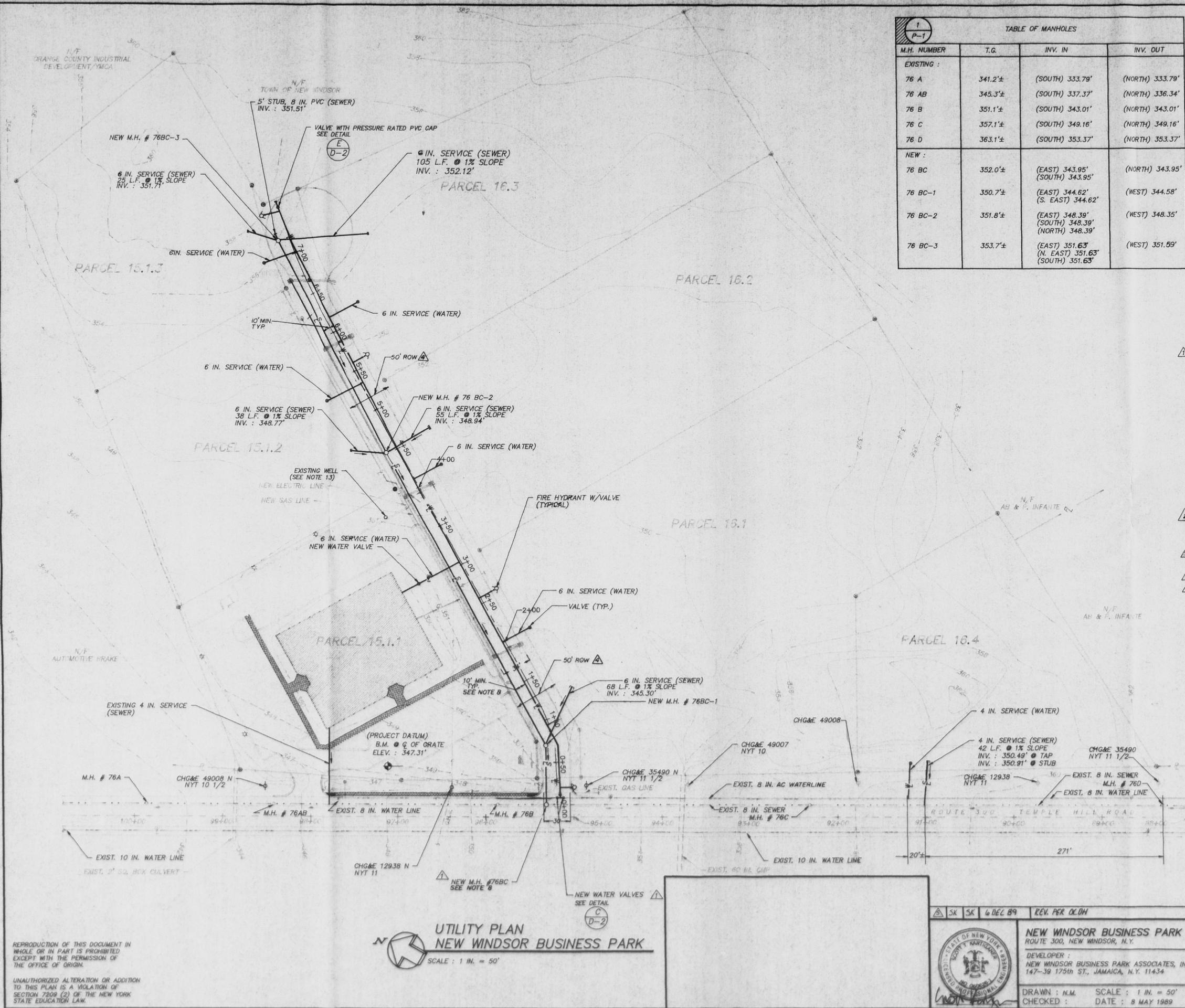
PLAN
NEW WINDSOR BUSINESS PARK
 SCALE : 1 IN. = 50'

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NEW WINDSOR BUSINESS PARK
 ROUTE 300, NEW WINDSOR, N.Y.
 DEVELOPER : NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
 147-39 175th ST., JAMAICA, N.Y. 11434
 DRAWN : N.M. SCALE : 1 IN. = 50'
 CHECKED : S.T.K. DATE : 8 MAY 1989

KARTIGANER ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550
DRAINAGE AND ROADWAY PLAN
 DWG. NO. : DR-1
 SHEET : 6
 OF : 10
 JOB NO : 88016.00

| REV | DR | CK | DATE | DESCRIPTION |
|-----|----|----|------------|---|
| 2 | SK | SK | 6 DEC 89 | TYP. ROAD SECTION |
| 1 | NM | KD | 26 JUNE 89 | ADDED ADDITIONAL VALVES ALONG EXIST. WATER LINE |



| TABLE OF MANHOLES | | | |
|-------------------|---------|--|-----------------|
| M.H. NUMBER | T.G. | INV. IN | INV. OUT |
| EXISTING : | | | |
| 76 A | 341.2'± | (SOUTH) 333.79' | (NORTH) 333.79' |
| 76 AB | 345.3'± | (SOUTH) 337.37' | (NORTH) 336.34' |
| 76 B | 351.1'± | (SOUTH) 343.01' | (NORTH) 343.01' |
| 76 C | 357.1'± | (SOUTH) 349.16' | (NORTH) 349.16' |
| 76 D | 363.1'± | (SOUTH) 353.37' | (NORTH) 353.37' |
| NEW : | | | |
| 76 BC | 352.0'± | (EAST) 343.95' (SOUTH) 343.95' | (NORTH) 343.95' |
| 76 BC-1 | 350.7'± | (EAST) 344.62' (S. EAST) 344.62' | (WEST) 344.58' |
| 76 BC-2 | 351.8'± | (EAST) 348.39' (SOUTH) 348.39' (NORTH) 348.39' | (WEST) 348.35' |
| 76 BC-3 | 353.7'± | (EAST) 351.63' (N. EAST) 351.63' (SOUTH) 351.63' | (WEST) 351.59' |

- ### GENERAL NOTES
- TOPOGRAPHIC INFORMATION AND SURVEY DATUM FROM SURVEYS PREPARED BY PETER L. HUSTIS, L.S., N.Y.S. LICENSE NO. 49205, FOR NEW WINDSOR BUSINESS PARK, DATED 2 APRIL 1987 AND 7 APRIL 1988.
 - PROJECT DATUM IS 4.04 FT. HIGHER THAN USGS DATUM.
 - ELEVATIONS OF EXISTING M.H. INVERTS ARE PER FIELD SURVEY AND CORRECTED TO PROJECT DATUM.
 - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS OF 8 MAY 1989. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT AND CO-ORDINATE WITH ALL UTILITY COMPANIES. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - NEW WATER VALVES ON MAIN INSTALLED AT THE REQUEST OF THE TOWN OF NEW WINDSOR.
 - ALL INSTALLATIONS FOR WATER AND SEWER LINES PER TOWN OF NEW WINDSOR STANDARDS AND SPECIFICATIONS FOR WATER AND SEWER LINES. CONTRACTOR MUST PAY PARTICULAR ATTENTION TO STANDARDS FOR HYDRANTS AND MANHOLE COVERS. PRIOR TO INSTALLATION CONTRACTOR SHALL VERIFY WITH WATER SUPERINTENDENT AND SUPERINTENDENT OF SANITATION OF THE TOWN OF NEW WINDSOR THE SPECIFICATIONS OF SAID HYDRANTS AND CAST MANHOLES.
 - NEW PVC WATER LINE WORKING PRESSURE CLASS IS 150 PSI.
 - MINIMUM COVER OVER WATER LINE IS 4'-6" MIN. DIST. BTWN WATERLINE TO SEWER &/OR APPURTANCES IS 10".
 - ALL DISTURBED OR DAMAGED AREAS SHALL BE RESTORED AND/OR REPLACED TO MATCH OR EXCEED PRE-EXISTING CONDITIONS, AND COMPLY WITH ANY APPLICABLE CONTRACT DETAILS.
 - THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED PERMITS AS REQUIRED BY THE TOWN OF NEW WINDSOR AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION.
 - MINIMUM BUILDING SEPARATION SHALL BE 100 FEET.
 - CROSS DRAINS SHOWN FOR INFORMATION PURPOSES ONLY. SEE DRAINAGE PLAN FOR DESIGN DATA.
 - THE EXISTING WELL IS USED FOR THE AUTOMATIC SPRINKLER SYSTEM AND IS NOT CONNECTED, NOR SHALL BE CONNECTED WITH THE MUNICIPAL WATER SYSTEM IN ANY WAY.
 - BUILDINGS ON THE INDIVIDUAL LOTS WILL BE DESIGNED ON THE BASIS OF AVAILABLE FIRE FLOW. AVAILABLE FIRE FLOW TO BE USED FOR DESIGN IS 605 GPM UNLESS OTHERWISE DEMONSTRATED IN THE FIELD.
- SUBDIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON Jan 25, 1990
BY Daniel C. McCarville
DANIEL C. MCCARVILLE
SECRETARY

LEGEND

| | |
|--|--|
| | NEW ELECTRIC LINES |
| | NEW GAS LINE |
| | NEW WATER LINE |
| | EXISTING WATER LINE |
| | NEW SANITARY SEWER LINE |
| | EXISTING SANITARY SEWER LINE |
| | NEW STORM SEWER CROSS DRAINS (SEE NOTE 12) |
| | NEW MANHOLES |
| | EXISTING MANHOLES |
| | NEW FIRE HYDRANT |
| | NEW WATER VALVE |
| | EXISTING WATER VALVE |
| | EXISTING LIGHT POLE |

| | | | | |
|-----|-----|-------------|---|-------------|
| MSO | STK | 1 NOV 89 | REV AS PER N.Y.S.D.E.C. | |
| NM | SK | 20 OCT. 89 | REV. PER MEETING 19 OCT. 89 O.C.H.D. | |
| NM | KD | 26 SEPT. 89 | REV. PER 15 SEPT. 89 O.C.H.D. COMMENTS | |
| NM | KD | 26 JUNE 89 | ADDED ADDITIONAL VALVES ALONG EXIST. WATER LINE | |
| REV | DR | CK | DATE | DESCRIPTION |

NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.

DEVELOPER:
NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
147-39 175th ST., JAMAICA, N.Y. 11434

DRAWN: N.M. SCALE: 1 IN. = 50'
CHECKED: DATE: 8 MAY 1989

KARTIGANER ASSOCIATES, P.C.
CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

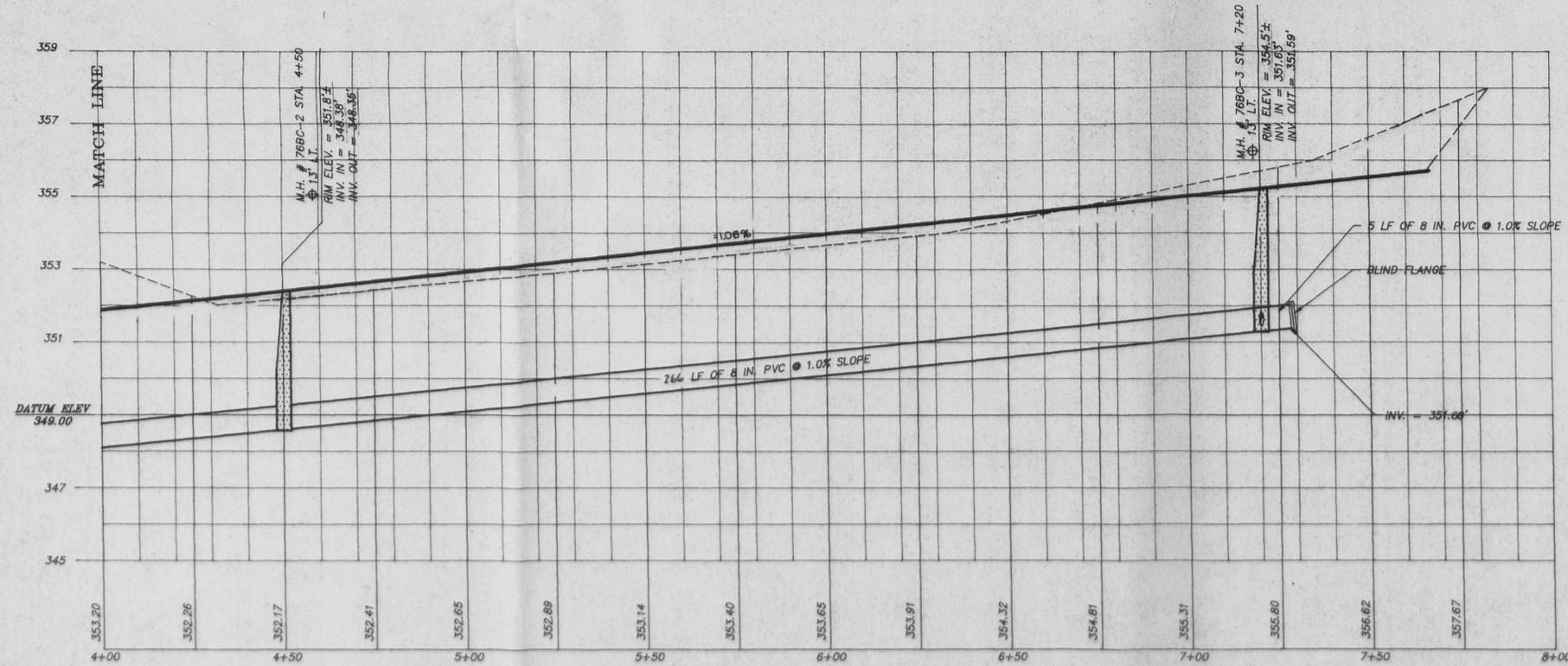
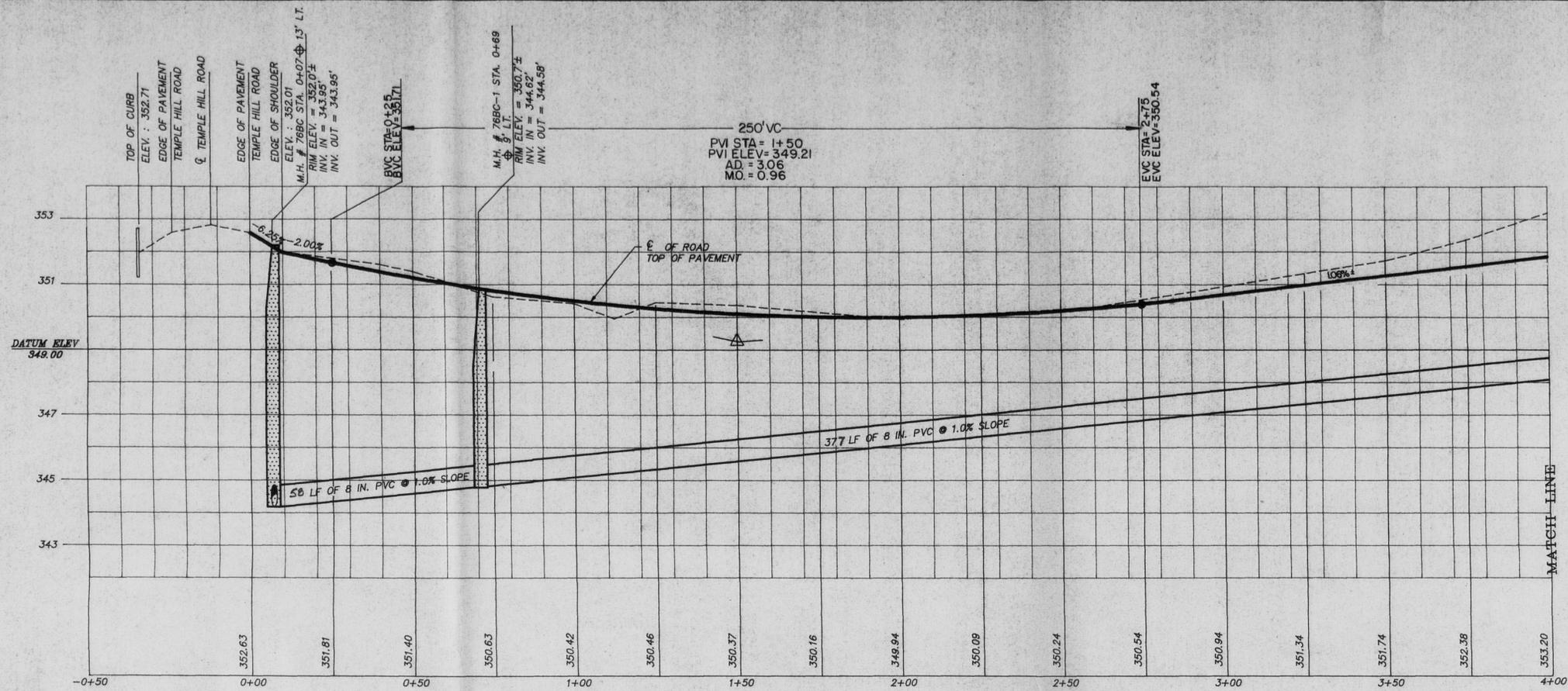
WATER MAIN EXTENSION & SANITARY SEWER PLAN

DWG. NO.: P-2
SHEET: 6
OF: 10
JOB NO.: 88016.00

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UTILITY PLAN
NEW WINDSOR BUSINESS PARK
SCALE: 1 IN. = 50'



SUBDIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON Jan 25, 1990
 BY Daniel C. McCarville
 DANIEL C. MCCARVILLE
 SECRETARY

| REV | DR | CK | DATE | DESCRIPTION |
|-----|-----|-----|-------------|--------------------------|
| 2 | SK | SK | 10 NOV 1989 | PIPE LENGTH REVISION |
| 1 | MSO | STK | 1 NOV 1989 | REV. AS PER N.Y.S.D.E.C. |

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 SECTION 7209 (2) OF THE NEW YORK
 STATE EDUCATION LAW.

1 PROPOSED SEWER LINE PROFILE
 PR-1

SCALE: HORIZONTAL - 1 IN. = 20'
 VERTICAL - 1 IN. = 2'



NEW WINDSOR BUSINESS PARK
 ROUTE 300, NEW WINDSOR, N.Y.

DEVELOPER:
 NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
 147-39 175th ST., JAMAICA, N.Y. 11434

DRAWN: N.M. SCALE: AS SHOWN
 CHECKED: K.A.D. DATE: 8 MAY 1989

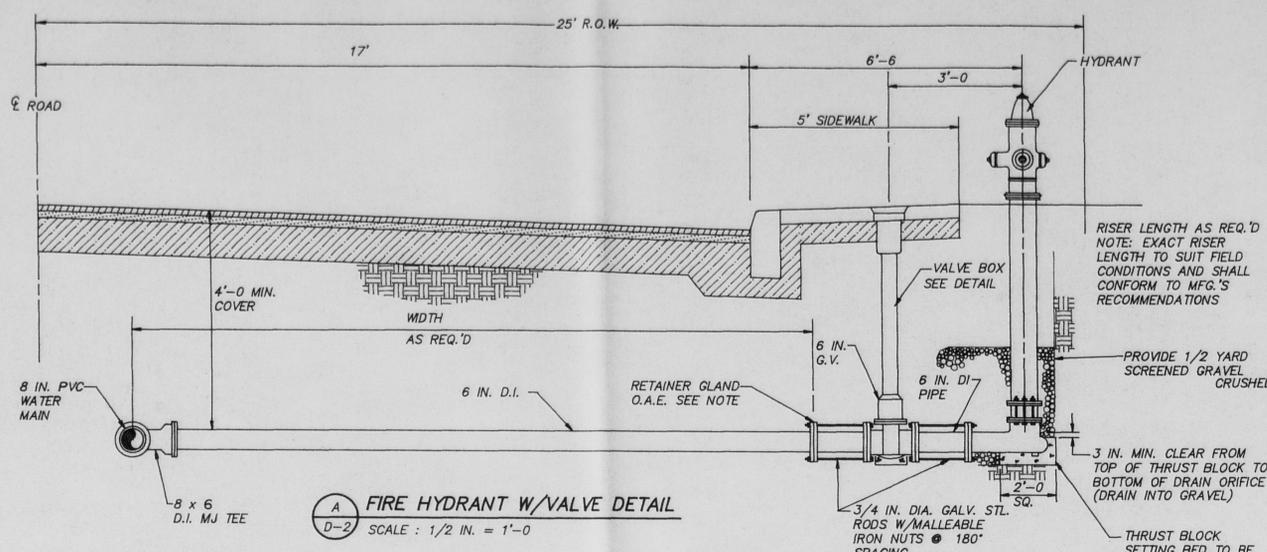
KARTIGANER ASSOCIATES, P.C.
 CONSULTING ENGINEERS
 555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

PROPOSED SEWER LINE
 PROFILE

DWG. NO.: PR-1
 SHEET: 7
 OF: 10
 JOB NO.: 88016.00

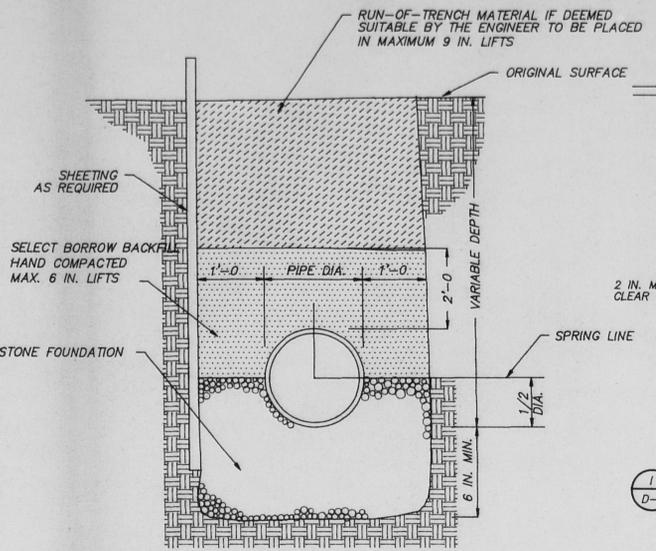
NOTES :

1. ALL TRENCHES (BOTTOM AND SIDES) TO BE WELL COMPACTED PRIOR TO POURING OF CONCRETE THRUST BLOCKS.
2. ALL PLUGS TO WITHSTAND TEST PRESSURE OF 300 PSI.
3. SHEETING REQUIRED WHERE DEPTH OF EXCAVATION EXCEEDS 5' OR AS DIRECTED BY THE ENGINEER.
4. THRUST BLOCKS TO BE USED FOR ALL TEES, WYES AND BENDS.
5. ALL VALVES WILL BE INSTALLED WITH MECHANICAL JOINTS (M.J.) FITTINGS UNLESS OTHERWISE SHOWN.
6. TYPE 3 CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI.



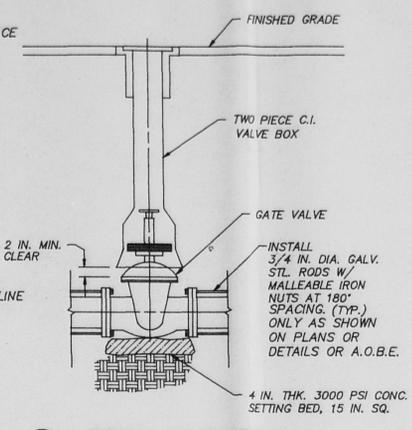
A FIRE HYDRANT W/VALVE DETAIL
D-2 SCALE : 1/2 IN. = 1'-0

NOTE: TIE RODS MAY BE EXTENDED TO TEE IN MAIN IN LIEU OF RETAINER GLANDS AND RODS.

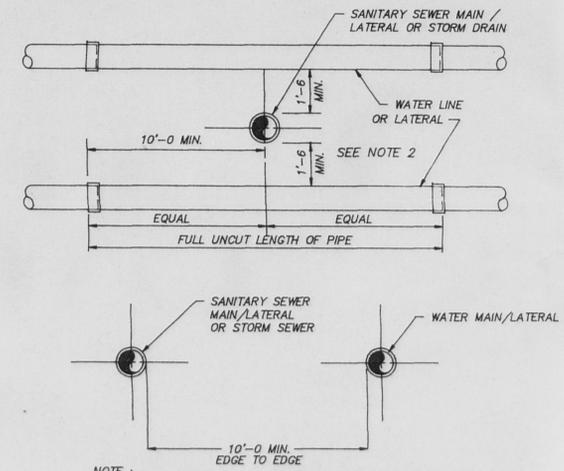


C EXCAVATION & BACKFILL DETAIL
D-1 N.T.S.

NOTE: SHEETING REQUIRED WHERE DEPTH OF EXCAVATION EXCEEDS 5' OR AS DIRECTED BY THE ENGINEER.

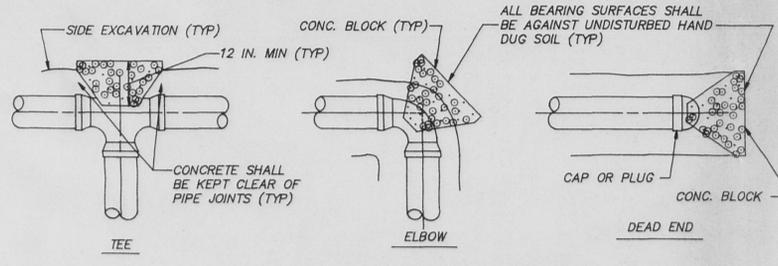


I TYPICAL VALVE DETAIL
D-2 N.T.S.



NOTE:
1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
2. WHERE WATERLINE IS WITHIN 1'-6" AND GREATER THAN 6" IN. FROM A SANITARY SEWER OR A STORM SEWER THE WATERMAIN SHALL BE ENCASED IN CONCRETE WITH A MIN. OF 6" COVER TO THE PIPE 11'-6" EITHER SIDE OF THE INTERSECTION OF THE LINES OR A MINIMUM OF 18" PAST ONE JOINT CONNECTION WHICHEVER IS GREATER. WHERE THE INTERSECTION IS WITHIN 6" IN. THEN A WATERLINE OFFSET IS REQUIRED. SEE DETAIL F

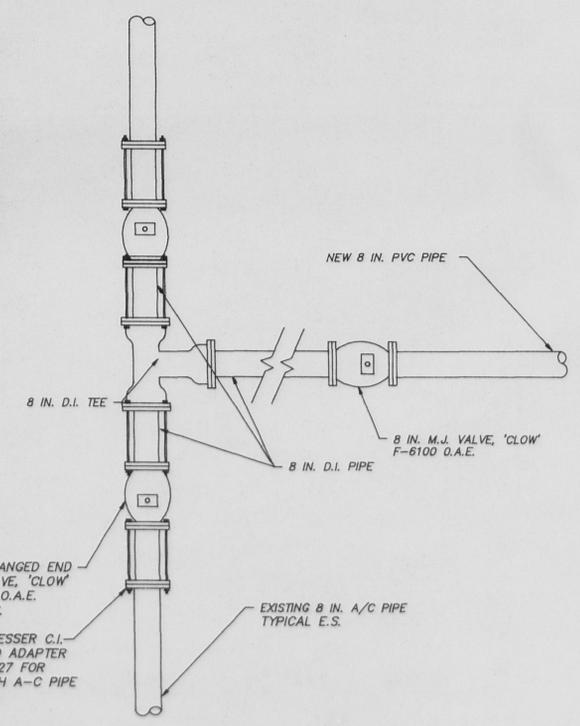
J WATER MAIN SEPARATION DETAIL
D-2 N.T.S.



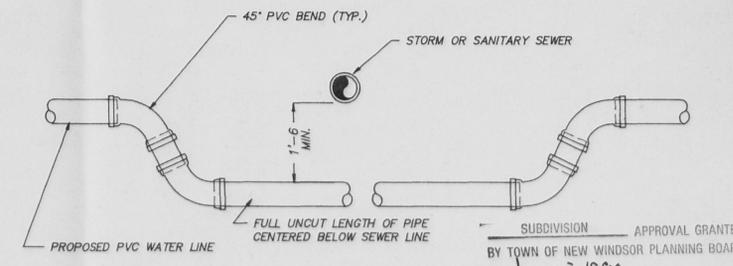
H TYPICAL THRUST BLOCK INSTALLATION DETAILS
D-2 N.T.S.

| PIPE SIZE | MINIMUM BEARING AREAS IN DIRECTION OF THRUST IN SQUARE FEET | | | |
|-----------|---|-----------|-----------|---------------|
| | TEES & DEAD ENDS | 90° ELBOW | 45° ELBOW | 22" 1/2 ELBOW |
| 3" OR 4" | 1.3 | 1.0 | 0.6 | 0.3 |
| 6" | 2.9 | 2.0 | 1.0 | 0.6 |
| 8" | 5.1 | 3.6 | 2.0 | 1.0 |
| 10" | 7.9 | 5.6 | 3.0 | 1.6 |

NOTE: BEARING AREAS ARE CALCULATED FOR 150 PSI TEST PRESSURE AND 3000 PSF ALLOWABLE SOIL BEARING. CONTRACTOR MUST ACCESS SOIL CONDITIONS AND PROVIDE BLOCKING WHICH WILL WITHSTAND TEST PRESSURES.

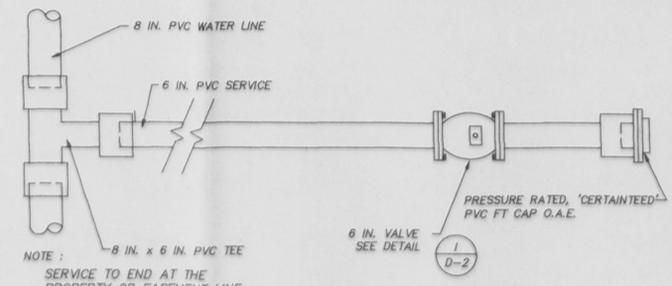


C PLAN - CONNECT TO EXISTING WATER MAIN
D-2 N.T.S.



F WATER LINE OFFSET DETAIL
D-2 N.T.S.

APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON Jan 25, 1990 BY Daniel C. McCarville SECRETARY



E WATER SERVICE DETAIL
D-2 N.T.S.

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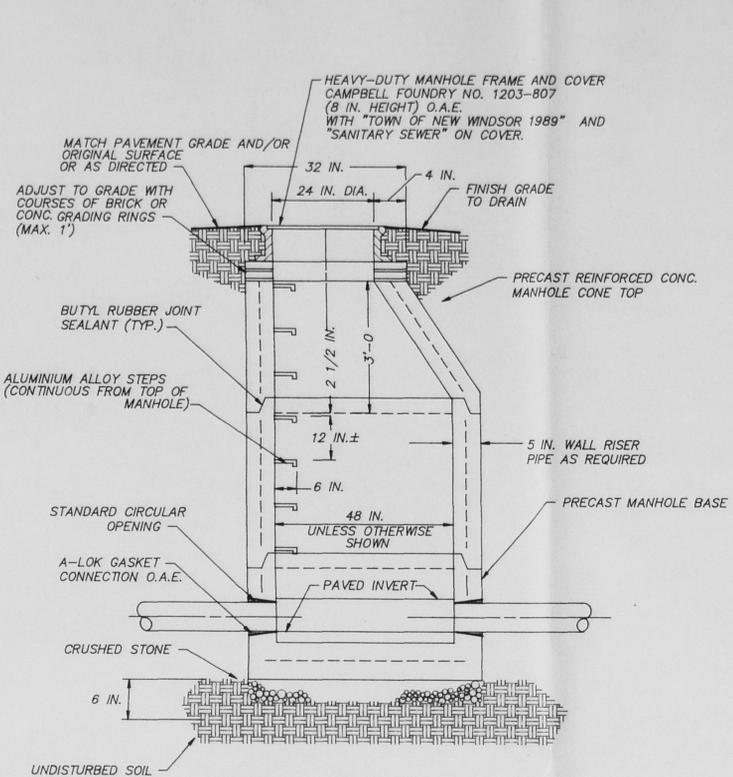
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| REV | DR | CK | DATE | DESCRIPTION |
|-----|-----|-----|-------------|---------------------------------------|
| 3 | MSO | STK | 6 DEC 1989 | REV. PER 1 DEC 1989 O.C.H.D. COMMENTS |
| 3 | NM | KD | 25 SEPT. 89 | REV. PER 15 SEPT. O.C.H.D. COMMENTS |
| 2 | NM | KD | 24 JULY 89 | REV. PER 20 JULY 1989 COMMENTS |
| 1 | NM | KD | 26 JUNE 89 | REV. PER 13 JUNE 1989 COMMENTS |



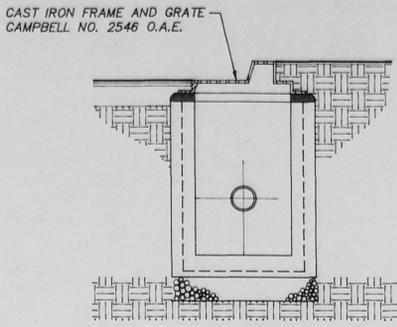
NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.
DEVELOPER : NEW WINDSOR BUSINESS PARK ASSOCIATES, INC. 147-39 175th ST., JAMAICA, N.Y. 11434
DRAWN : MSO SCALE : AS SHOWN
CHECKED : STK DATE : 8 MAY 1989

KARTIGANER ASSOCIATES, P.C. CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550
WATER EXTENSION DETAILS
DWG. NO. : WD-2
SHEET : 9
OF : 10
JOB NO : 88016.00

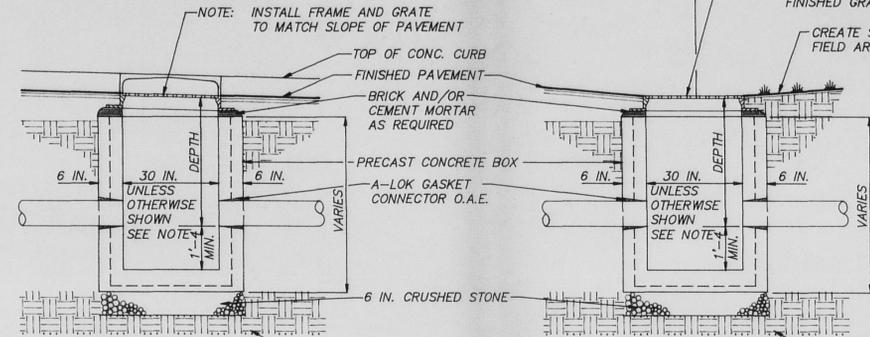


A TYPICAL MANHOLE SECTION
D-1 N.T.S.

NOTE: WHEN MANHOLE DEPTH RESTRICTS THE USE OF A TRANSITION SECTION AND/OR A CONE, USE A PRECAST FLAT TOP MANHOLE.



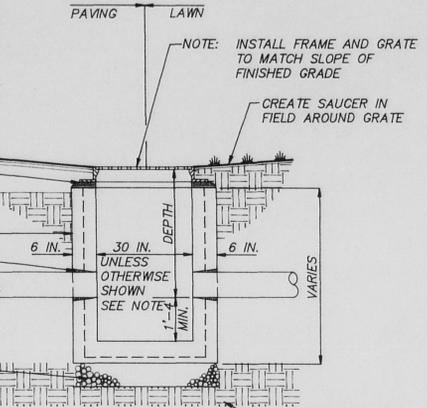
SIDE SECTION



FRONT SECTION

B TYPICAL CATCH BASIN W/ CURB INLET
D-1 N.T.S.

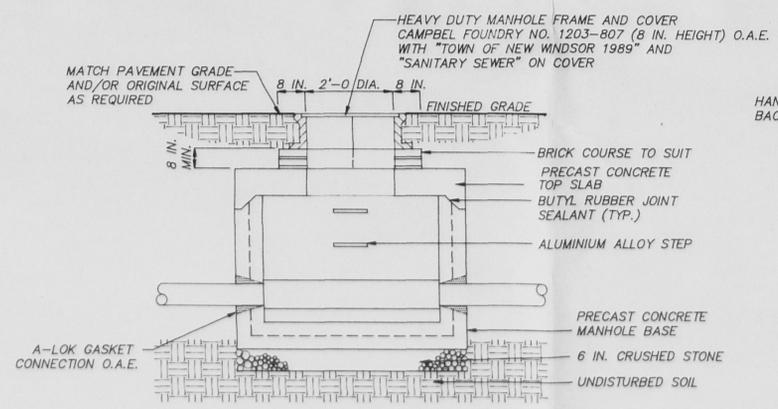
NOTE: SHALL MEET THE REQUIREMENTS OF THE N.Y.S.D.O.T. SPEC. 706.04. CATCH BASIN TYPE "J" UNLESS OTHERWISE SHOWN ON PLAN.



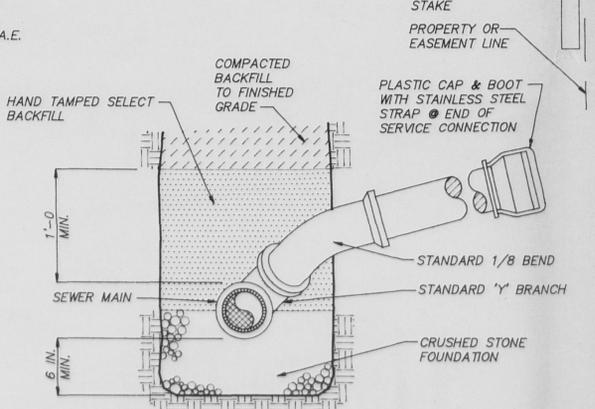
FRONT SECTION

B TYPICAL CATCH BASIN
D-1 N.T.S.

NOTE: SHALL MEET THE REQUIREMENTS OF THE N.Y.S.D.O.T. SPEC. 706.04. CATCH BASIN TYPE "A" UNLESS OTHERWISE SHOWN ON PLAN.

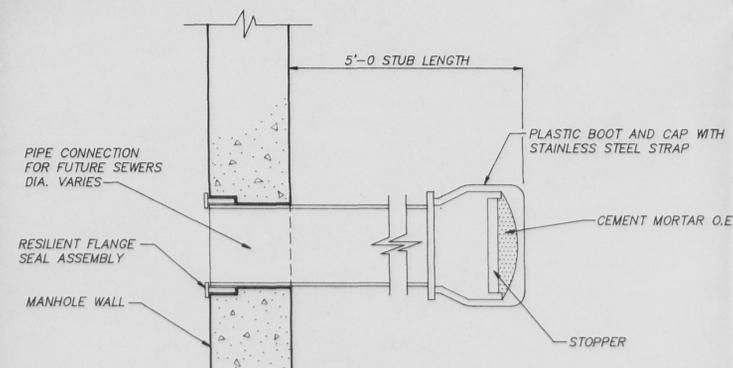


E FLAT TOP MANHOLE DETAIL
D-1 N.T.S.

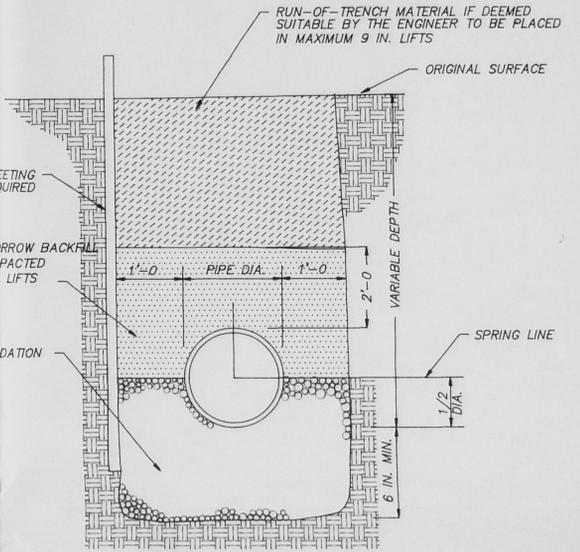


F TYPICAL SANITARY SEWER LATERAL
D-1 N.T.S.

NOTE: SERVICE CONNECTIONS ARE TO BE INSTALLED AT A MINIMUM GRADE OF 1% UNLESS OTHERWISE ORDERED BY THE ENGINEER.

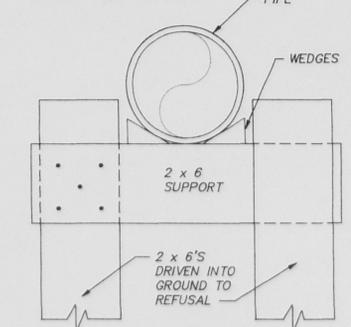


G STUB DETAIL
D-1 N.T.S.

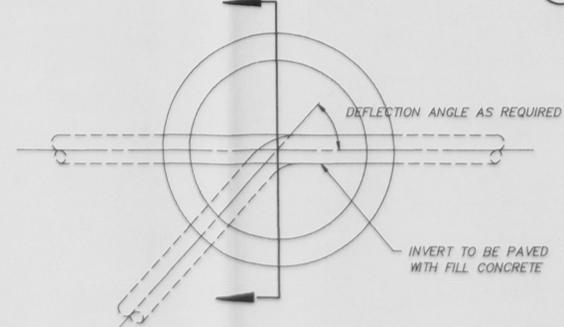


C EXCAVATION & BACKFILL DETAIL
D-1 N.T.S.

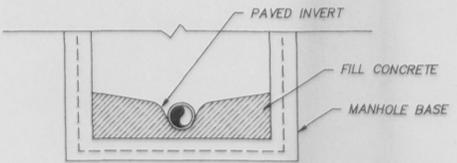
NOTE: SHEETING REQUIRED WHERE DEPTH OF EXCAVATION EXCEEDS 5' OR AS DIRECTED BY THE ENGINEER.



D SADDLE PILES
D-1 N.T.S.



PLAN



SECTION

I PAVED MANHOLE INVERT DETAIL
D-1 N.T.S.

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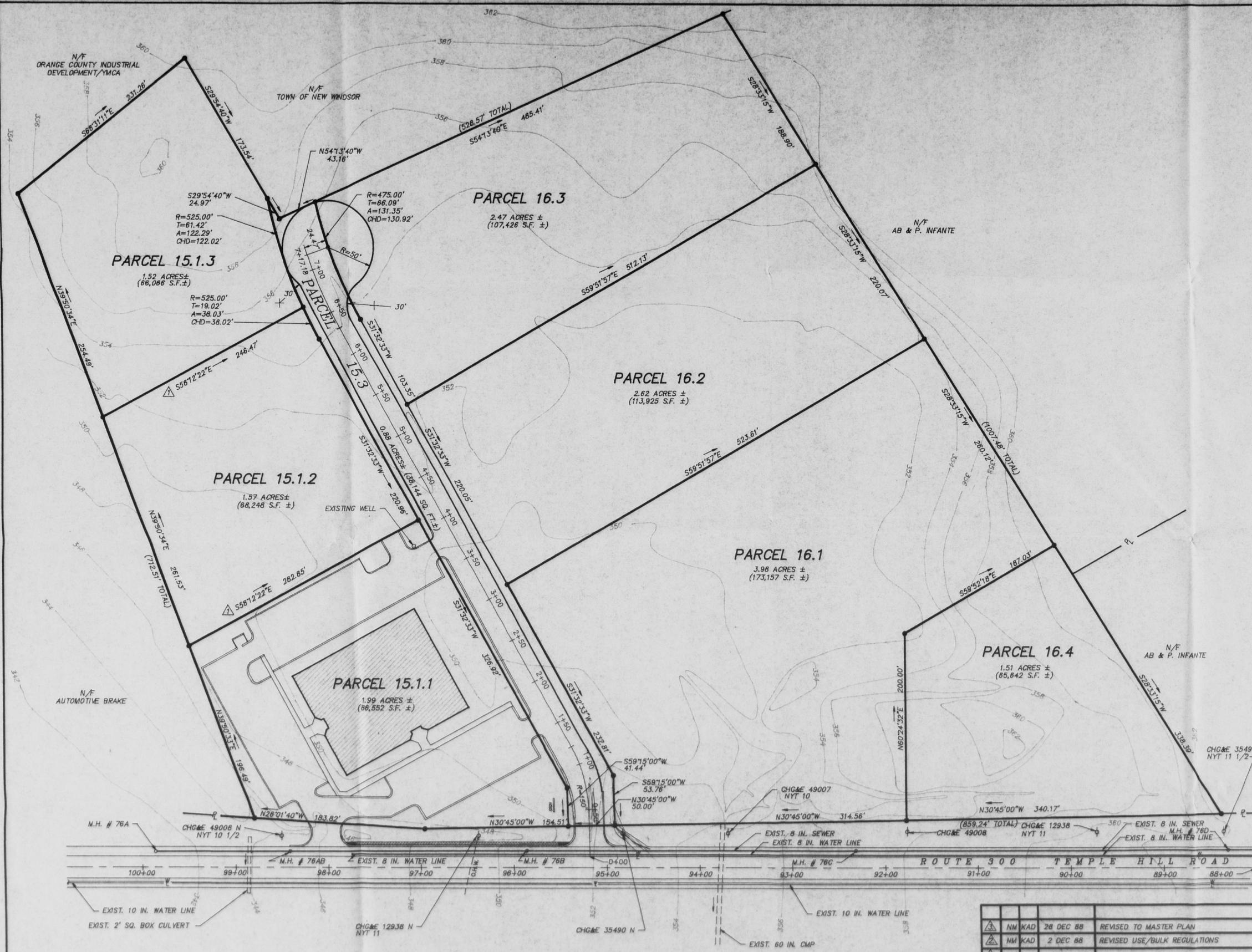


NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.
DEVELOPER: NEW WINDSOR BUSINESS PARK ASSOCIATES, INC. 147-39 175th ST., JAMAICA, N.Y. 11434
DRAWN: MSO CHECKED: STK SCALE: AS SHOWN DATE: 8 MAY 1989

KARTIGANER ASSOCIATES, P.C. CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550
SANITARY & STORM SEWER DETAILS
DWG. NO.: D-1 SHEET: 10 OF: 10 JOB NO.: 88016.00

| REV | DR | CK | DATE | DESCRIPTION |
|-----|-----|-----|-------------|-------------------|
| 2 | MSO | STK | 17 NOV 1989 | GENERAL REVISIONS |
| 1 | NM | KD | 26 JUNE 89 | END PLUG DETAIL |

SUBDIVISION: _____ APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON: Jan 25, 1990 BY: Daniel G. McCarville SECRETARY



SITE INFORMATION

LOCATION : TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

TAX MAP DESIGNATION :
1. SECTION #4 - BLOCK #2
LOT #15.1 & 15.3 5.49± ACRES
2. SECTION #4 - BLOCK #2
LOT 16 10.99± ACRES

TOTAL AREA : 16.48 ACRES
ZONED : PLANNED INDUSTRIAL (P.I.)
WATER DISTRICT : No. 5
SEWER DISTRICT : No. 7
UTILITIES : CENTRAL HUDSON G & E / N. Y. TELE.
SCHOOL DISTRICT : NEWBURGH CONSOLIDATED
FIRE DISTRICT : VAILS GATE
HIGHWAY : N.Y.S. D.O.T. NEWBURGH RESIDENCY

PERMITTED USES :
OFFICE BUILDINGS FOR BUSINESS & PROFESSIONAL OFFICES
(SEE P.I. USE/BULK REGULATION - COL. "A" - #14)

BULK REGULATIONS

| ITEM | REQUIRED |
|----------------------------------|------------------------------------|
| PERMITTED USES - OFFICE BUILDING | |
| LOT AREA | 40,000 S.F.(MIN.) |
| LOT WIDTH | 150' (MIN.) |
| FRONT YARD | 50' (MIN.) |
| SIDE YARD/TOTAL | 15'/40' (MIN.) |
| REAR YARD | 20' (MIN.) |
| FLOOR AREA RATIO | 0.6 (MAX.) |
| HEIGHT | 6 IN./FT. TO NEAREST PROPERTY LINE |
| PARKING | 1 SPACE/200 S.F. |

NOTES :

1. BOUNDARY & TOPOGRAPHICAL SURVEY INFORMATION BASED UPON MAPS PREPARED BY PETER R. HUSTIS, L.L.S., OF BEACON, N.Y. LICENSE No. 49205, FOR NEW WINDSOR BUSINESS PARK "MAP OF SUBDIVISION & LOT LINE RE-ALIGNMENT" DATED APRIL 2, 1987, & "BOUNDARY & TOPOGRAPHICAL SURVEY" DATED APRIL 7, 1988

**SUBDIVISION PLAN
NEW WINDSOR BUSINESS PARK**

SCALE : 1 IN. = 50'

| REV | DR | CK | DATE | DESCRIPTION |
|-----|----|-----|-----------|------------------------------|
| Δ | NM | KAD | 28 DEC 88 | REVISED TO MASTER PLAN |
| Δ | NM | KAD | 2 DEC 88 | REVISED USE/BULK REGULATIONS |
| Δ | DK | KAD | 2 AUG 88 | PROPERTY LINE REVISION |

NEW WINDSOR BUSINESS PARK
ROUTE 300, NEW WINDSOR, N.Y.

DEVELOPER :
NEW WINDSOR BUSINESS PARK ASSOCIATES, INC.
147-39 175th ST., JAMAICA, N.Y. 11434

DRAWN : N.M. SCALE : 1 IN. = 50'
CHECKED : K.A.D. DATE : 19 MAY 1988

KARTIGANER ASSOCIATES, P.C.
CONSULTING ENGINEERS
555 BLOOMING GROVE TURNPIKE, NEWBURGH, N.Y. 12550

SUBDIVISION MASTER PLAN

DWG. NO. : S-1
SHEET : 2
OF : 10
JOB NO : 88016.00

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Referenced to map 1-10-90

EXCAVATION, BACKFILLING & GRADING FOR PIPELINES

- A. GENERAL:**
- Excavate, backfill, compact, and grade the site to the elevations shown on the Drawings and as needed to meet construction required by the other Contract Documents.
- B. PRODUCTS:**
- All imported backfill material, unless otherwise specified, shall be run-of-bank gravel.
 - Pipe bedding material shall be a clean sand free from organic material and other deleterious matter.
- C. EXECUTION:**
- Trenching:** Perform trenching within the limits of the work to the lines, grades, and elevations indicated.
 - Width:** Make all trenches open vertical with sufficient width as shown on plans to provide free working space at both sides of the trench and around the installed item as required for joining, backfilling, and compacting.
 - Depth:** Trench as required to provide the elevations shown on the drawings. Where elevations are not shown on the drawings, trench to sufficient depth to give minimum of 4.5 feet of fill above the top of the waterline pipe, measured from the adjacent finished grade.
 - Sheeting and Bracing:** The Contractor shall furnish, put in place, maintain and remove sheeting, bracing, etc., as may be required to support the sides of the excavation, whether above or below pipe grade, and to prevent any movement which would in anyway injure the masonry, diminish the necessary width of the excavation, or otherwise injure or delay the work or endanger adjacent structures. If the Engineer is of the opinion that at any points sufficient or proper supports have not been provided, he may order additional supports put in at the expense of the Contractor; and compliance with such orders shall not relieve or release the Contractor from his responsibility for the sufficiency of such supports. Care shall be taken to prevent voids outside of the sheeting; but if voids are formed, they shall be immediately filled and rammed to the satisfaction of the Engineer.

All sheeting and bracing which may not be left in place shall be removed in such manner as not to endanger the contracted works or other structures; all voids left or caused by withdrawals of sheeting shall be immediately refilled with sand by ramming with tools especially adapted to that purpose, by watering, or otherwise as may be directed.

- Trench bottoms:** Grade the trench bottoms to provide a smooth, firm, and stable foundation free from rock points throughout the length of pipe.
- Bedding Material:** Place a minimum of six inches of the specified sand or gravel in the bottom of the trench.

Place the specified bedding material in the trench, simultaneously on each side of the pipe for the full width of the trench, a minimum depth of one foot above the outside diameter of the pipe barrel. (springline)

- Backfilling:** After the pipe has been thoroughly bedded and covered, spread the suitable on-site material in uniform lifts of not more than six inches in uncompacted thickness, and then compact as specified in this Section. Repeat the spreading and compacting procedure until adjacent grade level is attained.
- Backfill excavations as promptly as progress of the work permits.**
- Compact each layer of material a minimum of 90% of maximum density unless otherwise shown on the plans.**
- Grading:** Grade areas adjacent to buildings to achieve drainage away from structures.
- Surplus Material:** Surplus and/or unsuitable excavated material shall be removed from the site at the Contractor's expense.

Material considered by the Engineer to be unsuitable for backfilling shall not be used, and shall be stockpiled or removed from the site according to the following:

Unsuitable material shall fall into two specific categories. The first shall be that material which would be unsuitable under any circumstances. Material containing lumps, spongy material, roots, stumps, muck, peat and other organic deposits and any other objectionable material as determined by the Engineer shall constitute material unsuitable for backfill under any circumstances. This material shall be disposed of in special areas acceptable to the Owner.

The secondary category shall consist of material which is unsatisfactory for backfill because of its moisture content at the time of excavation. This material shall be stockpiled in areas approved by the Owner for use in other areas of the Project as directed by the Engineer. This stockpiled material, when satisfactory for backfill, as determined by the Engineer, shall be used as borrow material in areas lacking in backfill material for any reason.

PVC GRAVITY SEWER PIPE

- A. GENERAL:**
- The Contractor shall provide and install a gravity sanitary sewer line as shown on the plan and outlined in the specifications.
- B. MATERIALS:**
- Pipe and Fittings: CertainTeed PVC Fluid-Tite Gravity Sewer Pipe and Fittings of approved equal. All pipe and fittings shall be made from PVC components as defined and described in ASTM D-1784 for Rigid Poly (vinyl chloride) compounds and Chlorinated Poly (vinyl chloride) compounds. All CertainTeed PVC Gravity Sewer Pipe and Fittings shall meet the requirements of: ASTM Specification D 3034 (SDR 35), Type BSM Polyvinyl Chloride (PVC) Sewer Pipe, Fittings, 4" through 15". Gaskets shall meet the requirements of F477.
- C. EXECUTION:**
- All pipe and fittings shall be assembled and installed in accordance with the manufacturer's recommendations with additional instructions as outlined in Section: Installation of Pipe (Sanitary Sewer), elsewhere in these specifications.
 - All shop drawings shall be submitted to the Municipality's Engineer for approval prior to installation.

Saddle piles shall be built as directed by the Engineer. The pipe shall be laid on these piles and brought to line and grade by means of wedges securely nailed in place after which the pipe shall be carefully bedded with compacted selected backfill material. Saddle piles shall be paid for at the price bid for "Lumber Left in Place".

Crushed stone foundation shall consist of approximately 2/3 of No. 2 size crushed rock and 1/3 of No. 3 size crushed rock, mixed or of such other size as may be required and approved by the Engineer for the specific conditions encountered.

- Closing the Pipe:** Before leaving the work for the night or at any other time, the end of the sewer shall be securely closed with a tight-fitting plug, and sufficient backfilling placed to protect the pipe.
- Testing:**

A. Time for Testing -

 - In general, piping shall be tested prior to placement of paving materials. Raw sewage or testing and acceptance of the piping shall be at the Contractor's risk.

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WATER PIPE

- A. GENERAL:**
- The Contractor shall provide and install the water line as shown on the plan and outlined in the specifications.
- B. MATERIALS:**
- PVC Pipe and Fittings: CertainTeed PVC Fluid-Tite Pressure Pipe and Fittings of approved equal. Working pressure class shall be 150 psi. PVC pipe shall meet the requirements of AWWA C900, "Standard for Polyvinyl Chloride (PVC) Pressure Pipe, 4 in. through 12 in. for Water" and shall be furnished in cast-iron pipe equivalent outside diameters with rubber-gasketed separate couplings as listed in that standard. Each length of PVC pipe shall pass a hydrostatic integrity test at the factory at 4 times the pressure of the pipe for 5 seconds. Each rubber-gasketed standard coupling and gasket coupling shall pass a hydrostatic integrity test at the factory at 4 times the pressure class of the coupling for 5 seconds. Pipe and couplings shall not fail when subjected to the following tests which are outlined in AWWA C900: sustained pressure, burst pressure, flattening and extrusion quality.
 - Ductile Iron Pipe and Fittings: NAPPDO, Inc. Ductile iron pipe and fittings, pressure class 250, or approved equal. Fittings shall be of the mechanical joint type unless otherwise shown on plans.
 - Hydrants: Mueller Centurion Hydrant Model A-423 or approved equal meeting American Water Works Association Standard C-502. Hydrants shall be provided with main valve opening of 5.25" or 5-1/4", break flange construction, mechanical joint and connection having two (2) 2.5" or 2-1/2" hose nozzles and one (1) 4.5" or 4-1/2" pumper nozzle with national standard threads. Operating nut shall be 1-7/8" pentagon.
 - Valves: Close or approved equal conforming to AWWA C500 (latest revision). Valves shall be provided complete with 5.25" or 5-1/4" inside diameter, two-piece cast iron, standard slide type valve box of proper length for actual trench depth. Cover face for valve box shall be lettered "WATER" and have arrow indicating direction of opening. Valve boxes shall be close or approved equal.
- C. EXECUTION:**
- All pipe, fittings and appurtenances shall be assembled and installed in accordance with the manufacturer's recommendations if approved by Owner with additional instructions as outlined in Section: Installation of Pipe (Water), elsewhere in these specifications.
 - The Engineer shall be the final authority on all installation, testing and disinfection techniques.
 - All shop drawings shall be submitted to the Municipality's Engineer for approval prior to installation.

INSTALLATION OF PIPE

- A. SANITARY SEWER:**
- Inspection of Pipe:** Previous to being lowered into the trench, each pipe and fitting or coupling shall be carefully inspected, and those not meeting the specifications shall be rejected, and either destroyed or removed from the work within twelve (12) hours.
 - Marking of Rejected Specimens:** All rejected pipes and fittings or couplings shall be plainly marked and shall be replaced by the Contractor with pipes and fittings which meet the requirements of these specifications.
 - Pipe Grade:** The pipe or invert grade referred to in the specifications is the lowest point of the pipe invert or flow line.
 - Pipe Laying:** The Contractor shall lay the pipe lines in the location and exactly to the lines and grades given by the Engineer. No pipe shall be laid except in the presence of the Engineer, or Project Representative, and the Owner's Engineer shall have the power to order the removal or relaying of any pipe laid contrary to his instructions during his absence or that of his assistants or the Project Representative.

The trenches shall be kept free from water, and no pipe shall be laid in water unless in a manner approved by the Engineer. Sewer pipe shall be so laid as to be evenly supported throughout the whole length of the barrel, with no weight resting on the bell or coupling. "Bell holes" shall be provided so that bells or couplings of pipe hang free. The trench shall be dug to a depth six inches (6") below pipe invert. The pipe shall then be laid on a well compacted bed of "Crushed Stone Foundation" extending from six inches (6") below pipe invert to the spring line of the pipe.

The grade or alignment shall not be disturbed by the operation of tamping or backfilling. Care must be taken not to disturb the pipes by stepping on or near them, or by throwing earth on them from the bank or otherwise.

The Contractor must transfer line and grade to "batter boards" and string line over the trench. The Contractor may not transfer line and grade to and/or utilize a "side line" or string set to line and grade other than over and above the center line of the sewer to be laid. Other methods of Grade & Alignment control are subject to acceptance by the Engineer except that no laser type alignment devices will be allowed on grades of less than 1.0 percent.

No sewer pipe shall be laid other than "up grade" or in the direction of increasing elevation of sewer grade or invert elevation unless expressly permitted by the Engineer in writing and for a specifically defined section or sections of work only.

No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

The pipes and fittings or couplings shall be so laid in the trench that after the line is completed the interior surface thereof shall conform accurately to the grade and line given by the Engineer.

The Contractor must transfer line and grade to "batter boards" and string line over the trench. The Contractor may not transfer line and grade to and/or utilize a "side line" or string set to line and grade other than over and above the center line of the pipes to be laid. Other methods of grade & alignment control are subject to acceptance by the Engineer except that no laser type alignment devices will be allowed on grades of less than 1.0 percent.

No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

The pipes and fittings or couplings shall be so laid in the trench that after the line is completed the interior surface thereof shall conform accurately to the grade and line given by the Engineer. A trace wire shall be installed with the pipe.

The trenches shall be kept free from water, and no pipe shall be laid in water. The ends of any installed section of waterline must remain sealed while there is water in the trench. Pipe shall be so laid as to be evenly supported throughout the whole length of the barrel, with no weight resting on the bell or coupling. "Bell holes" shall be provided so that bells or couplings of pipe hang free. The trench shall be dug to a depth six inches (6") below pipe invert. The pipe shall then be laid on a well compacted bed of "Crushed Stone Foundation" extending from six inches (6") below pipe invert to the spring line of the pipe.

The grade or alignment shall not be disturbed by the operation of tamping or backfilling. Care must be taken not to disturb the pipes by stepping on or near them, or by throwing earth on them from the bank or otherwise.

The Contractor must transfer line and grade to "batter boards" and string line over the trench. The Contractor may not transfer line and grade to and/or utilize a "side line" or string set to line and grade other than over and above the center line of the pipes to be laid. Other methods of grade & alignment control are subject to acceptance by the Engineer except that no laser type alignment devices will be allowed on grades of less than 1.0 percent.

No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

The pipes and fittings or couplings shall be so laid in the trench that after the line is completed the interior surface thereof shall conform accurately to the grade and line given by the Engineer. A trace wire shall be installed with the pipe.

- Testing shall be performed at as late a date as possible, after work has been completed and a time period for settlement has had a chance to occur.
 - In no instance shall sewers be tested prior to completion of construction work in the area, nor prior to two (2) weeks after installation of the piping.
- B. Procedures for Testing -**
- In order to keep leakage and infiltration in sewers to a minimum, it is necessary that special attention be given to the specification requirements covering workmanship, materials and testing. The specification for this installation includes the following provisions:
 - Infiltration and leakage through pipe joints shall not exceed 100 gallons per 24 hours per inch diameter per mile of sewer pipe line.
 - In testing for infiltration, sufficient weir measurements shall be made in manholes to furnish the necessary information.
 - Where the Engineer otherwise requires and/or determines that the ground water is not sufficiently high at the time of testing to determine the amount of infiltration or leakage, infiltration tests shall be conducted in which a head of water at least two feet higher than the top of the pipe line in the highest section of the work being tested, is maintained for a period of at least twenty (20) hours immediately prior to the time of and during the period of the test.
 - The allowable leakage per twenty-four (24) hours per inch of diameter of pipe per mile of sewer tested, shall not exceed 100 gallons.
 - Where acceptable to the Engineer and all applicable reviewing authorities, the Contractor shall have the option of performing low-pressure air tests in conformance with ASTM C-828 (latest revision), entitled "Recommended Practice for Low-Pressure Air Test of Vitrified Clay Pipe Lines (4-12)". The parameter to be measured is the rate of a loss based on an average test pressure of 3.0 psig above any back pressure due to any groundwater that may be over the pipe.

Other Testing Requirements (General)

- All testing shall be performed with a representative of the Engineer, Owner, Municipality and Municipality Engineer present.
- The Contractor shall give ample notification of his intended test date such that observation scheduling can be made. Any delays and associated costs caused by the Contractor's failure to schedule the attendance of necessary representatives shall be borne by the Contractor.
- Length and location of sections to be tested, duration of test, and other requirements shall be acceptable to the Engineer.
- All evident leaks shall be investigated and the necessary repairs made. The Contractor shall be regardless of total leakage as shown by test.
- Lines which fail to meet tests shall be repaired and retested as necessary until compliance with test requirements. Defective pipe and branch connections shall be removed and replaced.
- All materials and equipment, cooperation and assistance necessary to perform the tests specified herein to the satisfaction of the Engineer or his duly authorized agent shall be borne by the Contractor.
- Verification of all tests shall be written by the Engineer and submitted to Municipality's Engineer prior to dedication of system.

B. WATER:

- Inspection of Pipe:** Previous to being lowered into the trench, each pipe and fitting or coupling shall be carefully inspected, and those not meeting the specifications shall be rejected, and either destroyed or removed from the work within twelve (12) hours.
- Marking of Rejected Specimens:** All rejected pipes and fittings or couplings shall be plainly marked and shall be replaced by the Contractor with pipes and fittings which meet the requirements of these specifications.
- Pipe Grade:** The pipe or invert grade referred to in the specifications is the lowest point of the pipe invert or flow line.
- Pipe Laying:** The Contractor shall lay the pipe lines in the location and exactly to the lines and grades given by the Engineer. No pipe shall be laid except in the presence of the Engineer, or Project Representative, and the Owner's Engineer shall have the power to order the removal or relaying of any pipe laid contrary to his instructions during his absence or that of his assistants or the Project Representative.

The trenches shall be kept free from water, and no pipe shall be laid in water. The ends of any installed section of waterline must remain sealed while there is water in the trench. Pipe shall be so laid as to be evenly supported throughout the whole length of the barrel, with no weight resting on the bell or coupling. "Bell holes" shall be provided so that bells or couplings of pipe hang free. The trench shall be dug to a depth six inches (6") below pipe invert. The pipe shall then be laid on a well compacted bed of "Crushed Stone Foundation" extending from six inches (6") below pipe invert to the spring line of the pipe.

The grade or alignment shall not be disturbed by the operation of tamping or backfilling. Care must be taken not to disturb the pipes by stepping on or near them, or by throwing earth on them from the bank or otherwise.

The Contractor must transfer line and grade to "batter boards" and string line over the trench. The Contractor may not transfer line and grade to and/or utilize a "side line" or string set to line and grade other than over and above the center line of the pipes to be laid. Other methods of grade & alignment control are subject to acceptance by the Engineer except that no laser type alignment devices will be allowed on grades of less than 1.0 percent.

No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

The pipes and fittings or couplings shall be so laid in the trench that after the line is completed the interior surface thereof shall conform accurately to the grade and line given by the Engineer. A trace wire shall be installed with the pipe.

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No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

The pipes and fittings or couplings shall be so laid in the trench that after the line is completed the interior surface thereof shall conform accurately to the grade and line given by the Engineer. A trace wire shall be installed with the pipe.

The trenches shall be kept free from water, and no pipe shall be laid in water. The ends of any installed section of waterline must remain sealed while there is water in the trench. Pipe shall be so laid as to be evenly supported throughout the whole length of the barrel, with no weight resting on the bell or coupling. "Bell holes" shall be provided so that bells or couplings of pipe hang free. The trench shall be dug to a depth six inches (6") below pipe invert. The pipe shall then be laid on a well compacted bed of "Crushed Stone Foundation" extending from six inches (6") below pipe invert to the spring line of the pipe.

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The Contractor must transfer line and grade to "batter boards" and string line over the trench. The Contractor may not transfer line and grade to and/or utilize a "side line" or string set to line and grade other than over and above the center line of the pipes to be laid. Other methods of grade & alignment control are subject to acceptance by the Engineer except that no laser type alignment devices will be allowed on grades of less than 1.0 percent.

No pipe shall be laid to line or grade unless there are at least three batter boards ahead of the last length of pipe laid in place.

- Foundations:** All pipe shall be laid on a foundation of compacted "Crushed Stone Foundation" unless otherwise directed by the Engineer. This foundation shall be to a depth extending from six inches (6") below pipe invert to the spring line of the pipe. Should this amount of foundation material be insufficient due to ground conditions (quick sand, other soft and yielding or otherwise unsuitable material), the Contractor shall furnish and install saddle piles or additional Crushed Stone Foundation or take other measures as directed by the Engineer to provide a firm pipe bedding.

Saddle piles shall be built as directed by the Engineer. The pipe shall be laid on these piles and brought to line and grade by means of wedges securely nailed in place after which the pipe shall be carefully bedded with compacted selected backfill material. Saddle piles shall be paid for at the price bid for "Lumber Left in Place".

Crushed stone foundation shall consist of approximately 2/3 of No. 2 size crushed rock and 1/3 of No. 3 size crushed rock, mixed or of such other size as may be required and approved by the Engineer for the specific conditions encountered.

Closing the Pipe: Before leaving the work for the night or at any other time, the end of the waterline shall be securely closed with a tight-fitting plug, and sufficient backfilling placed to protect the pipe.

Disinfection: All elements of water line construction installed or disturbed under this contract when complete, shall be disinfected in accordance with these specifications, all applicable requirements of the local, county and state health department and AWWA Standard C651 for disinfecting water mains (latest revision).

The method of disinfection shall be in accordance with the methods outlined above except that disinfection in accordance with Section 5.1, TABLE METHOD, is not acceptable.

Testing:

A. Sequence of Testing -

- The hydrostatic test and leakage test shall be performed prior to disinfection to preclude the possibility of having to re-disinfect if any repairs are necessary.

B. Hydrostatic Test -

- After the water mains have been installed and before pipe joints, fittings, valves or other appurtenances are covered, all of the excess air shall be expelled and the water main shall be pressure tested.
- Under the pressure test, hydrostatic pressure shall be equivalent to the working pressure plus 5 times the working pressure at the point of testing.
- In no instance shall the pipe lines be tested not more than 175 psi.
- The pressure test shall be at least two hours in length, preferably before complete backfilling of the pipeline, when the joints are exposed.
- All visible leaks, any cracked or defective pipe, fittings, valves, or hydrants discovered in consequence of the pressure test shall be removed and replaced by the Contractor with sound material; and the test shall be repeated until results satisfactory to the Engineer are obtained.
- The Contractor shall furnish all necessary appliances.

C. Leakage Test -

- Leakage test shall be conducted concurrently with the pressure test.
- Leakage is defined as the quantity of water to be supplied into the newly laid pipe or any valved section thereof, necessary to maintain the specified leakage test pressure during the test. The pipe shall be filled with water and the air expelled.
- The leakage test shall be performed in accordance with AWWA Standard C600 "Year of latest revision".
- Allowable leakage (L) in gph will be determined using the formula:

$$L = \left[\frac{a \times d \times (P)}{133,200} \right]$$
 Where a = tested length of pipe in feet, d = the diameter of the pipe in inches, P = the average test pressure in psi. The test pressure during the hydrostatic test and the duration shall be the same as the hydrostatic test and shall be maintained within 5 psi.
- The Contractor shall furnish all necessary appliances.

D. Bacteriological Testing -

- After the piped system has been disinfected and thoroughly flushed but before the new water lines are placed in service, the water shall be tested for bacteriological quality and shall show the absence of coliform organisms.
- Samples shall be collected in sterile containers treated with sodium thiosulfate in accordance with the New York State Department of Health Standards by qualified personnel from sampling taps installed on the main.
- Samples shall be tested by a laboratory approved by the New York State Department of Health for bacteriological testing acceptable to the Engineer. Original signed copies of the results of these tests shall be submitted in writing to the Engineer.
- Sufficient samples shall be collected and tested from the various portions of the system to indicate, to the satisfaction of the Engineer, that a uniform representative sample has been obtained and tested.
- If samples tested fail to produce satisfactory results, the main shall be refilled and resampled, and, if necessary, re-disinfected as called for in Section 8 of C651 (latest revision).
- The Contractor shall furnish all necessary appliances.

Other Testing -

- After the piping system has been disinfected and thoroughly flushed, but prior to placing the line in service, the water shall be tested for heavy metals content, specifically Chromium (Cr) and Lead (Pb).
- Samples shall be collected in conformance with New York State Department of Health Standards by qualified personnel from sampling taps installed on the main. Samples shall be tested by a laboratory approved by the New York State Department of Health. Original signed copies of the results of the tests shall be submitted to the Engineer in writing.
- If samples tested fail to produce satisfactory results in conformance with Part 5 of the New York State Drinking Water Standards, the main shall be refilled, resampled and retested.
- If the samples indicate non-compliance, the Contractor shall take all actions necessary to determine the source of contamination and remedy same.
- All testing and work required to meet conformance with the aforementioned standards shall be at the expense of the Contractor.
- Verification of all tests shall be written by the Engineer and submitted to Municipality's Engineer prior to dedication of the system.

PRECAST CONCRETE MANHOLES

The components covered by the specifications are as follows:

- A. GENERAL:** All new manholes furnished and installed under this contract shall be precast concrete manholes consisting of precast reinforced concrete sections, a central or flat slab top sections, and base section. Drop manholes shall consist of base and riser sections containing the drop assembly, standard riser sections and conical or flat slab top sections. All shall conform with the typical manhole details and at the depth and locations as shown on the contract drawings.

RUN-OF-BANK GRAVEL FOUNDATION

- A. GENERAL:**
- In the event that the sub-grade will not, in the opinion of the Engineer, properly support the pipe or structure, the Contractor may be required in writing by the Engineer to place run-of-bank gravel foundation below and/or around the pipe or structure. Such foundation may be substituted for saddle piles or may be used together with saddle piles or other foundation bedding.

PRECAST CONCRETE MANHOLES

- A. GENERAL:**
- Run-of-bank gravel foundation material shall conform to the requirements of NYSDOT Section 703-06 and meet the following gradation requirements:

| Sieve Size | % Passing |
|------------|-----------|
| 1/4" | 100 |
| No. 50 | 0-35 |
| No. 100 | 0-10 |

AGGREGATES:

- All aggregates shall meet, with exception of gradation requirements, with the Specifications for Concrete Aggregates (ASTM Designation: C33).

MIXING OF CONCRETE:

- All concrete shall be thoroughly mixed by a mechanical batch mixer. The proportions of aggregate, cement and water shall be such as to acquire the proper strength and quality of concrete required.

PHYSICAL DIMENSIONS:

- All manhole components unless otherwise shown on plans shall have 48" inside diameters with joints manufactured in accordance with AASHTO M-198, Type B with 3/4" in. butyl seal.
- The eccentric cone with a 24" diameter top opening shall have an internal bottom diameter of 48" with a 5" minimum wall thickness. The minimum wall thickness at the top shall be 5 in.
- The riser sections shall have a minimum wall thickness of 5".
- The base section (footing) shall be 4'10" minimum in diameter and of a 8" minimum thick.

MINIMUM DESIGN REQUIREMENTS:

- The minimum compressive strength of the concrete used for all manholes shall be 5,000 P.S.I. with minimum loading requirements of 11-20.
- The steel reinforcement shall meet the requirements of ASTM A615 - A497.
- The reinforcement for the base section (footing) shall be No. 4 reinforcing bars at 12" centers, both ways, placed in the middle of the base.

JOINTS:

- All tongue and groove joints shall be formed in accordance with AASHTO M-198 Type B with a 3/4 inch butyl seal.
- All butyl seals must be installed per manufacturer's instructions pertaining to the location of the gasket, lubrication and setting of the manhole sections.

MANHOLE STEPS:

- Steps shall be made of Aluminum Alloy 6061-T6 with the Drop Step design as manufactured by the Aluminum Company of America, Step #1263-A WACP P-14-5-111, O.A.R.
- Steps shall be installed in both the eccentric cone and riser sections. In the conical section, the steps must be mortared or poured in the vertical wall. All steps must be aligned in each section so as to form a continuous ladder with the steps evenly spaced at 12" increments.

LIFT HOLES:

- Each section of the precast manhole shall have not more than two holes for the purpose of handling and laying. These holes shall be tapered and shall be plugged with rubber stoppers or mortar after installation.

Manhole Frames and Covers:

- Manhole frames and covers shall be made of tough, close-grained gray iron, in accordance with ASTM A48-83, Class 30B. Manhole frames and covers shall be Campbell Foundry No. 1203-807 (8 in. height) unless otherwise shown on the plans, or approved equal.
- All castings shall be made from properly prepared patterns and shall be round, true, out of wind, smooth, clean, and free from blisters, sand holes, scales, and all defects. No plugging or other stopping of holes will be allowed.
- All castings, wherever called for on the plans, shall be painted thoroughly with at least two good coats of asphaltum or any other coating that the Engineer may direct.
- Manholes shall be fitted with cast iron frames and covers with two "lifting" holes only. Manhole frame and cover shall have a continuous and even bearing on the frame. Covers which rock on their frames will not be accepted; and the Contractor shall, if necessary, machine or grind cover in place to obtain an even bearing. Covers shall fit in frame without binding along the perimeter.
- All castings shall conform to the shape and dimensions shown on the plans.
- Manhole frames and covers shall not weigh less than 400 pounds.
- All covers shall have proper markings as shown on plans.

Grade Adjustment Rings:

- Grade adjustment rings shall be installed where required in accordance with the detail shown on the contract plans. Such rings shall be formed of solid concrete brick masonry set in mortar; precast concrete rings set in mortar; or cast in place concrete; all joints shall be completely filled and water tight.

RUN-OF-BANK GRAVEL FOUNDATION

- A. GENERAL:**
- In the event that the sub-grade will not, in the opinion of the Engineer, properly support the pipe or structure, the Contractor may be required in writing by the Engineer to place run-of-bank gravel foundation below and/or around the pipe or structure. Such foundation may be substituted for saddle piles or may be used together with saddle piles or other foundation bedding.

PRECAST CONCRETE MANHOLES

- A. GENERAL:**
- Run-of-bank gravel foundation material shall conform to the requirements of NYSDOT Section 703-06 and meet the following gradation requirements:

| Sieve Size | % Passing |
|------------|-----------|
| 1/4" | 100 |
| No. 50 | 0-35 |
| No. 100 | 0-10 |

AGGREGATES:

- All aggregates shall meet, with exception of gradation requirements, with the Specifications for Concrete Aggregates (ASTM Designation: C33).

MIXING OF CONCRETE:

- All concrete shall be thoroughly mixed by a mechanical batch mixer. The proportions of aggregate, cement and water shall be such as to acquire the proper strength and quality of concrete required.

PHYSICAL DIMENSIONS:

- All manhole components unless otherwise shown on plans shall have 48" inside diameters with joints manufactured in accordance with AASHTO M-198, Type B with 3/4" in. butyl seal.
- The eccentric cone with a 24" diameter top opening shall have an internal bottom diameter of 48" with a 5" minimum wall thickness. The minimum wall thickness at the top shall be 5 in.
- The riser sections shall have a minimum wall thickness of 5".
- The base section (footing) shall be 4'10" minimum in diameter and of a 8" minimum

EXCAVATION AND BACKFILL

A. DESCRIPTION

- 1. General. This work shall consist of the excavation of all materials and backfill or disposal of excavated material required for trenches, culverts, structures, conduit and direct burial cable not otherwise provided for in other sections of these specifications. All such excavation shall be unclassified excavation.
2. Trench and Culvert Excavation. The work specified under this item shall include excavation and backfill for all culverts, pipe lines, and other minor structures including drop inlets.
3. Structure Excavation. The work specified under this item shall include the excavation and backfill for site grading, building foundations and retaining wall and bin retaining wall.
4. Conduit Excavation and Backfill. The work specified under this item shall include the excavation and backfill required for conduits and direct burial cables.

B. EXECUTION

- 1. General. The excavation shall be kept free from water, snow and ice during construction. Special care shall be taken not to disturb the bottom of the excavation and not to remove the material at final grade until just before the structure is placed. The Contractor shall be responsible at all times for the carrying out of all excavation operations in a manner consistent with all applicable local, State and/or Federal requirements.
2. Surplus Material. Surplus and/or unsuitable excavated material shall be removed from the site at the Contractor's expense. Material considered by the Engineer to be unsuitable for backfilling shall not be used, and shall be stockpiled or removed from the site according to the following.
3. Backfill. Backfill material shall not be placed on frozen earth, nor shall frozen soils be placed in any backfills. Backfill material shall be placed and spread in lifts (layers) of uniform thickness, then uniformly compacted as specified under applicable portions of the Section entitled "Compaction". During backfill construction operations, earth moving equipment shall be routed as evenly as possible over the entire width of backfills. At the close of each day's work, the working surface shall be crowned and shaped for proper drainage.
4. Compaction. A. General Requirements. It shall be the Contractor's responsibility to properly place and compact all materials in the backfill areas, and to correct any deficiencies resulting from insufficient compaction of such materials throughout the contract period.

Whenever the Contractor's operations do not conform to the above criteria, or requirements contained in other subparagraphs of this article, the Engineer will not accept placement of an overlying lift until the Contractor takes effective corrective action.

Rutting of a compacted lift under the action of earthmoving equipment, shall not necessarily be interpreted as due to faulty compaction or moisture control during compaction, but shall be considered as constituting damage to a compacted lift requiring full repair prior to placing any overlying materials.

B. Compaction Equipment. The selection of compaction equipment is the Contractor's responsibility, but shall be subject to meeting the requirements of this subparagraph and acceptance by the Engineer with respect to its provisions. Any equipment not principally manufactured for compaction purposes and equipment which is not in proper working order in all respects shall not be accepted or used. The Engineer will also withhold acceptance of any compactor for which the Contractor cannot furnish manufacturer's specifications covering data not obvious from a visual inspection of the equipment and necessary to determine its classification.

The term, "pass", for any type of compactor, shall denote one direct vertical application of compactor effort over all elemental areas of a lift surface. Terms in common parlance, such as "coverages", "trips", etc. have no significance, equivalence, or application under these specifications.

- 1. Smooth Steel Wheel Rollers. Smooth steel wheel rollers shall be considered as primary compactors only on lifts less than 8 inches in loose-spread thickness. When so used, the roller shall have a nominal gross weight of not less than 10 tons, exert a minimum force of not less than 100 pounds per inch of width on the compression roll faces, and a minimum of 8 passes shall be applied over each lift with the roller operating at a speed not exceeding 6 feet per second.
2. Other Types of Compactors. Compactor types other than those classified above, may be employed by the Contractor, subject to acceptance by the Engineer of the proposed minimum applied effort (minimum number of passes and travel speed) and maximum lift thickness. Such acceptance by the Engineer will be based upon the results of appropriate on-site field tests.
3. Compaction Equipment for Confined Areas. In areas inaccessible to conventional compactors, or where maneuvering space is limited, impact rammers, plate or small drum vibrators, or pneumatic buttonhead compaction equipment may be used with layer thickness not exceeding 6 inches before compaction. Hand tampers shall not be permitted. The Engineer may accept or reject any of the above described mechanical devices based upon the results of appropriate on-site field tests.

C. Moisture Control. All fill or backfill material to be compacted shall be at a moisture content for proper compaction of that material using the compactor selected by the Contractor to perform the work. The Contractor shall be responsible for determining the proper moisture content, and for controlling it within proper limits as the work is progressed. When water must be added to a material, it may be added on the lift or in the excavation or borrow pit. Water added on the lift, however, shall be applied by use of an accepted pressure distributor. Distributors must be acceptable to the Engineer. Water added shall be thoroughly incorporated into the soil, and manipulation shall be provided whenever necessary to attain uniformity of moisture distribution in the soil. When the moisture content of a lift about to be compacted exceeds the required amount, compaction shall be deferred until the layer has dried back to the required amount. Natural drying may be accelerated by blending in a dry material, or manipulation alone, to increase the rate of evaporation. Increased space lift thickness caused by blending in a dry material, however, may necessitate a change in compaction equipment to meet the minimum provisions of subparagraph B of this article.

D. Run-of-Bank Gravel Foundation. A. GENERAL: 1. In the event that the sub-grade will not, in the opinion of the Engineer, properly support the pipe or structure, the Contractor may be required in writing by the Engineer to place run-of-bank gravel foundation below and/or around the pipe or structure. Such foundation may be substituted for saddle piles or may be used together with saddle piles or other foundation bedding.

B. MATERIALS: 1. Run-of-bank gravel foundation material shall conform to the requirements of NYSDOT Section 703-06 and meet the following gradation requirements: Sieve Size, 1/4", No. 40, No. 100. % Passing, 100, 0-35, 100.

C. EXECUTION: 1. Foundation material shall be compacted and leveled so that it will properly support the pipe or structure.

D. CRUSHED STONE FOUNDATION. A. GENERAL: 1. In the event that sub-grade will not, in the opinion of the Engineer, properly support the pipe or structure, the Contractor may be required in writing by the Engineer to place crushed stone foundation.

B. MATERIALS: 1. Crushed stone foundation material shall be approximately two-thirds of No. 2 size and one-third of No. 3 mixed with stone of such other size as may be required and approved by the Engineer for the specific conditions encountered. Sizing refers to and material shall conform to "Concrete Aggregates", Section 703-02, as specified in "Standard Specifications, Construction and Materials", New York State Department of Transportation, latest edition.

C. EXECUTION: 1. Foundation material shall be compacted and leveled so that it will properly support the pipe or structure.

SELECTED BORROW BACKFILL

A. GENERAL:

- 1. Under this item, the Contractor shall furnish and place Selected Borrow Backfill, where and when ordered by the Engineer, to replace material considered by the Engineer to be unsuitable for backfilling pipe and structures.

B. MATERIALS:

- 1. Selected Borrow will consist of unclassified fill material containing no stones or rock over one cubic foot in volume, humus, topsoil or other unsuitable material. The source and acceptability of the borrow material shall be subject to the approval of the Engineer at all times. Acceptability of the borrow will be determined not only by the characteristics of the material itself, but also whether it will be satisfactory in that portion of trench in which it is to be used. Any soil having a natural in-place moisture content in excess of 2 percent wetter than Optimum Moisture Content, as determined by the A.S.T.M. Designation: D1557 (year of latest revision), Method D, will not be considered as acceptable borrow material.
2. The Contractor shall request the Engineer's approval of proposed borrow areas at least ten working days before taking any material from such areas.

LUMBER LEFT IN PLACE

A. GENERAL:

- 1. Any bracing, sheeting, or shoring which cannot be removed without injury to the work or adjoining property or structures shall be left in place. Sheeting and bracing which is within four feet of the surface of the ground shall not be left in place without permission of the Engineer. Sheeting left in place as authorized by the Engineer shall be paid for under this item.
2. When it is found that the trench bottom will not properly support the pipe and the Engineer so directs, the Contractor shall place lumber as saddle piles. In general, this material will consist of two 2 by 6-inch vertical pieces and one 2 by 6-inch horizontal piece for the support of the pipe, as detailed on the plans. The vertical pieces shall be driven in the ground to refusal. The Contractor shall occasionally drive a test pile to determine the length of material necessary. The horizontal member shall be so placed that it will maintain the exact grade of the pipe by the use of wedges which shall be nailed to the horizontal member to hold the pipe to line and grade. These saddle piles shall be driven in such a position that they will support the portions designated by the Engineer.

BITUMINOUS PAVEMENT & REPLACEMENT (Asphalt Concrete) ACP

A. GENERAL:

Under this item where trench excavation is in paved areas of streets, drives, shoulders or parking areas and where indicated on the plans and/or directed by the Engineer, the Contractor shall construct a plant-mixed asphalt concrete pavement laid to conform to the original grade and cross-section or that shown on the plans and/or directed by the Engineer.

B. MATERIALS:

- 1. Subbase: The subbase course material will comply with Standard Specifications for Construction and Materials, N.Y. State Department of Transportation, Item 304.02, "Subbase Course".
2. Asphalt Concrete: Asphalt concrete materials will comply with Standard Specifications for Construction and Materials, N.Y. State Department of Transportation, Section 403, Item 403.1701 "Asphalt Concrete - Type 6F Top Course (High Friction) Marshal Design" and Item 403.13 "Asphalt Concrete - Type 3 Binder Course".

C. EXECUTION:

- 1. After the backfill has been completed in accordance with the specifications for Trench and Structures Excavation & Backfill, elsewhere in these documents, the Contractor shall place a foundation (subbase) course and an asphalt concrete pavement, consisting of a base (binder) course and a (top) wearing course, compacted in place.
2. The subbase course shall be placed in six inch (6") lifts, each lift compacted with smooth steel wheel rollers having a nominal gross weight of not less than 10 tons, or an approved vibratory-type compactor acceptable to the Engineer. The subbase material shall be at a moisture content for maximum compaction of that material as verified by an approved testing laboratory using the compactor selected by the Contractor to perform the work. The Contractor shall be responsible for determining the proper moisture content, and for controlling it within proper limits as the work is progressed. The subbase course shall not be placed on a base containing frost or which is improperly compacted in the opinion of the Engineer.
3. After the subbase course is completed, the Contractor shall cut back to sound undisturbed pavement where adjacent to existing pavement and place the Binder course and the Top course, compacted in place. Compaction shall be accomplished by means of a smooth steel wheel roller weighing not less than 10 tons. The finished pavement construction as replacement pavement will conform to the existing cross-section and grade of the original pavement. Pavement operations will not be permitted unless the air temperature is 50° F and rising.
4. Cutting back to sound pavement will be accomplished by saw cutting or other means acceptable to the Engineer which will provide a square-edged, longitudinally-straight line for repaving operations. Generally, such edge shall be one foot (1') outside original Trench excavation limits.

CAST-IN-PLACE CONCRETE

A. GENERAL:

- 1) Provide cast-in-place concrete, including formwork, as required to complete the construction shown on the Drawings and as specified herein.

B. MATERIALS:

- 1) Provide transit mix concrete complying with ASTM C94 with an air entrainment of 5% +/- and a 28 day compression strength as follows: a. manholes: 5000 psi b. sidewalks: 3500 psi c. footings: 3500 psi d. thrust blocks: 3000 psi* e. pipe encasement: 3000 psi f. third class concrete: 3000 psi* *air entrainment not required
2) On the transit-mix load tickets, show the mix design for each load of concrete. Deliver all such tickets to the engineer.
3) Reinforcing bars shall conform to the requirements of ASTM A615, grade 40.
4) The Contractor shall submit the proposed concrete mix design to the Engineer prior to starting work. Calcium chloride shall not be used in the concrete mix.

C. EXECUTION: CONCRETE

- 1) Consolidated concrete in accordance with ACI 309.
2) Provide concrete that is dense and free from honeycomb and other defects. Repair defective concrete in accordance with ACI 301, Chapter 9.
3) Leave slab surfaces free from towel marks, uniform in appearance, and with a surface plane tolerance not exceeding 1/8" in 10'-0" when tested with a 10'-0" straight edge.
4) All exposed corners shall have a one inch chamfer unless otherwise shown.
5) All reinforcing bars are to have a minimum of 1-1/2 inch cover unless otherwise indicated.
6) All crossing points of reinforcing shall be wire tied.
7) Reinforcing bar spacing requiring fractional outside center dimensions shall have included an additional reinforcing bar.
8) The minimum bar splice shall be 24 bar diameters.
9) Bonding reinforcing bars shall be in accordance with ACI code requirements.
10) Cast in place concrete shall be protected from freezing as required.

D. TESTING:

- 1) A minimum of three concrete cylinder tests shall be taken per 30 cy. of concrete poured or fraction thereof. Test cylinders shall be broken at 7 days and 28 days with the allowance for one spare. The results shall be prepared by a certified testing laboratory and stamped by a professional engineer.

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NEW WINDSOR BUSINESS PARK ROUTE 300, NEW WINDSOR, N.Y.

DEVELOPER: NEW WINDSOR BUSINESS PARK ASSOCIATES, INC. 147-39 179th ST., JAMAICA, N.Y. 11434

DRAWN BY: SK SCALE: N/T'S CHECKED BY: SK DATE: 1 DEC 89

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ROADWAY & SITEWORK SPECIFICATIONS

DWG. NO.: SPEC 2 SHEET: 2-5 OF: 2-5 JOB NO.: 8804.00