

PB# 89-19

WILLIAM DIEMER SD

58-6-1.3

DEIMER, WILLIAM SUBDIVISION #89-19
(3 lots)

Approved 8/9/89

General Receipt

10802

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

August 9, 1989

Received of Suburban Homes of Orange Co Inc \$ 465.00
Four Hundred Sixty-Five and 00/100 DOLLARS

For Planning Board Subdivision #89-19

FUND	CODE	AMOUNT
<u>OK # 2651</u>		<u>\$ 465.00</u>

By Pauline J. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

Town of N. W. Planning Bd.

NO. 89-19

8/9 1989

RECEIVED FROM Suburban Homes of O.C.
Five Hundred 00/100 DOLLARS

Subdivision - Dinner, 2 Lot recreation fee

Account Total \$ 500.00

Amount Paid \$ 500.00

Balance Due \$ -0-

Myra L. Mason
Secretary

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

General Receipt

10550

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

May 8, 1989

Received of Suburban Homes of Orange Co, Inc \$ 25.00
Twenty-five and 00/100 DOLLARS

For Plan. Board Application Fee - #89-19

FUND	CODE	AMOUNT
<u>Check # 232</u>		<u>\$ 25.00</u>

By Pauline J. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

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Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

Town of N. W. Planning Bd.

NO. 89-19

8/9 1989

RECEIVED FROM Suburban Homes of O.C.

Five Hundred 00/100 DOLLARS

Subdivision - Diemer, 2 lot recreation fee

Account Total \$ 500.00

Amount Paid \$ 500.00

Balance Due \$ -0-

Man
Myra L. Mason
Secretary

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

General Receipt 10550

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Received of Suburban Homes of Orange Cty, Inc. May 8, 1989 \$ 25.00

Twenty-five and 00/100 DOLLARS

For Plan. Board Application Fee - #89-19

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>Check # 2326</u>		<u>\$ 25.00</u>

By Pauline B. Townsend
Town Clerk
Title

Williamson Law Book Co., Rochester, N. Y. 14609

General Receipt 10551

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, N. Y. 12550

Received of Pauline B. Townsend, Town Clerk May 8, 1989 \$ 450.00

Four Hundred Fifty and 00/100 DOLLARS

For Suburban Homes (Diemer)

DISTRIBUTION		
FUND	CODE	AMOUNT
<u>Check # 2325</u>		<u>\$ 450.00</u>

By Susan Zappala
Deputy Comptroller
Title

Williamson Law Book Co., Rochester, N. Y. 14609

CHAIRPERSON:

RE MAP #

89-19
9590

TOWN

CITY

VILLAGE []

N. Windsor; 58-6-1.3246

THE FOLLOWING MAP HAS BEEN FILED IN THE ORANGE COUNTY CLERK'S OFFICE:

TITLE

DATED

FILED

Lot
line Chg. W. + D. Diemer
4-3-89
8-10-89

APPROVED BY

Carl Schefer ON

8-9-89

S. Canall
Recording + Index
Clerk

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

July 11, 1989

Town of New Windsor
Building Department
555 Union Avenue
New Windsor, NY 12550

Attn.: Mr. Richard McGoey P.E., Floodplain Administrator

Re: Certificate of Compliance for Floodplain Development
William & Doreen Diemer
Mecca Drive, New Windsor, New York
Tax Map No.: S-58,B-6,L-6 (existing house)

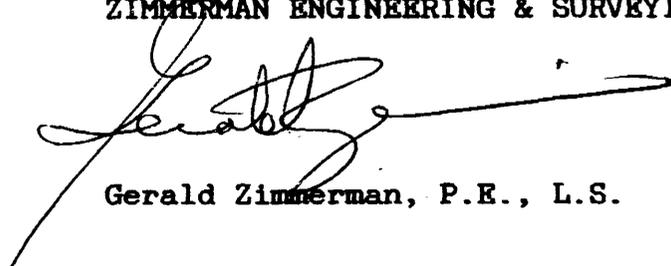
Dear Mr. McGoey

The following information is being supplied to you, in support of the above noted application.

100 year Floodplain elevation	367.90
Lowest slab elevation (garage).....	369.44
Top of well casing.....	372.10
Top of sanitary sewer clean out	372.93

I hereby certify that the above information is true, accurate and in compliance with the local floodplain development requirements.

Sincerely
ZIMMERMAN ENGINEERING & SURVEYING, P.C.



Gerald Zimmerman, P.E., L.S.

Attch.

CERTIFICATE OF COMPLIANCE
for
FLOODPLAIN DEVELOPMENT

Town _____ of New Windsor
Orange County, N.Y.
(Applicant shall fill in all pertinent information in Section A including 1 or 2)

SECTION A

Premises location _____

Mecca Drive

New Windsor, N.Y.

S58 - B6 - L6

Applicant
Name & Address _____

William Deimer

RD 1, Mecca Drive

Salisbury Mills, N.Y.

12577

Telephone No. _____

Permit No. _____

Variance No. _____

Date _____

CHECK ONE

New Building _____

Existing Building X

Other (List) _____

1. I certify that I have completed the above project in accordance with the Community's floodplain management regulations and have met all the requirements which were conditions of my permit. I now request completion of this Certificate of Compliance by the program administrator.

Signed _____

Agent for Applicant

Date _____

July 11, 1989

Rev. _____

July 21, 1989

2. I certify that I have completed the above project in accordance with conditions of variance number _____, dated _____ to the Community's floodplain management regulations and have met all requirements which were a condition of the variance. I now request completion of this certificate of compliance by the program administrator.

Signed _____

Date _____

SECTION B (Local Administrator will complete, file, and return a copy to the applicant.)

Final Inspection Date _____ by _____

This certifies that the above described floodplain development complies with requirements of Flood Damage Prevention Local Law No. _____, or has a duly granted variance.

Signed _____
(Local Administrator)

Date _____

Supporting Certifications: Floodproofing, elevation, hydraulic analysis, etc; (List).

CERTIFICATION OF EXISTING ELEVATIONS BY: ZIMMERMAN E. & S, P.C.
MAPPINGS & PAGES FROM THE "HYDROLOGIC & HYDRAULIC STUDY
FOR THE PROPOSED SUBDIVISION FOR
GROVE HOMES, INC.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK"

**HYDROLOGIC AND HYDRAULIC STUDY
FOR THE PROPOSED SUBDIVISION
FOR GROVE HOMES, INC.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK**

PREPARED FOR

**ZIMMERMAN ENGINEERING AND SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926**

PREPARED BY

**RAIMONDI ASSOCIATES, P.C.
110 STAGE ROAD
MONROE, NEW YORK 10950**

APRIL 1988

OUR FILE #PY8803082

EXISTING CHANNEL

DEPTH	CWSEL	CRIMS	EG	HV	HL	GLOSS	BANK ELEV
Q	QCH	QROB	ALOB	ACH	AROB	VOL	TWA LEFT/RIGHT
TIME	VCH	VROB	XNL	XNCH	XNR	WTN	ELMIN SSTA
SLOPE	XLOB	XLCH	ITRIAL	IDC	ICONT	CDRAR	TOPWID ENDST

*SECNO 493.000

3695 20 TRIALS ATTEMPTED WSEL,CWSEL

3693 PROBABLE MINIMUM SPECIFIC ENERGY

3720 CRITICAL DEPTH ASSUMED

493.00	3.44	364.94	364.94	.00	366.11	1.17	.95	.10	367.50
757.	0.	747.	10.	0.	86.	4.	2.	1.	363.10
.03	.00	8.73	2.22	.060	.030	.060	.000	361.50	977.44
.009833	105.	90.	80.	20	11	0	.00	40.42	1017.86

FLOW DISTRIBUTION FOR SECNO= 493.00 CWSEL= 364.94

STA= 977. 1013. 1018.

PER Q=	98.7	1.3
AREA=	85.6	4.4
VEL=	8.7	2.2

*SECNO 552.200

3695 20 TRIALS ATTEMPTED WSEL,CWSEL

3693 PROBABLE MINIMUM SPECIFIC ENERGY

3720 CRITICAL DEPTH ASSUMED

552.20	4.94	366.74	366.74	.00	367.87	1.13	.45	.00	365.30
757.	21.	665.	71.	14.	73.	38.	3.	1.	364.80
.03	1.55	9.07	1.90	.060	.030	.060	.000	361.80	973.22
.006121	45.	59.	60.	20	11	0	.00	76.55	1049.77

FLOW DISTRIBUTION FOR SECNO= 552.20 CWSEL= 366.74

STA= 973. 992. 1011. 1050.

PER Q=	2.8	87.8	9.4
AREA=	13.6	73.3	37.6
VEL=	1.6	9.1	1.9

*SECNO 602.000

3301 HV CHANGED MORE THAN HVINS

602.00	5.20	349.90	.00	.00	368.10	.20	.14	.09	365.20
757.	138.	362.	257.	87.	73.	193.	3.	1.	364.40
.04	1.59	4.98	1.33	.060	.030	.060	.000	362.70	942.90
.00155	49.	50.	50.	4	0	0	.00	198.25	1141.15

THIS RUN EXECUTED 04-24-88

 HEC2 RELEASE DATED NOV 76 UPDATED MAY 1984
 ERROR CORR - 01,02,03,04,05,06
 MODIFICATION - 50,51,52,53,54,55,56
 IBM-PC-XT VERSION AUGUST 1985

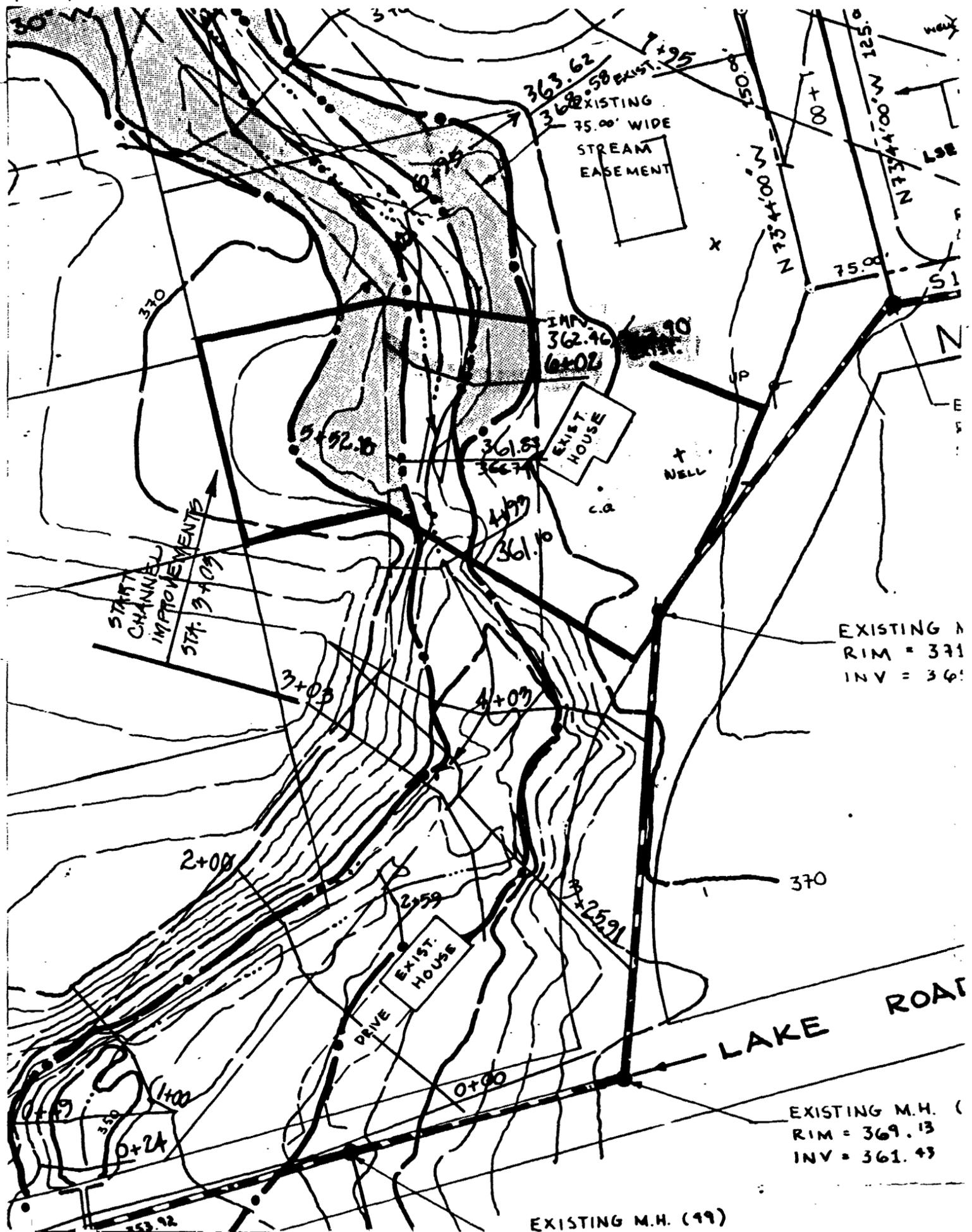
NOTE- ASTERISK (*) AT LEFT OF CROSS-SECTION NUMBER INDICATES MESSAGE IN SUMMARY OF ERRORS LIST

DOS GROVE100

IMPROVED CHANNEL

SUMMARY PRINTOUT

SECNO	XLCH	ELTRD	ELLC	ELMIN	CWSEL	EG	DEPTH	VCH	TOPWID	Q	QCH	10K>
-101.000	.00	.00	.00	344.40	347.36	348.15	2.96	7.74	77.88	757.00	627.29	96.5
* -50.000	51.00	.00	.00	345.50	348.93	350.07	3.43	8.67	45.35	757.00	736.14	123.5
* -22.000	28.00	.00	.00	346.13	353.32	354.32	7.19	11.34	68.24	757.00	305.28	101.5
* -21.000	1.00	353.91	355.50	346.13	355.78	356.18	9.65	8.52	162.00	757.00	167.82	149.5
16.000	37.00	353.91	356.19	346.82	356.35	356.58	9.53	6.50	162.00	757.00	142.72	75.5
17.000	1.00	.00	.00	346.80	356.50	356.59	9.70	2.87	130.77	757.00	513.92	2.7
49.000	32.00	.00	.00	348.80	356.55	356.60	7.75	1.90	119.37	757.00	732.65	1.7
100.500	51.50	.00	.00	349.10	356.54	356.62	7.44	2.34	100.94	757.00	720.88	2.0
200.000	99.50	.00	.00	351.80	356.07	356.90	4.27	7.72	60.28	757.00	671.84	46.0
* 259.000	59.00	.00	.00	353.10	356.95	357.97	3.85	8.25	51.08	757.00	730.15	109.5
* 303.000	44.00	.00	.00	354.50	358.21	359.10	3.71	9.30	84.79	757.00	462.75	80.5
325.900	22.90	.00	.00	354.74	358.76	359.25	4.02	6.47	70.33	757.00	529.82	40.1
* 403.000	77.10	.00	.00	355.75	359.46	360.35	3.71	7.57	59.19	757.00	756.82	117.8
* 493.000	90.00	.00	.00	356.87	361.10	362.56	4.23	9.69	26.93	757.00	757.00	101.6
* 552.200	59.20	.00	.00	357.61	361.83	363.30	4.22	9.72	26.89	757.00	757.00	102.6
* 602.000	49.90	.00	.00	358.24	362.66*	363.93	4.22	9.71	26.90	757.00	757.00	102.4
* 695.000	93.00	.00	.00	359.40	363.62	365.09	4.22	9.72	26.89	757.00	757.00	102.5



U (37)

- 3) ALL UTILITIES TO BE UNDERGROUND
- 4) PLANS ARE INCOMPLETE / INVALID UNLESS THEY CONTAIN SHEETS 1, 2, 3 & 4 OF 4 AND HAVE THE SEAL & SIGNATURE OF THE DESIGN ENGINEER.

SHEET 1 of 2	<h1>FLOOD PLAIN DELINEATION</h1>	
REVISED	SUBDIVISION FOR GROVE HOMES INC.	
3-28-86 6-13-86 10-2-86 5-11-87 9-23-87	SCALE: 1" = 60'	JOB NO: 85-106 DRAWN BY: M.M.M. REV: 3-25-86
TOWN OF NEW WINDSOR ORANGE COUNTY, NEW YORK		
ZIMMERMAN ENGINEERING & SURVEYING P.C. RTE. 17M HARRIMAN, NEW YORK		

REVISION: DATE:	ISSUE:	DESCRIPTION:
JUNE 10, 1988	1	ADD STATION - 20+00 TO 7+95

FLOOD PLAIN INFORMATION ONLY:

RAIMONDI ASSOCIATES, P.C.

CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS
MONROE, N.Y. WESTWOOD, N.J.

110 STAGE ROAD
MONROE, NEW YORK 10950

MICHAEL J. SANDOR P.E.
LICENSED PROFESSIONAL ENGINEER N.Y. LIC. NO. 60445



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

1763

MEMORANDUM

TO: TOWN OF NEW WINDSOR BUILDING DEPT.
ATTENTION: MICHAEL BABCOCK, BUILDING INSPECTOR
FROM: RICHARD D. MC GOEY, P.E.
ENGINEER FOR THE TOWN
SUBJECT: APPLICATION FOR DEVELOPMENT IN A FLOOD HAZARD AREA
LANDS OF WILLIAM AND DOREEN DIEMER

Dear Mike:

Please find attached the Certificate of Compliance for tax lot #58-6-6 & 58-6-1.32 for subject subdivision. This information has been submitted by Zimmerman Engineering in compliance with our letter of 11 July 1989.

The information attached further supports the application for construction within or near a flood hazard area. These application forms must now be completed by the local administrator who is yourself. We would, therefore, recommend signature on the Certificate of Compliance and any other signatures required on the application forms by the local administrator.

Please be advised that line #1 of the Certificate of Compliance has been signed by an agent for the applicant and not by the applicant, William Diemer. We would, therefore, suggest that you discuss this matter with Tad Seaman prior to issuance of any permits.

If you should have any questions in the interim, please contact our office.

Very truly yours,

Richard D. McGoey, P.E.
Richard D. McGoey, P.E.,
Engineer for the Town

RDM:mlm

DIEMER SUBDIVISION (89-19) RESCA DRIVE

Mr. Ed Biagini came before the Board representing this proposal.

Mr. Biagini: Basically, what we are seeking tonight is final approval subject to the Town Board accepting the public improvement bond.

Mr. Soukup: You work out the scope of the bond and all with Mr. McGoey.

Mr. Biagini: We put about 60% of the improvements in. My engineer has submitted a letter to the Town Board. We are going to a workshop session on Monday to post the bond and I spoke with Dick McGoey yesterday regarding item #2, the flood plain hazard application, he reviewed it and he was recommending Mike Babcock sign it.

Mr. Roncs: We have a copy of a letter from Dick McGoey, a memo to Mike which is undated but was in our minutes package.

Mr. Soukup: You don't have any problem having Diemer signing the application, do you?

Mr. Biagini: No problem.

Mr. Soukup: Subject to Diemer signature, subject to Babcock signing the flood hazard and subject to the Town Board accepting the bond.

Mr. Matscherz: Was SEQR taken?

Mr. Schiefer: Item #3 on the engineer's report.

Mr. VanLeeuwen: I make a motion that we declare a negative declaration under SEQR.

Mr. Pagano: I'll second that motion.

ROLL CALL:

Mr. Soukup	Aye
Mr. Pagano	Aye
Mr. VanLeeuwen	Aye
Mr. Schiefer	Aye

Mr. Schiefer: Okay, now that is taken care of.

Mr. Soukup: I move that we grant final approval to the Diemer Subdivision (89-19) subject to Diemer's signature on the application, Mike Babcock signing the application for hazard area and the Town Board accepting the bond.

Mr. VanLeeuwen: I will second that motion.

ROLL CALL:

Mr. Pagano	Aye
Mr. VanLeeuwen	Aye
Mr. Soukup	Aye
Mr. Schiefer	Aye

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

July 21, 1989

Town of New Windsor
Building Department
555 Union Avenue
New Windsor, NY 12550

Attn.: Mr. Richard McGoey P.E., Floodplain Administrator

Re: Certification of Existing Elevations for
Certificate of Compliance for Floodplain Development
William & Doreen Diemer
Mecca Drive, New Windsor, New York
Tax Map No.: S-58,B-6,L-6 (existing house)

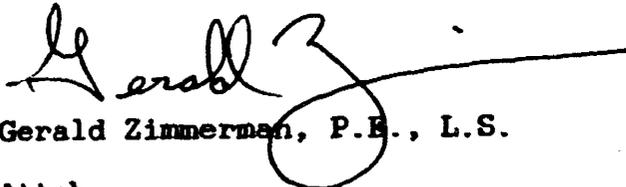
Dear Mr. McGoey

The following elevations are being supplied to you, in support of the above noted application.

100 year Floodplain elevation existing....	367.90
100 year Floodplain elevation improved....	362.46
Lowest slab elevation (garage).....	369.44
Top of well casing.....	372.10
Top of sanitary sewer clean out	372.93
Rim of sanitary sewer manhole	371.70

I hereby certify that the above information is true, accurate and in compliance with the local floodplain development requirements.

Sincerely
ZIMMERMAN ENGINEERING & SURVEYING, P.C.



Gerald Zimmerman, P.E., L.S.

Attch.



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

July 11, 1989

Suburban Homes of O.C., Inc.
P.O. Box 286
Salisbury Mills, NY 12577

ATTN: EDWARD BIAGINI

SUBJECT: APPLICATION FOR DEVELOPMENT IN A HAZARD AREA
LANDS OF WILLIAM AND DOREEN DIEMER
MECCA DRIVE - NEW WINDSOR, NY

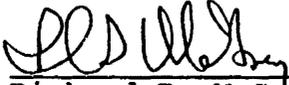
Dear Mr. Biagini:

As discussed with your office on the 11th of July, 1989, the application received from Zimmerman Engineering and Surveying in regard to subject application is incomplete. Please have your Engineer provide the following additional documentation as part of the application for development in a flood hazard area:

1. Name and address of the owner of record if presently different than Diemer.
2. Building construction documentation, including the as-built elevation of the lowest floor level and certification of the registered professional Engineer or Land Surveyor as requested on page 3 and as required on page 4 (Item #3). In addition, provide the elevation of the top of the well casing and any sewer clean-outs or manholes, both of which must be certified by a professional Engineer or Land Surveyor, as required on page 4 (Item #3).
3. Provide the necessary elevation certifications and Certificate of Compliance, as required on page 4 (Item #7).
4. Complete the Certificate of Compliance for flood plain development including certifications on lines #1 & #2 by the applicant, and supporting certifications should be listed at the bottom of the page of the Certificate of Compliance with the certifications and other documentation attached as prepared by your Engineer or Land Surveyor.

Upon completion of the above information, our office will continue our review, however, if you should have any questions in the interim, please contact our office.

Very truly yours,



Richard D. McGoey, P.E.,
Engineer for the Town

**cc: Michael Babcock, Building Inspector
Mark Edsall, P.E., Planning Board Engineer
Gerald Zimmerman, P.E., L.S. - Zimmerman Engineering**

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

June 2, 1989

Town of New Windsor
Planning Board
555 Union Avenue
New Windsor, NY 12550

Attn.: Mr. Carl Scheifer, Planning Board Chairman

Re: Application for Development in Flood Hazard Areas
Lot Line Change & Minor Subdivision for
William & Doreen Diemer
Mecca Drive, New Windsor, New York

Dear Mr. Scheifer

As per the request of the Planning Board and their consulting engineer, we are submitting the above noted application.

In preparing this application we have researched the following two sources for information in regard to the location and elevation of the 100 year floodplain as it effects this project site:

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP
Town of New Windsor
Orange County, New York
Community-Panel Number 360628 0005 B
Page 5 of 10

HYDROLOGIC AND HYDRAULIC STUDY
FOR THE PROPOSED SUBDIVISION
FOR GROVE HOMES, INC.
Town of New Windsor
Orange County, New York

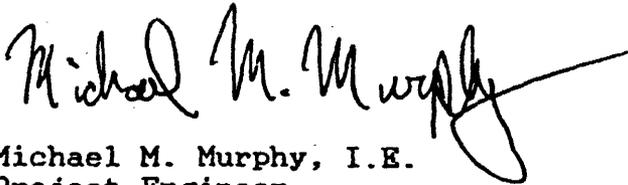
First of all we would like to bring to your attention that although based on both of the above noted studies the 100 year floodplain does in fact pass through this project site, there is no existing nor proposed construction within the limits of this floodplain.

June 2, 1989

The reason we have checked the second noted source of information is because based on that study there is currently an application before the Federal Emergency Management Agency (FEMA) for a map revision, which would change the limits of the floodplain in this area. The limits of the floodplain would be reduced, once this proposed map change goes into effect.

We sincerely hope that the foregoing comments and the attached Application for Development in Flood Hazard Areas have been completed to your satisfaction. Your cooperation and assistance in reviewing this application is greatly appreciated.

Sincerely
ZIMMERMAN ENGINEERING & SURVEYING, P.C.



Michael M. Murphy, I.E.
Project Engineer

MM/jl
Enc.

cc. Mr. Mark J Edsall, P.E.
Applicant

FOR OFFICIAL USE ONLY

Permit No. _____

Fee Received _____ Date _____

Town _____ of _____ New Windsor _____

Orange _____ County, New York

Permit Application for Development
in
Flood Hazard Areas

- A. General instructions page 4 (Applicant to read and sign)
B. For assistance in completing or submittal of this application contact:

_____, Floodplain Administrator,
(Name)

(Address)

_____, NY () _____ - _____.

1. Name and Address of Applicant

William Diemer
(First Name) (MI) (Last Name)

Street Address: R.D. 1, Mecca Drive

Post Office: Salisbury Mills State: N.Y. Zip Code: 12577

Telephone: () _____ - _____

PROJECT LOCATION

Street Address: Mecca Drive
New Windsor, New York

58-6-1.32
 Tax Map No. 58-6-6

Name of, distance and direction from nearest intersection or other landmark
300' west of intersection of Mecca Drive and Lake Road

Name of Waterway: Unnamed Brook to Beaver Dam Lake

PROJECT DESCRIPTION (Check all applicable boxes and see Page 4, Item 3)Structures

New Construction
 Addition
 Alteration
 Relocation
 Demolition
 Replacement

Structure Type

Residential (1-4 family)
 Residential (More than 4 family)
 Commercial
 Industrial
 Mobile Home (single lot)
 Mobile Home (Park)
 Bridge or Culvert

Estimated value of improvements if addition or alteration: \$300,000.00

Note: No improvements within flood plain: \$0.00

Other Development Activities

Fill Excavation Mining Drilling Grading
 Watercourse alteration Water System Sewer System
 Subdivision (New) Subdivision (Expansion)
 Other (Explain)

CERTIFICATION

Application is hereby made for the issuance of a floodplain development permit. The applicant certifies that the above statements are true and agrees that the issuance of the permit is based on the accuracy thereof. False statements made herein are punishable under law. As a condition to the issuance of a permit, the applicant accepts full responsibility for all damage, direct or indirect, of whatever nature, and by whomsoever suffered, arising out of the project described herein and agrees to indemnify and save harmless to the community from suits, actions, damages and costs of every name and description resulting from the said project. Further, the applicant agrees that the issuance of a permit is not to be interpreted as a guarantee of freedom from risk of future flooding. The applicant certifies that the premises, structure, development, etc. will not be utilized or occupied until a Certificate of Compliance has been applied for and received.

5/30/89
Date

William C. Diemer
Signature of Applicant
William C. Diemer

Town _____ of _____ New Windsor
Flood Hazard Development Permit

Administrative Action
Completed by Floodplain Administrator

Proposed project located in "A" zone with elevation
(See Attached Letter) "A" zone without elevation
 Floodway
 Coastal High Hazard Area (V-Zone)
370.4 existing condition
364.9 proposed condition

Base flood elevation at site is Not determined

Source documents: HEC II Study for Grove Homes, Inc.

F.E.M.A. Firm (T) New Windsor, Orange County, New York - Page 5 of 10

PLAN REVIEW

Elevation to which lowest floor is to be elevated 372 ft. (NGVD)
Elevation to which structure is to be floodproofed N/A ft. (NGVD)
Elevation to which compacted fill is to be elevated N/A ft. (NGVD)

ACTION

Permit is approved, proposed development in compliance with applicable floodplain management standards.

Additional information required for review. Specify: (i.e, encroachment analysis)

___ Permit is conditionally granted, conditions attached.

___ Permit is denied. Proposed development not in conformance with applicable floodplain management standards. Explanation attached. A variance, subject to Public Notice and Hearing, is required to continue project.

Signature _____ Date _____
(Permit Issuing Officer)

This permit is valid for a period of one year from the above date of approval.

BUILDING CONSTRUCTION DOCUMENTATION

The certified "As Built" elevation of lowest floor (including basement) of structure is _____ ft. NGVD.

Certification of registered professional engineer, land surveyor or other recognized agent, documenting these elevations is attached.

CERTIFICATE OF OCCUPANCY/COMPLIANCE

Certificate of Occupancy and/or Compliance Issued:

Date _____ Signature _____

Town _____ of _____ New Windsor

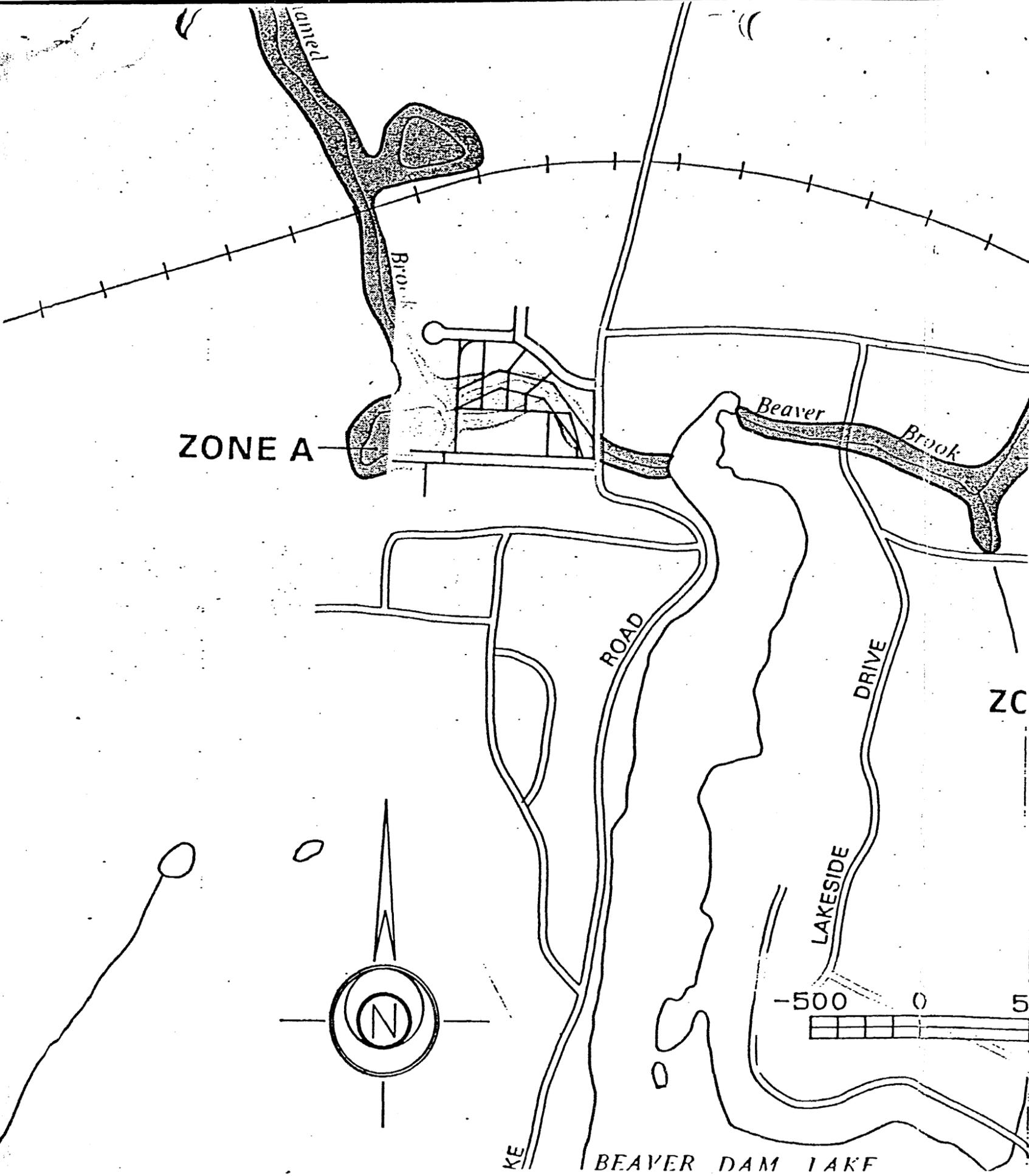
Orange _____ County, New York

Development in Flood Hazard Areas
Instructions

1. Type or print in ink
2. Submit _____ copies of all papers including detailed construction plans and specifications.
3. Furnish plans drawn to scale, showing nature, dimension and elevation of area in question; existing or proposed structures, fill, storage of materials, drainage facilities and the location of the foregoing. Specifically the following is required: (A) NGVD (Mean Sea Level) elevation of lowest floor including basement of all structures; (B) description of alterations to any watercourse; (C) statement of techniques to be employed to meet requirements to anchor structures, use flood resistant materials and construction practices; (D) show new and replacement potable water supply and sewage systems will be constructed to minimize flood damage hazards; (E) Plans for subdivision proposal greater than 50 lots or 5 acres (whichever is least) must provide base flood elevations if they are not available; (F) Additional information as may be necessary for the floodplain administrator to evaluate application.

4. Where a non-residential structure is intended to be made watertight below the base flood level, a registered professional engineer or architect must develop and/or review structural design, specifications, and plans for the construction and certify that the design and methods of construction are in accordance with accepted standards of practice for meeting the applicable provisions of the local floodplain management regulations.
5. No work on the project shall be started until a permit has been issued by the floodplain administrator.
6. Applicant is hereby informed that other permits may be required to fulfill local, state and federal regulatory compliance.
7. Applicant will provide all required elevation certifications and obtain a certificate of compliance prior to any use or occupancy of any structure or other development.

✓ Applicant's signature William C. Dine Date 5/30/89
Down Dine



NATIONAL FLOOD INSURANCE PROGRAM

FLOOD INSURANCE RATE MAP

TOWN OF
NEW WINDSOR,
NEW YORK
ORANGE COUNTY

COMMUNITY-PANEL NUMBER
360628 0005 B

PAGE 5 OF 10

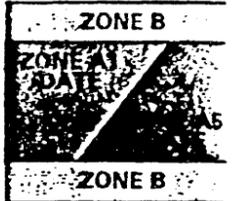
EFFECTIVE
DECEMBER 15, 1978



U.S. DEPARTMENT OF HOUSING
AND URBAN DEVELOPMENT
FEDERAL INSURANCE ADMINISTRATION

KEY TO MAP

- 500-Year Flood Boundary
- 100-Year Flood Boundary
- Zone Designations* With Date of Identification e.g., 12/2/74
- 100-Year Flood Boundary
- 500-Year Flood Boundary



- Base Flood Elevation Line With Elevation In Feet** 513
- Base Flood Elevation In Feet Where Uniform Within Zone** (EL 987)
- Elevation Reference Mark RM7x
- River Mile • M1.5

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

INITIAL IDENTIFICATION
APRIL 8, 1974

DIEMER - SUBDIVISION (88-49) MECCA DRIVE

Mr. Edward Biagini came before the Board representing this proposal.

Mr. Biagini: This is a two lot minor subdivision on the southwest side of Mecca Drive. It is serviced by sewer.

Mr. Schiefer: Let's see what the engineer's comments are. The proposed road, is that going to be a town road.

Mr. Biagini: Yes, that is not part of the subdivision. We have a major subdivision pending back here.

Mr. VanLeeuwen: How many years ago did you get the other minor subdivision down on the bottom area. How many years ago was that?

Mr. Biagini: 1986, I believe.

Mr. Schiefer: When in '86.

Mr. Biagini: This is April 6th, 1987.

Mr. Schiefer: It is illegal. You have to wait three years. I don't know if you have been reading what is happening in the Town of Newburgh, there has been alot of rejection to a subdivision within a period of less than three years, come back and do another subdivision.

Mr. Biagini: That is the same person, correct.

Mr. Schiefer: Same person, same family.

Mr. Biagini: Let me give you a little background on this. This was the original three lot was John Crisenzo (phonetic). I sold this lot #3 to people by the name of Diemer and, basically what I sold them was a house on a half acre in order to keep the remainder of the land from being unencumbered by their mortgage, we drew two deeds which I have over here, the second deed was for the remaining parcel of land. This line is actually not here yet. The Orange County Clerk's Office or the Orange County Tax Department picked up the two deeds. If you look it up on the tax map, it will show as two parcels which it is really not. That is the reason I am here subdividing it and it is being actually subdivided by Suburban Homes which is a new owner. It is not the same owner that subdivided the three lots back in 1987.

Mr. Schiefer: Mike, did you have some comments on this before.

Mr. Soukup: Mark, on item 2, you say the plan appears to comply with the minor requirements of R4 zone. Does lot 2 have adequate frontage?

Mr. Edsall: Minimum is 60 foot and first off to step back a minute, they are indicating proposed road. I have to assume that this is in fact a correct statement that they intend to propose a road so you would not know that by looking at the map. We just heard that

tonight. The map indicates we are proposing a road. If they are not proposing a road, I'd suggest that they not allow this to be on the map. You shouldn't show a proposed road and in fact, it is proposed someplace else or by somebody else and even if that road doesn't go in, they have 64.44 feet so they would just meet the minimum requirements but I do take objection to the proposed road being shown when we were told tonight that it is not being proposed.

Mr. Biagini: It is being proposed.

Mr. Edsall: But, not as part of this subdivision and you are showing on a subdivision plan that you are hoping to be filed so I don't think it is appropriate to show it unless it is part of the subdivision.

Mr. Biagini: I have to build a road eventually anyway.

Mr. VanLeeuwen: Will you build a road almost up to the cul-de-sac?

Mr. Biagini: Sure, yes.

Mr. Schiefer: And, then the word proposed should come out of there. Mark, would it be better if he takes the word proposed out.

Mr. Edsall: As long as he is proposing it as part of this plan, I have no objection. If it is not going to be part of this plan, no sense showing it.

Mr. Schiefer: His first answer was part of the next subdivision.

Mr. VanLeeuwen: If he is willing to put it up to the end of the property line.

Mr. Schiefer: I understand, any other comments. Is this an existing or proposed easement?

Mr. Biagini: That is an existing.

Mr. VanLeeuwen: What I would suggest, Ed, I will give you a copy of the reviews.

Mr. Soukup: Is this stream the outlet from Beaver Dam?

Mr. Biagini: It feeds Beaver Dam.

Mr. Soukup: I was curious about comment #7 about elevations. I think it would be a very good idea to show existing and proposed house elevations with respect to the drainage easement so we know there is no problem of future flood damage.

Mr. Schiefer: Mike, did you look at item 7, the elevation, do either one of you have comments, have any comments on that.

Mr. Babcock: Yes. The, well, actually, my problem is that right now all the records, all the tax maps and everything shows that this is two lots. There is an existing house on lot 1, I assume that is lot 1, and there is a house under construction on lot 2. If this is not a lot, that is not subdivided, we have two houses on one lot right now.

Mr. VanLeeuwen: Is the other house built already?

Mr. Biagini: One is lived in since 1987. That is the existing house and the other house is under construction. There is nobody in it.

Mr. Schiefer: A proposed house is under construction. You knew you didn't have a subdivision here.

Mr. Biagini: I submitted this subdivision plan before I came in for a building permit because the Diemer's were supposed to do this. They were supposed to subdivide it and the land would revert to Suburban Homes. When I split up with my brother, I got deeds on various parcels. I have 40 some odd parcels. I had a building lot, I came in, it showed as a building lot and we applied for a permit on it.

Mr. Schiefer: Did you issue a permit on that, the second house.

Mr. Babcock: Yes, we also issued a stop work order when we saw this plan two days ago.

Mr. Soukup: Is Diemer the owner of record of the entire parcel, both lots.

Mr. Biagini: Yes.

Mr. Soukup: Have they indicated you are authorized to proceed with the subdivision.

Mr. Biagini: Yes.

Mr. Schiefer: What it really looks like is we are trying to make legal something that has already happened. This is the reason you are in here.

Mr. Biagini: Basically, yes.

Mr. Babcock: As far as item #7 on this subdivision, that is in the back, it is approximately a 35 lot subdivision. This went, every lot that we went through item #7 as far as the flood elevations, I would assume that this lot 2 did not go through at that review only because there was already a house on it as lot 3 of the existing house.

Mr. Schiefer: What are you suggesting before we allow him to go ahead with the house that is underway now it should go through it.

Mr. Babcock: I'd have to talk to Dick McGoey to find out if this lot was part of the determination on the flood plain.

Mr. Edsall: Just flipping back in the records, just for the Board's understanding, the application has been submitted by the Diemer's and the proxy statement has authorized Daniel Yanosh, a licensed surveyor, to represent him.

Mr. Biagini: He couldn't be here. That is why I am here.

Mr. Edsall: You'd have to have someone authorize to have Mr. Diemer represent him here tonight.

Mr. Lander: How far along are you on the house?

Mr. Biagini: It is in the middle of framing.

Mr. VanLeeuwen: Mike put a stop order on it?

Mr. Biagini: Yes.

Mr. Schiefer: As I said, you discovered something done illegally and now they are trying to rectify that and what the engineer is pointing out and the building inspector, hey fine but make sure it is up to snuff before we go ahead of it.

Mr. VanLeeuwen: I gave him a copy of all the things required and I suggest we will discuss it at whatever meeting you put him on.

Mr. Schiefer: Do you have any other further questions because we are not going to act on this this evening.

Mr. Biagini: As far as the engineer's comments, Mr. Yanosh will be at the next meetings and he will have all of these items addressed.

Mr. Pagano: Just a thought that the house is just a frame right now.

Mr. Biagini: Yes.

Mr. Pagano: Mike, would you consider allowing him putting up a roof to protect his investment.

Mr. Schiefer: The last time he did that, it was occupied.

Mr. Biagini: I didn't do that.

Mr. Schiefer: No, I apologize. I am not talking about you.

Mr. Biagini: That was my brother.

Mr. Schiefer: We'd like to be helpful but we don't want to find the house occupied.

Mr. Babcock: I have been asked that before and I haven't made up my mind of what I should do. To be honest, I don't know whether I have

the right to let him put the roof on. I did have a minute with the town attorney this morning as I told Mr. Biagini, I'd like to talk to him again to see if I am in my rights. Right now, it doesn't meet any section of the town code. The town code says you can only have one dwelling per lot so I don't know whether I am at fault my issuing the building permit already although the records showed that it was a buildable lot.

Mr. Schiefer: If it is legal.

Mr. VanLeeuwen: I suggest that Mike and Ed Biagini get together with the town attorney and discuss that.

Mr. Schiefer: I called Mike this morning and he was just in discussing that issue with Tad at the time if it is okay with them, the Board certainly would have no objection if it is legal for you to take that kind of action to protect the man's investment but if you can't, you can't but you are going to have to get together anyway.

Mr. Edsall: Being that this will most likely take 30 days for the evaluation to be made on the drainage and other items, we should let the applicant know that it will likely be brought up at an up coming agenda to either take a positive or negative action because you are required to take action with 30 days. I suggest you have the applicant in with a letter waiving the--

Mr. Schiefer: Someone authorized to write it, a letter to us authorizing us an extension beyond the 30 days.

Mr. Biagini: Okay.

DEIMER SUBDIVISION - MECCA DRIVE (89-19)

Mr. Michael Murphy came before the Board representing this proposal.

Mr. Murphy: I am here representing the Deimer Subdivision.

Mr. VanLeeuwen: What is that a temporary turn around you have there?

Mr. Murphy: The turn around that is shown on there is a cul-de-sac that has been approved by this Board for the Quality Homes Subdivision which is a subdivision right behind this one. Now, that is--

Mr. VanLeeuwen: Okay, I see it.

Mr. Murphy: It is a special condition on this lot because that portion is not owned by the Deimer's. That is still part of Quality Homes Subdivision.

Mr. Soukup: That little triangular.

Mr. Murphy: Grove Homes, excuse me, this triangular piece is also under the ownership of Grove Homes or Suburban Homes and that is going to be deed over to Deimer as part of a lot line change to this subdivision.

Mr. Pagano: There is no town water on this.

Mr. Murphy: No, each of these lots are going to be served by drilled wells and are proposed to be hooked up to the town sewer.

Mr. Pagano: We have from the building inspector, he has approved it.

Mr. VanLeeuwen: We have a problem here, guys, 15,000 square feet, you have to have water and sewer. Oh, you have 21,000 square feet on that, that is okay. I will back off on that, I'm sorry. I just don't want to make a mistake.

Mr. Murphy: I believe all these lots are rather large on the order of 3/4 of an acre a piece.

Mr. VanLeeuwen: As far as I'm concerned, if he meets the requirements that I just handed him from the engineer, I don't see any problems.

Mr. Pagano: Does he have a copy of our engineer's statements?

Mr. VanLeeuwen: Yes, I gave it to him.

Mr. Lander: I think at the last meeting that we had, he was going to build this road not to the cul-de-sac, am I correct on that.

Mr. Pagano: I don't recall.

Mr. Lander: He was going to build a road to the property line on the last lot.

Mr. Soukup: The last meeting was only two lots and he wasn't going to build any road at all.

Mr. Murphy: The last meeting was a different application. This is a whole new application.

Mr. Soukup: Oh, it is an '89 application.

Mr. Lander: So the road would have to be built in its entirety.

Mr. Soukup: What is the intention with respect to the proposed town road?

Mr. Murphy: We placed a note on this lot #3 which is the only one that is going to be receiving access from that proposed town road, the lot #3 is not to be built on until the town road is developed. Now, that road is part of another subdivision which is still currently before this Board. It has received preliminary approval and as a matter of fact, we are going to be coming in asking for a final approval shortly.

Mr. VanLeeuwen: Isn't that at Health Department?

Mr. Murphy: That has been approved by the Health Department and the DEC, what has held that one up is the FEMA Study, Federal Emergency Management Agency with regard to the flood hazard and I believe that work is pretty much completed.

Mr. Soukup: Well, that would be one way to handle the third lot. On the second lot, the driveway comes out to the existing Mecca Drive.

Mr. Murphy: Yes, it has got 65 foot of frontage along Mecca Drive, the existing road.

Mr. Soukup: Do you have any problems complying with the engineer's reports?

Mr. Murphy: No, I don't see any problems here.

Mr. Edsall: On lot 3 as far as restrictions for building permits, the way the town code is set up if that lot, if you are looking for this Board to approve that as a subdivision lot, you'd have to bond the road, at least this portion of the road as part of this subdivision, not withstanding the fact that you have another application before the Board. The fact if you are looking for an approval of that lot, it will be necessary that you bond it as part of this application. If you care to hold off asking for final approval on this for other approvals on larger subdivisions, that is your option but this Board really couldn't approve the subdivision and waive the need to post a bond for that road. It is required by town law.

Mr. Murphy: We sent you a bond estimate on that.

Mr. Edsall: Right but the indication was that you were looking to have this road be considered part of another application and would restrict the development of lot 3 pursuant to that other application, it can't be done. If you are looking for approval of the subdivision, you'd have to bond this piece of road.

Mr. Soukup: You'd have to bond the cul-de-sac in return for the three lot subdivision.

Mr. Murphy: Okay.

Mr. Soukup: That would be subject to the DEC spanning the map for the sewer also.

Mr. Edsall: I have some correspondence here from Ceasar Manfred (phonetic), not to me but to Mr. Zimmerman's office regarding the approval of sewer lines back in March of '87. Evidently, the sewer lines through this area were submitted back then and already approved. I just want to make a cross reference so we make sure the lines will be put in based on that approval.

Mr. Soukup: It looks a lot cleaner than what we had before and it does resolve the problem of two house construction on one lot, right.

Mr. Babcock: Yes.

Mr. VanLeeuwen: I think we should let him complete what he has got there and come to the next meeting and we will get it over with.

Mr. Soukup: Set a hearing date, they have got a month to get the maps back in with the changes.

Mr. VanLeeuwen: We usually don't go for public hearings on minor subdivisions.

Mr. Pagano: Mr. Edsall's notes, we may want to assume position of lead agency.

Mr. VanLeeuwen: I make a motion that the Planning Board assume the position of lead agency with regard to Deimer Subdivision Mecca Drive.

Mr. Soukup: I will second that.

ROLL CALL:

Mr. Lander	Aye
Mr. Soukup	Aye
Mr. VanLeeuwen	Aye
Mr. Pagano	Aye

Mr. Soukup: I have no problem waiving the public hearing since it

is part of the other subdivision.

Mr. VanLeeuwen: I make a motion that we waive the public hearing with regard to Deimer Subdivision Mecca Drive.

Mr. Soukup: I will second the motion.

ROLL CALL:

Mr. Lander	Aye
Mr. Soukup	Aye
Mr. VanLeeuwen	Aye
Mr. Pagano	Aye

Mr. Soukup: It is up to the applicant to comply with the engineer and come back with the final map. See you next time.

Mr. Murphy: Thank you very much.

DIEMER SUBDIVISION (19-19) MECCA DRIVE

Mr. Michael Murphy came before the Board representing this proposal.

Mr. Murphy: We were here on May 24th and covered a lot of ground and tonight we'd like to request a final approval of this subdivision.

Mr. Schiefer: Have you seen the engineer's comments?

Mr. Murphy: I have not seen his latest comments.

Mr. VanLeeuwen: I will give him a copy.

Mr. McCarville: Utilities underground?

Mr. Murphy: Yes.

Mr. McCarville: Any existing for this existing house, are the utilities underground?

Mr. Murphy: I don't believe so.

Mr. McCarville: The house under construction on lot #2, is the utility underground?

Mr. Murphy: No. Once again, because it is being fed off lines on Mecca Drive.

Mr. VanLeeuwen: Is this separate deed, is this two different deeds?

Mr. Murphy: Two different properties. The only reason that this other project has even been brought into this is because this one lot here, lot #3, is going to be served by this proposed town road which is part of this overall subdivision. If the underground utilities are required for the other subdivision, they'd certainly be underground in this new cul-de-sac.

Mr. VanLeeuwen: The reason why I asked, I know we originally subdivided four lots for Biagini, now within a three year period, that is the same parcel. We don't want to wind up with the same problem they have in the Town of Newburgh.

Mr. Murphy: This was always a separate parcel. It was never part of this overall tract.

Mr. VanLeeuwen: Never part of it?

Mr. Murphy: Never part of it.

Mr. McCarville: Which lots are going to have underground utilities?

Mr. Murphy: I'd imagine only lot #3 being that it is going to be serviced off of this proposed road.

Mr. McCarville: That is the only lot that will have underground utilities?

Mr. Murphy: Yes in this three lot subdivision, yes, because both of these are feeding off Mecca Drive which are all above ground that is existing.

Mr. Pagano: Mr. Edsall's note, we have 22.34 acres, is this is a misprint or am I missing something here?

Mr. Edsall: It is a typo.

Mr. Murphy: 2.34, yes.

Mr. McCarville: I'd like to walk the site myself.

Mr. Pagano: On the proposed town road, who is going to construct it? It is not in yet, it is just a town road.

Mr. Murphy: There is nothing there at this point.

Mr. Pagano: Based on the road not there, how are we going to approve something?

Mr. Soukup: The applicant has submitted a public improvement bond estimate.

Mr. Murphy: There is also a note on there.

Mr. Pagano: That is still based on the bond that you are going to identify that to see the second house finished and then--

Mr. Soukup: The map won't be signed until the bond is posted and until that point, nothing can happen to that lot. It can't be sold or built on.

Mr. Pagano: How long is the bond good for?

Mr. VanLeeuwen: It is extenable.

Mr. Soukup: Two years with an extension.

Mr. Pagano: He has got two lots right now and that is fine, the road is being split amongst two houses, he sells this one off and the entire cost of the road is going to be based on the third lot.

Mr. Edsall: The plan cannot be stamped until the bond is posted.

Mr. Pagano: My point is subsequent, let's say everything lapses, he finishes house #2, the third lot which is at this road based on

this road being built, the entire cost of that road is going to be based on--

Mr. Edsall: The bond is going to be posted before the plan is stamped.

Mr. McCarville: The bond will finish the road.

Mr. VanLeeuwen: That is buyer beware.

Mr. Murphy: The adjoining subdivision, there are seven other lots that are fronting on that road, that is where some of the costs will be absorbed into those lots also.

Mr. McCarville: Six other lots.

Mr. Schiefer: John, you saw note #5 on the map?

Mr. Soukup: Note #5 answers part of your question which is a double insurance over the fact that the bond also is posted.

Mr. Pagano: Two years, I see someone coming in and saying why should I build because I have to incur the expense of the road?

Mr. Edsall: That is the purpose of the bond.

Mr. Soukup: Mark, I know there was a drainage study prepared as part of the entire subdivision and do these house elevations on here comply with that study with respect to being high enough?

Mr. Edsall: Yes. From what I understand, there was also a separate flood damage prevention application made to the town for this property and Dick McGoey has reviewed the overall area in conjunction with FEMA's reissuing their maps for this area. There is a tremendous--it shows that the area prone to flooding is not currently what is shown on the mapping.

Mr. Soukup: The house elevations are acceptable?

Mr. Edsall: These to my understanding were also reviewed by Dick McGoey as part of the overall area.

Mr. Schiefer: Do you have any comments, sir, on the notes from Mr. Edsall?

Mr. Murphy: No, I only question one note, #7, the Planning Board may wish to make a determination regarding the type of action this project is, should be classified under SEQOR and make a determination regarding the environmental significance. I thought that had been done at the last meeting?

Mr. VanLeeuwen: One thing I don't understand is this here.

Mr. Murphy: That is this piece in here, the way the tax map has it now, that little filler in there belongs to the other parcel next door and that is going to be conveyed to Diemer so that this lot has proper road frontage.

Mr. Roness: There is a note in Mr. Murphy's letter to the Board dated June 2nd that the SEQR process was taken care of at the Planning Board's meeting of May 24th and that likewise at that meeting, public hearing was waived but I don't see the minutes of that meeting.

Mr. Edsall: I checked both my records, my record sheet and it shows that the Board had taken lead agency but didn't make an environmental determination.

Mr. VanLeeuwen: I don't see any big problem with that.

Mr. Edsall: Before you take final action, we get disposition on their application for the compliance with the flood damage prevention law which requires to Mike and Dick to waive off on that application. They have made an application, I don't know if it has been responded to yet so I will make a note to have that response in hand so that you will be able to act when you are ready.

Mr. Schiefer: I don't think we can take action in view that we have some other things to be done.

Mr. Murphy: What is left to be done, we have got the flood plan application in, we are waiting for a response on that, couple of minor variations on the plan in regards to the thickness of the catch basin walls, the diameter of the cul-de-sac.

Mr. Schiefer: The little part in the corner, it says to be conveyed, has it been or hasn't it?

Mr. VanLeeuwen: It has got to be conveyed.

Mr. Edsall: That is the lot line change.

Mr. Pagano: Are we scheduling a site visit?

Mr. Schiefer: I think two people already want to see it and I certainly have no objection to it. Do you want this on the site visit?

Mr. VanLeeuwen: Yes.

Mr. Jones: Yes.

Mr. Pagano: Yes.

Mr. VanLeeuwen: I think we can go there and clean up a lot of our problems and questions.

Mr. Ed Biagini came before the Board representing this proposal.

Mr. Biagini: I want to start work on the sewer, I want to start on the cul-de-sac.

Mr. VanLeeuwen: What about the piece between the road and the cul-de-sac?

Mr. Biagini: I want to get up to the cul-de-sac.

Mr. Soukup: The road and the cul-de-sac?

Mr. Biagini: Yes. I will do whatever you want.

Mr. Lander: The cul-de-sac should be done at the same time as the road.

Mr. Jones: What is the part that you dug out going down toward the creek?

Mr. Biagini: That is basically just for drainage coming off the lot. It was ponding right in the driveway.

Mr. VanLeeuwen: I have no problem, all you want to do is do the road?

Mr. Soukup: The road and the utilities.

Mr. Biagini: Yes.

Mr. Schiefer: Any opposition with his proceeding with that?

Mr. VanLeeuwen: I have no problem.

Mr. Soukup: I move that Mr. Biagini be granted permission to construct a road and the cul-de-sac in the Diemer Subdivision.

Mr. Edsall: If he is going to do any public improvements, he has to coordinate that with the Superintendent of Public Works and the engineer if they are constructed and not approved, they cannot be dedicated. If they oppose it, he can't do it.

Mr. Biagini: I will contact them.

Mr. Soukup: The resolution is made subject to approval and notification of the Highway Superintendent and Town Engineer.

Mr. Jones: I will second that.

ROLL CALL:

Mr. VanLeeuwen	Aye
Mr. Schiefer	Aye
Mr. Jones	Aye
Mr. Lander	Aye
Mr. Pagano	Aye
Mr. Soukup	Aye

7-12-89

Being that there was no further business to come before the Board a motion was made to adjourn the meeting by Mr. Pagano seconded by Mr. VanLeeuwen and approved by the Board.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Frances Sullivan", written over a horizontal line.

FRANCES SULLIVAN
Stenographer

BOND FOR DIEMER SUB
FOR LARRY RESE

REC 8-8-89

4% ON LARGE AMOUNT

(Diemer)
8/8/89 Bond Amount itself
41,998.00

DEPOSIT TICKET

TOWN OF NEW WINDSOR
DIEMER SUBDIVISION TRCT.
555 UNION AVENUE
NEW WINDSOR - N.Y. 12550
8-8-1989

CASH	DOLLARS	CENTS
CHECKS LIST SEPARATE	5175	10
	36822	90
TOTAL	41998	00

BE SURE
EACH ITEM
IS PROPERLY
ENDORSED

53 011 011098 0050 08/08/89 11:44

NO CARBON REQUIRED
FOR CLEAR COPY, PRESS FIRMLY WITH BALL POINT PEN

5093000471 231159559 4?

	Initials	Date
Prepared By		
Approved By		

89 - 19

Suburban Homes - Deimer 3 Lot Subdivision

5-8-89		1	2	3	4
Date	Description	Received	Disbursed	Balance To Date	
4 27	CK# 2325	450.00		450.00	1
8 9	Billing from Mr. Casey, Hauser		608.30	(158.30)	2
8 9	CK# 2653 Suburban Homes	158.30			3
		608.30	608.30	- 0 -	4
					5
					6
					7
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					21
					22
					23
					24

3 Lots @ \$150.00 ea = \$450.00



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

1763

July 27, 1989

Town of New Windsor Town Board
555 Union Avenue
New Windsor, NY 12550

ATTENTION: GEORGE GREEN, SUPERVISOR

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, NY 12550

ATTENTION: CARL SCHIEFER, CHAIRMAN

SUBJECT: DIEMER - PUBLIC IMPROVEMENT PERFORMANCE BOND

Dear George and Carl:

In line with the request of Ed Biagini, the applicant for subject subdivision, the undersigned of our office performed a field review on the 27th of July 1989 of the roadway improvements completed to date. On the basis of our review, we offer the following:

At the request of our office, Mr. Biagini requested that Zimmerman Engineering and Surveying, P.C. prepare a certification of the completed improvements, a copy of which has been enclosed including an itemized cost breakdown. After review of Mr. Zimmerman's certification of 24 July 1989 and our field review of 27 July 1989, we find that with the exception of the shale base the work appears to be satisfactorily completed. To date, the shale base has not been completed to the full width called for on the approved subdivision plans. In addition, soft conditions persist which will result in the loss of shale base and a requirement for placement of additional material at a later date. Therefore, it would be our recommendation that the request for a release of the total 1,000 cy of shale base be reduced by 50% thereby retaining \$10,000.00 for this item.

On the basis of the above it would be our recommendation that the performance bond amount of \$80,000.00, recommended in our letter of 11 July 1989, be reduced by \$41,998.00 leaving a total to be bonded equal to ~~\$38,002.00~~.

We are hopeful that the above is self-explanatory, however, if you should have any questions in this matter, please contact our office.

Very truly yours,

Richard D. McGoey, P.E.
Richard D. McGoey, P.E.,
Engineer for the Town

~~CONFIDENTIAL~~

cc: Suburban Homes of O.C., Inc.
Michael Babcock, Building Inspector
Mark Edsall, P.E., Planning Board Engineer

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

July 24, 1989

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

Attention: Carl Schiefer, Chairman

Town of New Windsor Town Board
555 Union Avenue
New Windsor, New York 12550

Attention: George Green, Supervisor

Re: Minor Subdivision of the Lands of Diemer
Our Job No. 89-21
Roadway Improvements

Dear Sirs:

An on-site inspection of the roadway improvements completed to date has been made by this office. We hereby certify that the following items have been installed as shown on the plans and reflected in the performance bond estimate prepared by Richard D. McGoey, P.E., copy attached.

SITE PREPARATION

Clearing 0.42 ac. @ \$5,000./ac. =	\$2,100.00
Grubbing 0.42 ac. @ \$5,500./ac. =	\$2,310.00
Strip & Stockpile Topsoil @ \$6,400./ac. =	\$2,688.00
Cut & Fill 640 c.y. @ \$10./c.y. =	\$6,400.00

SANITARY SEWER

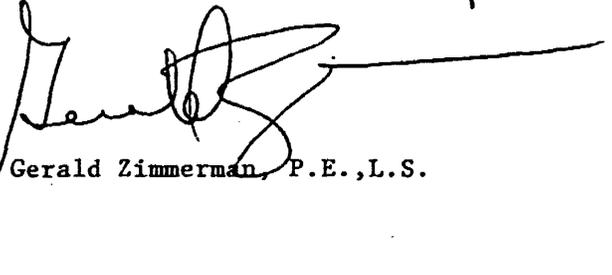
8" PVC sewer pipe 350 LF @ \$40./LF (including excavation & backfill) =	\$14,000.00
Sewer Manhole 1 @ \$1,500./ea. =	\$ 1,500.00
4" House Connections 6 @ \$500./eac. =	\$ 3,000.00

ROADWAY PAVEMENT

Shale Base 1,000 c.y. @ \$20./c.y. = \$20,000.00

Value of Work Completed to Date = \$51,998.00

Very truly yours,

A handwritten signature in black ink, appearing to read 'Gerald Zimmerman', is written over a horizontal line. The signature is stylized and cursive.

Gerald Zimmerman, P.E., L.S.

GZ/j1

Enc.

cc: Michael Babcock, Building Inspector
Mark Edsall, P.E., Planning Board Engineer
Pauline Townsend, Town Clerk
Tad Seaman, Attorney for the Town
Edward Biagini - Suburban Homes of Orange County, Inc.

PERFORMANCE BOND ESTIMATE
MINOR SUBDIVISION OF THE LANDS OF DIEMER

SITE PREPARATION

Clearing 0.42 ac. @ \$5,000./ac. =	\$ 2,100.00
Grubbing 0.42 ac. @ \$5,500./ac. =	2,310.00
Strip & Stockpile Topsoil @ \$6,400./ac. =	2,688.00
Cut & Fill 640 c.y. @ \$10./c.y. =	6,400.00

SANITARY SEWER

8" PVC sewer pipe 350 LF @ \$40./LF (Including Excavation & Backfill) =	14,000.00
Sewer Manhole 1 @ \$1,500. ea. =	1,500.00
4" House Connections 6 @ \$500./ea. =	3,000.00

ELECTRIC UTILITIES

Electric Utilities 400 LF @ \$10./LF =	4,000.00
--	----------

ROADWAY PAVEMENT

Macadam Top 1,672 s.y. @ \$12.50/s.y. =	20,900.00
Gravel Base 1,000 c.y. @ \$20./c.y. =	20,000.00
Street Name Signs 1 @ \$100./ea. =	100.00
Erosion Control	675.00
Seeding & Topsoil 225 s.y. @ \$2./s.y. =	450.00
R.O.W. Monuments 10 @ \$150./ea. =	1,500.00

TOTAL COST: \$79,623.00

RECOMMENDED PERFORMANCE BOND AMOUNT: \$80,000.00



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

*File
By Tax
6/11*

¹⁷⁶³
July 11, 1989

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, NY 12550

ATTENTION: CARL SCHIEFER, CHAIRMAN

Town of New Windsor Town Board
555 Union Avenue
New Windsor, NY 12550

ATTENTION: GEORGE GREEN, SUPERVISOR

SUBJECT: MINOR SUBDIVISION OF THE LANDS OF DIEMER
PERFORMANCE BOND ESTIMATE FOR ROADWAY IMPROVEMENTS

Dear Sirs:

Pursuant to your request, the undersigned of our office has reviewed the Performance Bond Estimate submitted by Zimmerman Engineering and Surveying for subject project. In line with our review, we offer the following:

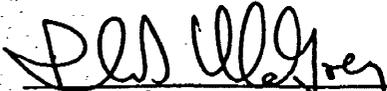
We found during our review of the Performance Bond Estimate dated May, 1989 as prepared by Zimmerman, that not all items of work had been included, in addition, the unit prices used are low when considering that the Town would be required to pay prevailing wage to complete the work if the contractor defaults.

On the basis of the above, we have added right-of-way monuments which must be installed by the subdivider prior to completion of work and have revised the unit prices in accordance with the attached revised Performance Bond Estimate.

On the basis of the enclosed, it would be the recommendation of our office that the Performance Bond be established in the amount of \$80,000.00. In addition, in accordance with paragraph 6i3 of the subdivision regulations, the applicant must deposit with the Town in an amount equal to 4% of the total cost of the improvements (4% of \$80,000.00 = ~~\$3,200.00~~)*. This amount covers the cost to be incurred by the Town for Administrative, Legal, Supervisory and Engineering inspection costs. Costs in excess of this amount, should they occur, must also be paid by the applicant.

If you should have any questions in regard to this matter, please contact our office.

Very truly yours,



Richard D. McGoey, P.E.,
Engineer for the Town

~~RDM:mlm~~
Enclosure

cc: Michael Babcock, Building Inspector
Mark Edsall, P.E., Planning Board Engineer
Pauline Townsend, Town Clerk
Tad Seaman, Attorney for the Town
Edward Biagini - Suburban Homes of O.C., Inc.

**PERFORMANCE BOND ESTIMATE
MINOR SUBDIVISION OF THE LANDS OF DIEMER**

SITE PREPARATION

Clearing 0.42 ac. @ \$5,000./ac. =	\$ 2,100.00
Grubbing 0.42 ac. @ \$5,500./ac. =	2,310.00
Strip & Stockpile Topsoil @ \$6,400./ac. =	2,688.00
Cut & Fill 640 c.y. @ \$10./c.y. =	6,400.00

SANITARY SEWER

8" PVC sewer pipe 350 LF @ \$40./LF (Including Excavation & Backfill) =	14,000.00
Sewer Manhole 1 @ \$1,500. ea. =	1,500.00
4" House Connections 6 @ \$500./ea. =	3,000.00

ELECTRIC UTILITIES

Electric Utilities 400 LF @ \$10./LF =	4,000.00
--	----------

ROADWAY PAVEMENT

Macadam Top 1,672 s.y. @ \$12.50/s.y. =	20,900.00
Gravel Base 1,000 c.y. @ \$20./c.y. =	20,000.00
Street Name Signs 1 @ \$100./ea. =	100.00
Erosion Control	675.00
Seeding & Topsoil 225 s.y. @ \$2./s.y. =	450.00
R.O.W. Monuments 10 @ \$150./ea. =	<u>1,500.00</u>
TOTAL COST:	<u>\$79,623.00</u>

RECOMMENDED PERFORMANCE BOND AMOUNT:	<u>\$80,000.00</u>
--------------------------------------	--------------------

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,
D.O.T., O.C.H., O.C.P., D.P.W., [REDACTED], SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

Zimmerman Eng + Surv. for the building or subdivision of

Wm. Doleen Diemer has been

reviewed by me and is approved

~~disapproved~~ _____.

If ~~disapproved~~, please list reason _____

There is no town water in this area.

HIGHWAY SUPERINTENDENT

Steve Diemer

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

MEMORANDUM

TO: TOWN OF NEW WINDSOR BUILDING DEPT.

ATTENTION: MICHAEL BABCOCK, BUILDING INSPECTOR

FROM: RICHARD D. MC GOEY, P.E.
ENGINEER FOR THE TOWN

SUBJECT: APPLICATION FOR DEVELOPMENT IN A FLOOD HAZARD AREA
LANDS OF WILLIAM AND DOREEN DIEMER

Dear Mike:

Please find attached the Certificate of Compliance for tax lot #58-6-6 & 58-6-1.32 for subject subdivision. This information has been submitted by Zimmerman Engineering in compliance with our letter of 11 July 1989.

The information attached further supports the application for construction within or near a flood hazard area. These application forms must now be completed by the local administrator who is yourself. We would, therefore, recommend signature on the Certificate of Compliance and any other signatures required on the application forms by the local administrator.

Please be advised that line #1 of the Certificate of Compliance has been signed by an agent for the applicant and not by the applicant, William Diemer. We would, therefore, suggest that you discuss this matter with Tad Seaman prior to issuance of any permits.

If you should have any questions in the interim, please contact our office.

Very truly yours,

Richard D. McGoey, P.E.
Richard D. McGoey, P.E.,
Engineer for the Town

cc: P. B. Members

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

July 24, 1989

Town of New Windsor Planning Board
555 Union Avenue
New Windsor, New York 12550

Attention: Carl Schiefer, Chairman

Town of New Windsor Town Board
555 Union Avenue
New Windsor, New York 12550

Attention: George Green, Supervisor

Re: Minor Subdivision of the Lands of Diemer
Our Job No. 89-21
Roadway Improvements

Dear Sirs:

An on-site inspection of the roadway improvements completed to date has been made by this office. We hereby certify that the following items have been installed as shown on the plans and reflected in the performance bond estimate prepared by Richard D. McGoey, P.E., copy attached.

SITE PREPARATION

Clearing 0.42 ac. @ \$5,000./ac. =	\$2,100.00
Grubbing 0.42 ac. @ \$5,500./ac. =	\$2,310.00
Strip & Stockpile Topsoil @ \$6,400./ac. =	\$2,688.00
Cut & Fill 640 c.y. @ \$10./c.y. =	\$6,400.00

SANITARY SEWER

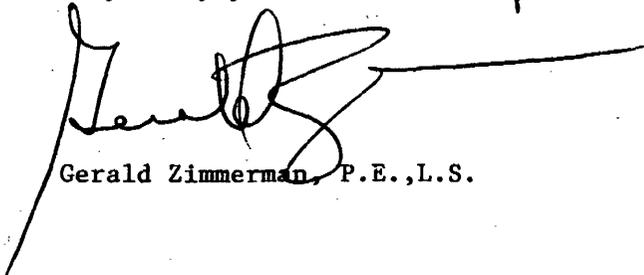
8" PVC sewer pipe 350 LF @ \$40./LF (including excavation & backfill) =	\$14,000.00
Sewer Manhole 1 @ \$1,500./ea. =	\$ 1,500.00
4" House Connections 6 @ \$500./eac. =	\$ 3,000.00

ROADWAY PAVEMENT

Shale Base 1,000 c.y. @ \$20./c.y. = \$20,000.00

Value of Work Completed to Date = \$51,998.00

Very truly yours,



Gerald Zimmerman, P.E., L.S.

GZ/jl
Enc.

cc: Michael Babcock, Building Inspector
Mark Edsall, P.E., Planning Board Engineer
Pauline Townsend, Town Clerk
Tad Seaman, Attorney for the Town
Edward Biagini - Suburban Homes of Orange County, Inc.

INTER OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 25 July 1989

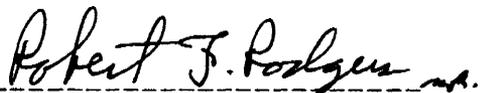
SUBJECT: Diemer Lot Line Change & Minor Subdivision

Planning Board Reference Number: PB-89-19
Dated: 7 July 1989

Fire Prevention Reference Number: FPS-89-066

A review of the above referenced subject lot line change and minor subdivision was made on 21 July 1989 and the plan is found acceptable.

Plan Dated: 7 July 1989, Revision 3.


Robert F. Rodgers, CCA
Fire Inspector

RR:mr
Att.

ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

June 2, 1989

Town of New Windsor
Planning Board
555 Union Avenue
New Windsor, NY 12550

Attn.: Mr. Carl Scheifer, Planning Board Chairman

Re: Lot Line Change & Minor Subdivision for
William & Doreen Diemer
Mecca Drive, New Windsor, New York

Dear Mr. Scheifer

The following is a response to a technical review of the above mentioned project dated May 24, 1989 prepared by McGoey, Hauser and Edsall Consulting Engineers P.C. for the Town of New Windsor.

Enclosed please find the following materials:

14 sets of plans for the above mentioned subdivision
revised: 6-1-89

3 copies of the Application for Development in Flood Hazard Areas
dated: June 2, 1989

The following comments have been numbered to correspond to the numbering system used in the above mentioned technical review of this project.

Item 1) We concur with this item.

Item 2) Based on the town of New Windsor's new local law #4 for 1989, which requires that the minimum lot area be free from any encumbrances, easements or other such restrictions we have redistributed the land areas for lots #1 & #2 so that both lots will comply with the new definition of minimum lot area.

Item 3) The drainage easement which crosses over these three proposed lots is in fact an existing easement and has been called out as such on this map.

Town of New Windsor
Planning Board
Diemer Subdivision

-2-

June 2, 1989

Item 4) The following map revisions have been made.

- a. A LOT AREA TABLE has been added to the plan. This table shows the total lot area, the lot area covered by easements and the net lot area free of easements.
- b. A proposed road cross section and profile are now provided. This information was taken from the plans for Subdivision Groves Homes, Inc.
- c. The lot lines involved in the lot line change are now clearly called out.
- d. The homes in the vicinity of this subdivision are served by town sewer facilities. The required separation between a well and watertight sanitary sewer lines is 50 ft., this information is now shown on the plan.
- e. As requested the Application for Development in Flood Hazard Areas is being submitted at this time.
- f. The table of bulk lot regulations has been expanded to include the requested values.

Item 5) This item has been complied with.

Item 6) The SEQRA process was taken care of at the Planning Board Meeting of May 24, 1989.

Item 7) The need for Public Hearing was waived at the Planning Board Meeting of May 24, 1989.

We sincerely hope that the foregoing comments and the revisions to the plans have fully addressed and answered all of your concerns in regard to this project. Your cooperation and assistance in reviewing this plan is greatly appreciated. We would like to request to have this item placed on the next available Planning Board agenda for consideration of final approval.

Sincerely
ZIMMERMAN ENGINEERING & SURVEYING, P.C.



Michael M. Murphy, I.E.
Project Engineer

MM/jl

Enc.

cc. Mr. Mark J Edsall, P.E.
Applicant

ESTIMATE OF COSTS OF PUBLIC IMPROVEMENTS FOR
 MINOR SUBDIVISION FOR WILLIAM & DOREEN DIEMER
 TOWN OF NEW WINDSOR
 ORANGE COUNTY, NEW YORK

ESTIMATED AMOUNT OF WORK	UNIT PRICE	TOTAL PRICE
--------------------------	------------	-------------

SITE PREPARATION

Clearing 0.42 ac.	\$5000/ac.	\$2100.00
Grubbing 0.42 ac.	\$5500/ac.	\$2310.00
Strip & Stockpile Topsoil	\$6400/ac.	\$2688.00
Cut & Fill 640 cy	\$10/cy	\$6400.00

SANITARY SEWER

8" PVC sewer pipe 350 lf	\$15/lf	\$5250.00
Excavation & Backfill	\$6/lf	\$2100.00
Sewer Manhole 1	\$1500 each	\$1500.00
4" House Connections 6	\$380 each	\$2280.00

ELECTRIC UTILITIES

Electric utilities 400 lf	\$10/lf	\$4000.00
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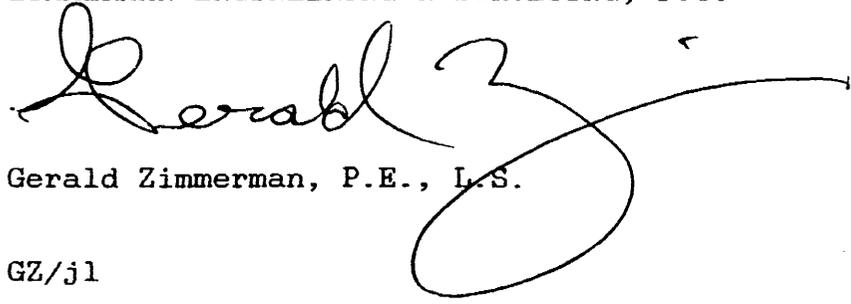
ROADWAY PAVEMENT

Macadam Top ... 210 tons	\$80/ton	\$16800.00
Gravel Base 520 cy	\$11/cy	\$5720.00
Street Name Signs ... 1	\$100 each	\$100.00
Erosion Control		\$675.00
Seeding & Topsoil 225 sy	\$2/sy	\$450.00

TOTAL COST \$50873.00

I Gerald Zimmerman do hereby certify that the above stated figures are true and correct to the best of my knowlege and belief.

Sincerely,
 ZIMMERMAN ENGINEERING & SURVEYING, P.C.



Gerald Zimmerman, P.E., L.S.

GZ/jl

5,135.03 S.F.

47'23"W 142.47'

New York State Department of Environmental Conservation

These plans for FOR THE SANITARY SEWER EXTENSION TO
SERVE THE SUBDIVISION FOR GROVE HOMES, INC.
TOWN OF NEW WINDSOR, ORANGE COUNTY

are hereby approved subject to the provisions of the Environmental Conservation Law and the construction approval issued this day.

COMMISSIONER OF ENVIRONMENTAL CONSERVATION

Craig J. Manfredi

Designated Representative

Date: MARCH 17, 1987

1/4

PLAT OF SECTION 2

SUBDIVISION FOR GROVE HOMES, INC.

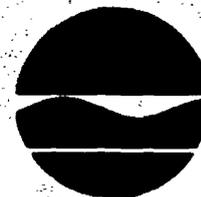
REVISIONS
6-13-86
10-2-86

SCALE: 1" = 60'	JOB NO 85-106	DRAWN BY: M.M.M.
DATE: 11-20-85		REV.:

TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING P.C.
RTE. 17M HARRIMAN, NEW YORK

New York State Department of Environmental Conservation
202 Mamaroneck Avenue, White Plains, New York 10601



Henry G. Williams
Commissioner

March 17, 1987

Mr. Gerald Zimmerman, P.E., L.S.
Zimmerman Engineering and Surveying, P.C.
Route 17M
Harriman, New York 1092

Re: Approval of Plans and Specifications for
Sanitary Sewer Extension to Serve
the Subdivision for Grove Homes, Inc.
Town of New Windsor; Orange County

Dear Mr. Zimmerman:

This is to advise you that the above referenced project is being approved by this Department. The approved project consists of 2,800 lineal feet of eight inch PVC gravity sanitary sewer pipe and 13 sanitary manholes .

By initiating the construction of the said project covered by the approval of the plans and specifications, the applicant accepts and agrees to abide by and conform with the following:

- (1) This approval is issued pursuant to SPDES Permit No. NY-0022446.
- (2) That this approval letter shall be maintained on file by the applicant.
- (3) That the approval is revocable or subject to modification or change pursuant to Article 17 of the Environmental Conservation Law.
- (4) That any and all construction undertaken by the terms of the approval of plans shall be completely and wholly at the risk of the applicant.
- (5) That the facilities shall be fully constructed and completed in compliance with plans as approved on March 17, 1987.
- (6) That this office is to be notified when construction commences.

Mr. Zimmerman
Page 2
March 17, 1987

- (7) That the engineer will forward the results of the leakage tests of the completed work to this Department.
- (8) That the professional engineer supervising such construction shall certify to this Department in writing and to the applicant that the constructed facilities have been under his supervision and that the works have been fully completed in accordance with the engineering report and the plans.
- (9) That the leakage outward or the infiltration inward of the constructed sewer line shall not exceed 200 gallons per inch of pipe diameter per mile per day for any section of the sewer system between manholes and including manholes.

Enclosed please find one copy of the approved plans and the engineering report. Also, one copy of the approved plans is being sent to the Orange County Health Department.

Very truly yours,



Cesare J. Manfredi, P.E.
Principal Sanitary Engineer

CJM:ER:bz
Enclosure

cc: Orange County Health Department w/plans
Supervisor and Town Board, Town of New Windsor



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

45 QUASSAICK AVE. (ROUTE 9W)
NEW WINDSOR, NEW YORK 12550

TELEPHONE (914) 562-8640
PORT JERVIS (914) 856-5600

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

Licensed in New York,
New Jersey and Pennsylvania

was 88-49

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN OF NEW WINDSOR P/B # 89 - 19

WORK SESSION DATE: 16 MAY 1989 APPLICANT RESUB. REQUIRED: Revised Plan

REAPPEARANCE AT W/S REQUESTED: NO

PROJECT NAME: Diemes

COMPLETE APPLICATION ON FILE NEW OLD

REPRESENTATIVE PRESENT: Ed Biagini Zimmerman

TOWN REPS PRESENT: BLDG INSP.
 FIRE INSP.
 P/B ENGR.
 OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- 1/4 charge & 3 lot minor
- renewed road names
- proposed 1/4 to be removed
- town road detail / profile
- bring in sewer line approval document
- note on plan re sewer line contr. in accord w/ prev
- they are to contact T/B about easement. DCC app 1
- app pkg includes flood papers -
- bonding estimate

Show as
exist'g
easement.

(new plans - then agenda)

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Town Fire Inspector
DATE: 11 May 1989
SUBJECT: William & Doreen Diemer

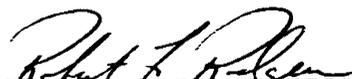
PLANNING BOARD REFERENCE NUMBER: PB-89-19

FIRE PREVENTION REFERENCE NUMBER: FPS-89-044

A review of the above referenced subject site plan/ sub-
division was conducted on 11 May 1989.

This site plan is found acceptable.

PLAN DATED: 3 April 1989



Robert F. Rodgers; CCA
Fire Inspector

CC: M.E.

BUILDING INSPECTOR, PLANNING BOARD ENGINEER, FIRE INSPECTOR,
D.O.T., O.C.H., O.C.P., D.P.W., ██████████, SEWER, HIGHWAY, REVIEW
FORM:

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by
Zimmerman Eng for the building or subdivision of
William & Dolores Diener has been
reviewed by me and is approved
disapproved _____.

~~If disapproved, please list reason~~
There is no town water in this area

HIGHWAY SUPERINTENDENT

Steve D. D. D.
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

CC: M.E.

P.B.# 89-19

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12550

(This is a two-sided form)

Date Received _____
Meeting Date _____
Public Hearing _____
Action Date _____
Fees Paid _____

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project Subdivision for William and Doreen Diemer
2. Name of Applicant William & Doreen Diemer Phone _____
Address R.D. 1, Mecca Drive, Salisbury Mills, New York 12577
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record William & Doreen Diemer Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Zimmerman Engineering & Surveying, P.C. Phone 782-7976
Address Route 17M, Harriman, New York 10926
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney David Levinson, Esq. Phone 928-9444
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting Zimmerman Engineering Phone 782-7976
(Name)
7. Location: On the south side of Mecca Drive
210 feet west
(Direction)
of Lake Road
(Street)
8. Acreage of Parcel 2.37± acres 9. Zoning District R-4
10. Tax Map Designation: Section 58 Block 6 Lot 1.3
11. This application is for Subdivision (3 lots)

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? No

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership
Section 58 Block 6 Lot(s) 1.3

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE

SS.:

STATE OF NEW YORK

_____ being duly sworn, deposes and says
that he resides at _____
in the County of _____ and State of _____
and that he is (the owner in fee) of _____

(Official Title)

of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized _____ to make the foregoing application for Special Use Approval as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

27th day of April 1989

Leta L Jagielski
Notary Public

William Diemer
(Owner's Signature)

Norm Diemer
(Applicant's Signature)

(Title)

LETA L. JAGIELSKI
Notary Public - State of New York
Residing in Orange County
Commission Expires ~~March~~ 30, 1991
APR 1

PROXY STATEMENT
for submittal to the
TOWN OF NEW WINDSOR PLANNING BOARD

William Diemer, deposes and says that he
resides at R.D. #1 Mecca Drive, Salisbury Mills, New York
(Owner's Address)

in the County of Orange
and State of New York

and that he is the owner in fee of Section 58, Block 6, Lot 1.3
situated in the Town of New Windsor

which is the premises described in the foregoing application and
that he has authorized Zimmerman Engineering & Surveying, P.C.
to make the foregoing application as described therein.

Date: 3/1/89

x William C. Diemer
x Diemer Diemer
(Owner's Signature)

James Crescenzo
(Witness' Signature)

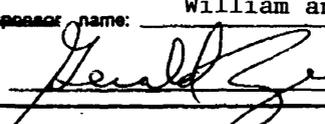
PROJECT I.D. NUMBER

617.21

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only**PART I—PROJECT INFORMATION** (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR William and Doreen Diemer	2. PROJECT NAME Subdivision for William and Doreen Diemer
3. PROJECT LOCATION: Municipality <u>New Windsor</u> County <u>Orange</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) southside of Mecca Drive, 210' west of Lake Road	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: 3-Lot Subdivision of 2.3± acres. One house existing, two new houses proposed to be served by municipal water and sewer.	
7. AMOUNT OF LAND AFFECTED: Initially <u>2.37±</u> acres Ultimately <u>2.37±</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>William and Doreen Diemer</u>	Date: <u>4/6/89</u>
Signature: <u></u> Project Engineer	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Signature of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Preparer (if different from responsible officer)

Date

TOWN OF NEW WINDSOR PLANNING BOARD

MINOR SUBDIVISION CHECKLIST

I. The following items shall be submitted with a COMPLETED Planning Board Application Form.

1. X Environmental Assessment Statement
- *2. Proxy Statement
3. Application Fees
4. Completed Checklist

II. The following checklist items shall be incorporated on the Subdivision Plat prior to consideration of being placed on the Planning Board Agenda.

1. X Name and address of Applicant.
- *2. N/A Name and address of Owner.
3. X Subdivision name and location.
4. X Tax Map Data (Section-Block-Lot).
5. X Location Map at a scale of 1" = 2,000 ft.
6. X Zoning table showing what is required in the particular zone and what applicant is proposing.
7. N/A Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
8. X Date of plat preparation and/or date of any plat revisions.
9. X Scale the plat is drawn to and North Arrow.
10. Designation (in title) if submitted as Sketch Plan, Preliminary Plan or Final Plan.
11. X Surveyor's certification.
12. X Surveyor's seal and signature.

*If applicable.

13. X Name of adjoining owners.
14. Wetlands and 100 foot buffer zone with an appropriate note regarding D.E.C. requirements.
- *15. Flood land boundaries.
16. N/A A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.
17. X Final metes and bounds.
18. X Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical centerline of the street.
19. X Include existing or proposed easements.
20. Right-of-Way widths.
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
22. X Lot area (in square feet for each lot less than 2 acres).
23. X Number the lots including residual lot.
24. Show any existing waterways.
- *25. N/A A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
26. Applicable note pertaining to owners' review and concurrence with plat together with owners' signature.
27. N/A Show any existing or proposed improvements, i.e., drainage systems, waterlines, sewerlines, etc. (including location, size and depths).
28. X Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.

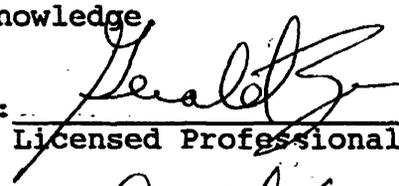
*If applicable.

29. N/A Show all and proposed on-site "septic" system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
30. N/A Provide "septic" system design notes as required by the Town of New Windsor.
31. X Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
32. Indicate percentage and direction of grade.
33. X Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
34. X Provide 4" wide x 2" high box in area of title block (preferably lower right corner) for use by Planning Board in affixing Stamp of Approval.
35. N/A Indicate location of street or area lighting (if required).

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The plat for the proposed subdivision has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: 
Licensed Professional

Date: April 6, 1989

ZIMMERMAN

89-19

ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

GERALD ZIMMERMAN P.E., L.S.

March 3, 1989

Town of New Windsor Planning Board
Town Hall
555 Union Avenue
New Windsor, New York 12550

Re: Diemer Subdivision
Mecca Drive
N.W. #88-49
Our Job #89-21

Dear Chairman and Planning Board Members:

With regard to the above named subdivision, be advised that our firm has been retained by Mr. and Mrs. Diemer to takeover the project which is currently before your Board. We shall be submitting revised plans in accordance with the comments made at the February 8, 1989 meeting when this item was reviewed.

We are also forwarding a signed proxy statement authorizing us to represent the applicant.

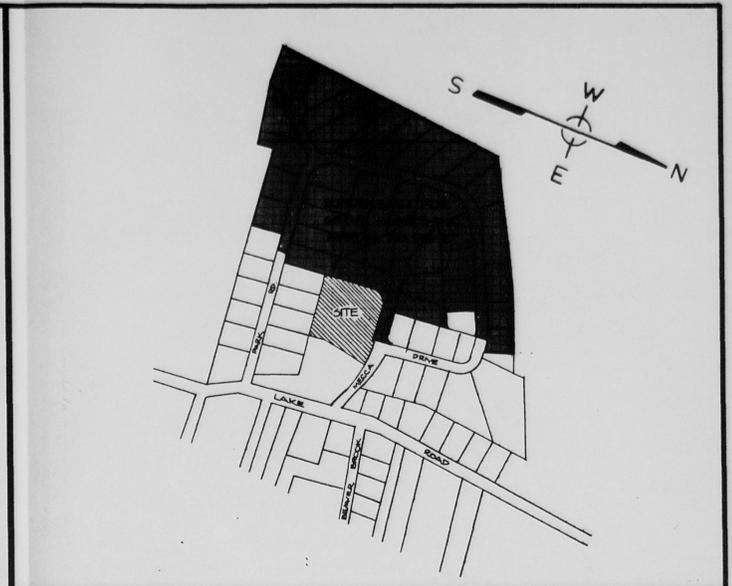
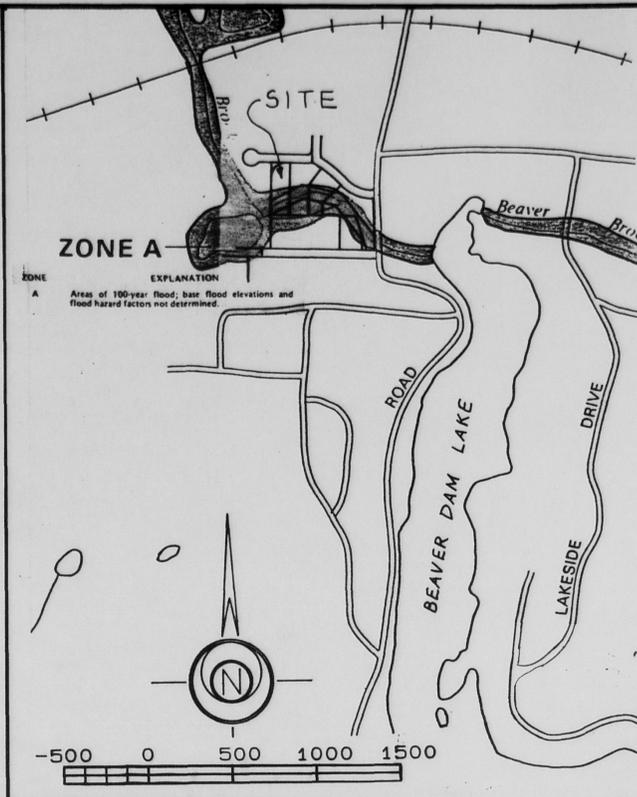
Very truly yours,



Gerald Zimmerman, P.E., L.S.

GZ/jl

cc: Mr. and Mrs. Diemer



SECTION 58
BLOCK 6
LOTS..... 1.32 & 6

RECORD OWNER & APPLICANT

WILLIAM & DOREEN DIEMER
RD. 1 MECCA DRIVE
SALISBURY MILLS, NEW YORK 12577

REFERENCE MATERIALS

- 1) NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK
COMMUNITY PANEL NUMBER 360628 0005 B
PAGE 5 OF 10
- 2) HYDROLOGIC AND HYDRAULIC STUDY
FOR THE PROPOSED SUBDIVISION
FOR GROVE HOMES, INC.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

NOTES

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP
TOWN OF NEW WINDSOR,
NEW YORK
ORANGE COUNTY

COMMUNITY-PANEL NUMBER
360628 0005 B
PAGE 5 OF 10
EFFECTIVE
DECEMBER 15, 1978

U.S. DEPARTMENT OF HOUSING
AND URBAN DEVELOPMENT
FEDERAL INSURANCE ADMINISTRATION

(REFERENCE SOURCE #1)



TOWN APPROVAL BOX

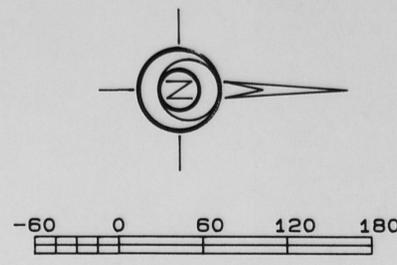
REVISIONS:

GERALD ZIMMERMAN P.E. LIC. NO. 47391
P.L.S. LIC. NO. 49410

SHEET NO. 1 OF 1
SCALE: AS NOTED
DATE: JULY 18, 1989
JOB NO. 89-21 DRAWN BY: MMM

APPLICATION FOR DEVELOPMENT
IN FLOOD HAZARD AREA FOR
SUBDIVISION OF LANDS OF DIEMER
TOWN OF NEW WINDSOR
ORANGE COUNTY NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976



LOT AREA TABLE				
LOT #	TOTAL AREA	DRAINAGE EASE. AREA	SEWER EASE. AREA	NET AREA
3	34,423.52 S.F.	9,343.73	0	25,079.80 S.F.
2	34,995.56 S.F.	9,149.40	0	25,846.16 S.F.
1	34,009.16 S.F.	10,223.00	1,061.53	22,724.63 S.F.

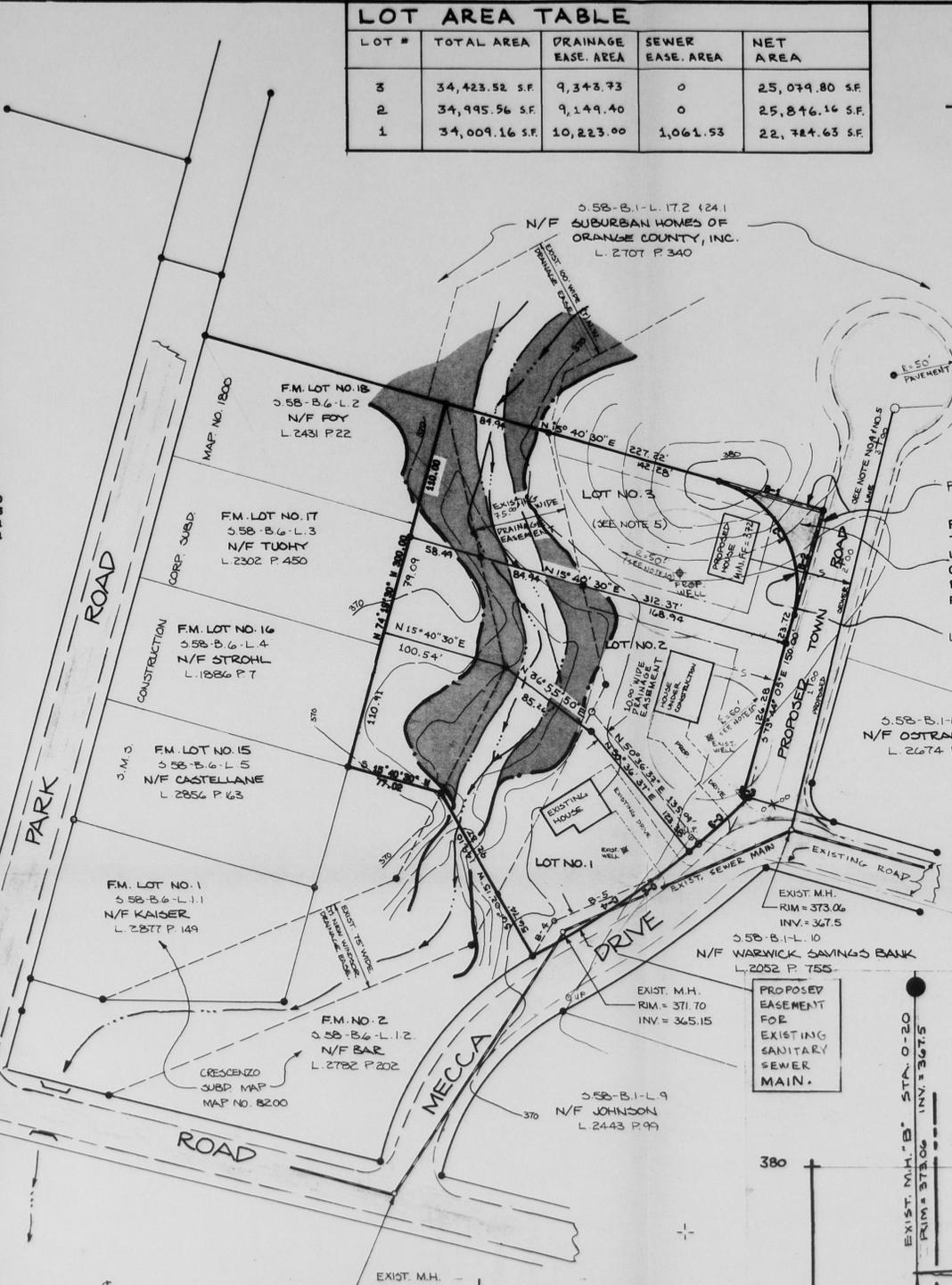
- NOTES CONT.**
- THE PROPOSED TOWN ROAD SHOWN IS PART OF AN APPLICATION WHICH IS CURRENTLY UNDER REVIEW BY THE TOWN OF NEW WINDSOR PLANNING BOARD (APPLICATION NO. 85-27) SEE VICINITY MAP.
 - A BUILDING PERMIT SHALL NOT BE ISSUED FOR LOT NO. 3 UNTIL THE PROPOSED TOWN ROAD IS CONSTRUCTED.
 - HOUSE SEWER CONNECTIONS SHALL BE 4" PVC @ MIN. SLOPE OF 2%.
 - THE PROPOSED SEWER MAIN EXTENSION WHICH IS TO SERVICE LOT # 3 OF THIS SUBDIVISION HAS RECEIVED N.Y.S. DEC. APPROVAL UNDER THE APPLICATION SUBMITTED FOR "SUBDIVISION FOR GROVE HOMES, INC." (3-17-87).

Curve No.	Radius	Beta	Length	Tangent	Chord
1	85.40	090 35 30	135.03	86.29	8 60 58 15 W 121.40
2	785.71	015 27 10	217.00	109.25	N 36 02 54 W 216.26
3	785.71	004 53 08	64.43	32.24	N 41 49 57 W 84.41
4	785.71	011 34 04	152.87	76.85	N 33 36 20 W 152.31

BEARING TABLE

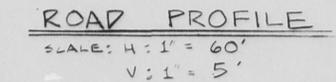
B-1	N 15° 40' 30" E	86.29'
B-2	S 73° 43' 52" E	86.29'
B-3	N 16° 15' 59" E	4.65'
B-4	N 56° 30' 00" W	34.00'
B-5	N 24° 00' 00" W	93.44'

- NOTES CONT.**
- ALL SANITARY SEWAGE DISPOSAL SYSTEMS AND WELL LOCATIONS SHALL BE DESIGNED BY A NEW YORK STATE LICENSED DESIGN PROFESSIONAL AND SUBMITTED TO THE TOWN OF NEW WINDSOR PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - THE SANITARY SYSTEM AND WELL LOCATION SHALL BE INSPECTED DURING CONSTRUCTION AND CERTIFIED TO THE TOWN OF NEW WINDSOR AS TO CONFORMANCE TO THE DESIGN BY THE DESIGN PROFESSIONAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - MINIMUM REQUIRED SEPARATION BETWEEN A PROPOSED WELL AND A WATERTIGHT SANITARY SEWER LINE IS 50 FEET.



PROPOSED LOT LINES. (B-1 + B-2)
 P/O 558-B-1-L-24.1 TO BE CONVEYED TO DIEMER UNDER APPLICATION NO. 85-27 (SEE VICINITY MAP) CURRENTLY BEING REVIEWED BY THE TOWN OF NEW WINDSOR PLANNING BOARD.

LOT LINE TO BE REMOVED. (C-1)



VICINITY MAP SCALE: 1" = 400'

ZONING DATA

DISTRICT	R-4
MIN. LOT AREA	21,780 S.F.
MIN. LOT WIDTH	100 FT.
MIN. FRONT Y.D.	35 FT.
MIN. SIDE Y.D.	15/30 FT.
MIN. REAR Y.D.	40 FT.
REQUIRED STREET FRONTAGE	60 FT.
MAX. BUILDING HEIGHT	35 FT.
MIN. LIVABLE FLOOR AREA	1000 S.F.
MAX. DEVELOPMENT COVERAGE	20 %

TAX MAP NO.

SECTION : 58
 BLOCK : 6
 LOT : 132 + 6

DEED

LIBER: 2707
 PAGE: 296

RECORD OWNER & SUBDIVIDER

WILLIAM & DOREEN DIEMER
 RD. 1 MECCA DRIVE
 SALISBURY MILLS, N.Y. 12577

TOTAL TRACT AREA

2.34 ± AC.

MAP REFERENCE

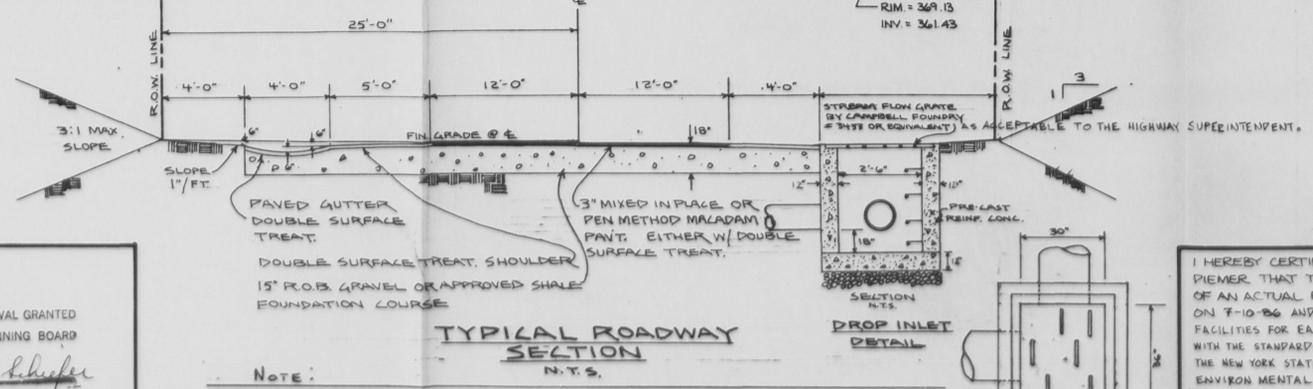
LOT NO. 3 ON A MAP ENTITLED "SUBDIVISION FOR JOHN CRESCENZO" TOWN OF NEW WINDSOR, ORANGE COUNTY, N.Y. FILED IN THE O.C.C.O. AS MAP NO. 8200 ON 5-6-87

NOTES

- TOPOGRAPHY BASED ON U.S.G.S DATUM AND FIELD RUN.
- TOTAL NO. OF LOTS = 3
- LOTS SHALL BE SERVED BY MUNICIPAL SEWER & INDIVIDUAL WELLS

LEGEND

- EXISTING 100 YEAR FLOOD PLAIN
- PROPOSED 100 YEAR FLOOD PLAIN W/ IMPROVEMENTS
- EXISTING STREAM



TYPICAL ROADWAY SECTION
 N.T.S.

NOTE:
 1) FILL MATERIAL IN ROADWAY AREAS SHALL BE BULK SHALE AS ACCEPTABLE TO THE TOWN HIGHWAY SUPERINTENDENT.

I HEREBY CERTIFY TO WILLIAM & DOREEN DIEMER THAT THIS MAP SHOWS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED ON 7-10-89 AND THAT THE SEWERAGE & WATER FACILITIES FOR EACH LOT ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS & REQUIREMENTS PROMULGATED BY THE NEW YORK STATE DEPARTMENTS OF HEALTH AND ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS, & FURTHERMORE THAT SUCH DESIGN IS BASED UPON ACTUAL SOIL & SITE CONDITIONS FOUND UPON SUCH LOT AT THE DESIGN LOCATION AT THE TIME OF SUCH DESIGN.

REVISIONS:
 5-19-89
 6-1-89
 7-7-89
 7-28-89



SHEET NO. OF	LOT LINE CHANGE & MINOR SUBDIVISION FOR WILLIAM & DOREEN DIEMER
SCALE: 1" = 60'	TOWN OF NEW WINDSOR
DATE: 4-3-89	ORANGE COUNTY, NEW YORK
JOB NO. 89-21 DRAWN BY: J.F.	ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M HARRIMAN, NEW YORK 10926 PHONE (914) 782 7976	

TOWN OF NEW WINDSOR APPROVAL
 Subdivision APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON 8-9-89 BY Carl O. Schaffer Chairman