

PB# 99-32

**Duffer's Hide-A-Way
(Site Plan & Park. Lot)**

9-1-25.21

ad 23 - 02 62 talking to 1 31111

Approved 1-2400

DATE Nov 2, 1999 **RECEIPT** 082234
 RECEIVED FROM Duffey's Nido - A-way Inc.
 Address _____
one hundred 00/100 DOLLARS \$ 100.00
 FOR P B # 99-32

ACCOUNT		HOW PAID	
BEGINNING BALANCE		CASH	1045
AMOUNT PAID		CHECK	1000
BALANCE DUE		MONEY ORDER	

Town Clerk
 BY Dorothy H. Hansen
wh

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION

APPLICANT: IMPELLITTIERE, GERALD

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
11/01/1999	REC. CK. #1044	PAID		750.00	
12/22/1999	P.B. ATTY. FEE	CHG	35.00		
12/22/1999	P.B. MINUTES	CHG	27.00		
01/13/2000	P.B. ENGINEER FEE	CHG	159.00		
02/28/2000	RET. TO APPLICANT	CHG	529.00		
		TOTAL:	750.00	750.00	0.00

L.R. 2/28/00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION
APPLICANT: IMPELLITTIERE, GERALD

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
01/24/2000	PLANS STAMPED	APPROVED
12/22/1999	P.B. APPEARANCE . NEED COST ESTIMATE	LA:ND WVE PH APPR
11/01/1999	PHASE II OF P.B. #99-29	SPLIT/RECORD PURPOSE
10/13/1999	P.B. APPEARANCE UNDER 99-29	REFER TO ZBA

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

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LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION

APPLICANT: IMPELLITTIERE, GERALD

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/24/2000	SITE PLAN APPROVAL FEE	CHG	100.00		
02/17/2000	REC. CK. #1187	PAID		100.00	
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

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LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 99-32
NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION
APPLICANT: IMPELLITTIERE, GERALD

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/13/2000	2% OF 11,100.00 INSPECT F	CHG	222.00		
02/17/2000	REC. CK. #1188	PAID		222.00	
		TOTAL:	222.00	222.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

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LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION

APPLICANT: IMPELLITIERE, GERALD

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	12/15/1999	MUNICIPAL HIGHWAY	12/17/1999	APPROVED
REV1	12/15/1999	MUNICIPAL WATER	12/20/1999	APPROVED
REV1	12/15/1999	MUNICIPAL SEWER	12/29/1999	APPROVED
REV1	12/15/1999	MUNICIPAL FIRE	/ /	
REV1	12/15/1999	NYS DOT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/28/2000

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION

APPLICANT: IMPELLITTIERE, GERALD

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	11/01/1999	EAF SUBMITTED	/ /	WITH APPLIC
ORIG	11/01/1999	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	11/01/1999	LEAD AGENCY DECLARED	12/22/1999	TOOK L A
ORIG	11/01/1999	DECLARATION (POS/NEG)	12/22/1999	DECL. NEG DEC
ORIG	11/01/1999	SCHEDULE PUBLIC HEARING	/ /	
ORIG	11/01/1999	PUBLIC HEARING HELD	/ /	
ORIG	11/01/1999	WAIVE PUBLIC HEARING	12/22/1999	WAIVED PH
ORIG	11/01/1999	AGRICULTURAL NOTICES	/ /	

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(914) 563-4611

RECEIPT
#115-2000

02/22/2000

Hide-a-way, Inc Duffer's

Received \$ 100.00 for Planning Board Fees, on 02/22/2000. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 02/22/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 99-32
NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION
APPLICANT: IMPELLITTIERE, GERALD

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/13/2000	2% OF 11,100.00 INSPECT F	CHG	222.00		
02/17/2000	REC. CK. #1188	PAID		222.00	
		TOTAL:	222.00	222.00	0.00

A. Zappalo



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

LOCATED IN NEW YORK, NEW JERSEY
AND PENNSYLVANIA

- Main Office**
45 Quassick Ave. (Route 9W)
New Windsor, New York, 12553
(914) 562-8640
e-mail: mheny@att.net
- Regional Office**
507 Broad Street
Millford, Pennsylvania 18337
(570) 296-2765
e-mail: mhpa@ptd.net

MEMORANDUM

(via fax)

13 January 2000

TO: MYRA MASON, P.B. SECRETARY

FROM: MARK J. EDSALL, P.E., P.B. ENGINEER

mye

**SUBJECT: DUFFERS HIDE-A-WAY SITE PLAN (# 99-32)
IMPROVEMENT COST ESTIMATE**

I have reviewed the attached cost estimate submitted by Greg Shaw. The estimate is acceptable.

I have attached our time printout so you can close out the file.

If you need anything else, contact me.

Myra011300.doc

Shaw Engineering

Consulting Engineers

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
[914] 561-3695

January 6, 2000

Chairman James Petro and
Members of the Planning Board
TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, New York 12553

Re: Parking Lot Expansion For
Duffers Hide-A-Way, Inc. – **Phase 2**
Windsor Highway, New Windsor, N.Y.

Gentlemen:

We have presented below for your consideration our Construction Estimate for the site improvements for the Parking Lot Expansion For Duffers Hide-A-Way, Inc. Our estimate is as follows:

CONSTRUCTION ESTIMATE

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
Macadam Pavement & Walks	590 S.Y.	\$ 10	\$ 5,900
Pavement Markings	500 L.F.	\$.40	\$ 200
Wheelstops	20	\$ 10	\$ 200
Chain link Fence	125 L.F.	\$ 12	\$ 1,500
Masonry Retaining Wall	110 L.F.	\$ 30	\$ 3,300
Total			\$ 11,100

Should this Estimate be acceptable to your Board, my client will pay the 2% inspection fee of \$222.00.

Respectfully submitted,

SHAW ENGINEERING



Gregory J. Shaw, P.E.
Principal

As of 01/13/00

PAGE 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: E2 56

N.W. WINDSOR PLANNING BOARD (chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 99- 32

FOR WORK DONE PRIOR TO: 12/31/99

TASK NO	REC	DATE	TRAN	EMPI	ACT DESCRIPTION	RATE	HRS.	TIME	---DOLLARS---		BALANCE
									EXP.	BILLED	
99-32	162730	10/13/99	TIME	MJF	MM DUFFERS PH2 DISAPPZEA	75.00	0.10	7.50			
99-32	168368	12/01/99	TIME	MJF	WS DUFFERS S/P PHASE II	75.00	0.40	30.00			
99-32	169600	12/15/99	TIME	MJE	WS DUFFERS	75.00	0.30	22.50			
99-32	170088	12/21/99	TIME	MJE	MC DUFFERS II SITE PLAN	75.00	0.50	37.50			
99-32	180618	12/22/99	TIME	MJF	MM DUFFERS II S/P APPL	75.00	0.10	7.50			
99-32	180610	12/22/99	TIME	MCK	CL DUFFERS TRC	20.00	0.50	10.00			
								119.00			
99-32	169160	12/17/99			BILL 99-1198					-37.50	
										-37.50	
TASK TOTAL								119.00	0.00	37.50	81.50
GRAND TOTAL								119.00	0.00	-37.50	81.50

*1/13
closeout* 40
159.00

22

DUFFER'S HIDE-A-WAY SITE PLAN (99-32)

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. PETRO: Application proposes construction of additional parking and various site modifications.

MR. SHAW: Good evening. For the record, my name is Greg Shaw, I'm representing Duffer's Hide-A-Way. With me is Jerry Impellitieri, who's a PGA pro and owner of Duffer's Hide-A-Way. This board remembers we received site plan approval for Phase 1 couple months ago that consisted of the replacement--

MR. PETRO: Just pull it so we can see it.

MR. SHAW: --driving range enclosure and along with the new structure, this board also approved three poles with protective netting with those poles being 18 feet high. That was Phase 1 of the project. Since that point in time, we made application before the Zoning Board of Appeals and obtained three variances for this project. One was that the poles which this board approved in Phase 1 would increase in building height from 18 feet to 50 feet and again, the purpose of those poles with protective netting is to protect the people who will be at the rear of the pro shop from getting hit with balls from the golf driving range enclosure. The second area variance was for parking on the westerly side of the existing parking area to encroach within 25 feet of the property line. Section 48-21 AR cites that any parking area for a golf facility has to keep their parking 25 feet from any property line. With this proposal, we're approximately 3 feet away and we did obtain a variance from the ZBA for the 22 foot difference. And finally, we obtained a variance from the zoning board to increase the development coverage from 14.4 percent to 15.5 percent, again, the zoning ordinance limits it to 10 percent, so the board granted a variance for that 5.5 percent. So, we're coming back before this board tonight asking for site plan approval for Phase 2. If the board would look at the phase notes on drawing 1 and drawing 3, cause they are identical, it clearly spells out exactly what we're

asking for tonight, we're asking for the new improvements in Phase 2, which is a parking area adjacent to the westerly property line, consisting of 20 spaces and a retaining wall, we're asking for an upper tee area of, consisting of a concrete slab with macadam walks and fencing and asking for a putting green along the north property line. What we're also asking to do is to amend the Phase 1 approval with the two points that I brought out, one is the golf driving range enclosure would reduce from two levels to one level. Originally, it was anticipated that golf balls would be hit off the roof. For distance reasons, we have elected to install a concrete slab closer to Windsor Highway, similar to how the facility operates now and have that as your upper driving area. And finally, as I mentioned, the three 18 foot high poles increased in height to 50 feet. So, Mr. Chairman, that's a brief overview of what we're asking for site plan approval tonight, having obtained the necessary variances.

MR. PETRO: The roof goes to the pad in the back, I would almost question that as even being a planning board issue, you're not building a structure.

MR. SHAW: It's a concrete slab, that's all it is.

MR. PETRO: Eighteen inches is landscaping, isn't it less than 18 inches regardless, I don't see a problem with it anyway, so you're taking it from the roof and moving it back X number of feet and going to be teeing off from the ground instead of on the roof.

MR. SHAW: What happens we're going to pull it back another ten yards, that makes a difference with respect to hitting balls over the protective netting on the easterly side of the property.

MR. PETRO: You're adding the three poles to protect the concrete pad and the pro shop and the shed?

MR. SHAW: Correct, that's where the lessons are given at the rear.

MR. PETRO: All the poles are 50 feet high so you're

within that perimeter, obviously?

MR. SHAW: With the poles being structured, all the poles are within the setbacks of the zoning ordinance.

MR. PETRO: One question I do have is the retaining wall on the westerly side where the 20 spots are going, what's that to be made out of, I think there should be a note on the plan and the height of it and how you're going to protect the upper level from people falling in there.

MR. SHAW: Okay, as far as what it's going to be made of, this retaining wall, the plans state that it's going to be wood tie or masonry, if the board would like to have that tied down tonight, seeing that we're only talking about maybe 4 feet in height, wood tie retaining wall would serve us well, it's really not a very high wall and wood tie would certainly suffice.

MR. PETRO: It's only 4 feet on the high side, Mark, what do you think about 4 foot without having a fence, that's probably on the borderline, Mark or Mike?

MR. EDSALL: It's not a walking area, they would be walking in an undesignated area to get near the wall.

MR. LUCAS: Is there a guard on the highway?

MR. SHAW: No.

MR. LUCAS: There's highway approval?

MR. SHAW: There's no need for highway approval.

MR. PETRO: Mike, we do have it on 12/17/99.

MR. ARGENIO: There's no turns there, additionally, and also no sidewalk up there so--

MR. SHAW: There's no reason for anybody to be walking up there.

MR. PETRO: I don't know, 4 foot is pretty, that's borderline as far as somebody falling off there. Mark

makes a good point, but somebody can always be where they're not supposed to be. Maybe; I guess if the applicant feels it's not a liability to have nothing there.

MR. ARGENIO: How much of an issue is it for the planning board?

MR. PETRO: Well, we may have some exposure, if somebody did fall, they can sue him and sue us, especially if we're on a new site plan.

MR. LANDER: If the code says anything over 18 inches high has to have a railing of some sort, I don't know what constitutes 18 inches.

MR. PETRO: I know on walkways that have anything over 18 inches, you've got to put a railing.

MR. BABCOCK: That's typically a walkway.

MR. PETRO: This isn't a walkway.

MR. BABCOCK: It's really not, I mean.

MR. LUCAS: Any objection putting like a wooden guardrail up there?

MR. EDSALL: Once you cross the line, you've got to go to the proper height, you can't go to shin level, then you'll just fall over and land on your head.

MR. PETRO: How about one block where it steps back and they also come with about a 16 inch cap on it, interlock, kind of gives you a little bit of a--okay.

MR. LANDER: Instead of six inch tie, gives you more of a walkway, kids can walk on.

MR. SHAW: If you can prefer, we can go with masonry.

MR. LANDER: Only kidding, our plan was to do that anyway.

MR. PETRO: Motion for lead agency.

MR. LANDER: So moved.

MR. LUCAS: Second it.

MR. LANDER: Motion's been made and seconded that the New Windsor Planning Board declare itself lead agency on the SEQRA process for the Duffer's Hide-A-Way Phase 2. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE

MR. PETRO: As far as public hearing goes, I think that this is very, very minor in nature and the changes are--

MR. LUCAS: Motion to waive public hearing.

MR. LANDER: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment for the Duffer's Hide-A-Way site plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE

MR. PETRO: As far as negative dec, I can't imagine what we'd be impacting the environment. So I entertain a motion for negative dec.

MR. LUCAS: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board declare negative dec under the SEQRA process for the Duffer's Hide-A-Way site plan. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE

MR. PETRO: The Planning Board would require a bond estimate to be submitted to the site plan in accordance with paragraph A-1G. Any further discussion on anything here? If not, I'll entertain a motion to approve.

MR. LUCAS: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Duffer's Hide-A-Way site plan amendment Phase 2. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
and PENNSYLVANIA

- Main Office**
45 Quassaick Ave. (Route 9W)
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e-mail: mheny@att.net
- Regional Office**
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@ptd.net

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

REVIEW NAME: DUFFERS HIDE-A-WAY SITE PLAN AMENDMENT (PH II)
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 25.21
PROJECT NUMBER: 99-32
DATE: 22 DECEMBER 1999
DESCRIPTION: THE APPLICATION PROPOSES CONSTRUCTION OF ADDITIONAL PARKING AND VARIOUS SITE MODIFICATIONS.

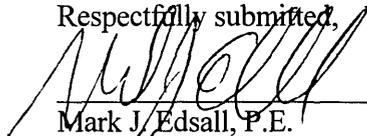
1. This is a follow-up application to the Phase I application (Planning Board Application 99-29). Phase II required a variance for pole height, development coverage and parking setback. It is my understanding that these variances were obtained on 13 December 1999. A record of the action should be on file with the Planning Board.
2. The Board should review the "Phase Notes" on Sheet 1 of the drawings. You will note that Phase II also includes a minor amendment to the recently approved Phase I. It may be beneficial to review the scope of both phases with the Applicant's Engineer.
3. The Planning Board may wish to assume the position of **Lead Agency** under the SEQRA process.
4. The Planning Board should determine, for the record, if a **Public Hearing** will be necessary for his **Site Plan**, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
5. The Planning Board may wish to make a **determination** regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS
PAGE 2**

REVIEW NAME: DUFFERS HIDE-A-WAY SITE PLAN AMENDMENT (PH II)
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 25.21
PROJECT NUMBER: 99-32
DATE: 22 DECEMBER 1999

6. The Planning Board should require that a **bond** estimate be submitted for this **Site Plan** in accordance with Paragraph A(1)(g) of Chapter 19 of the Town Code.
7. At this time I am aware of no outstanding issues with regard to this site plan application. If the Board identifies any such concerns, I will be pleased to review same, as deemed necessary by the Planning Board.

Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:DUFFERS2.mk

Reiffers - 99-32
1/24/00

SITE PLAN FEES - TOWN OF NEW WINDSOR
(INCLUDING SPECIAL PERMIT)

APPLICATION FEE:.....\$ 100.00

ESCROW:

SITE PLANS (\$750.00 - \$2,000.00).....\$ _____

MULTI-FAMILY SITE PLANS:

UNITS @ \$25.00 PER UNIT (AFTER 40 UNITS).....\$ _____

PLAN REVIEW FEE: (EXCEPT MULTI-FAMILY) \$ 100.00 ①

PLAN REVIEW FEE (MULTI-FAMILY): A. \$100.00
PLUS \$25.00/UNIT B. _____

TOTAL OF A & B: \$ _____

RECREATION FEE: (MULTI-FAMILY)

\$500.00 PER UNIT

_____ @ \$500.00 EA. EQUALS: \$ _____
NUMBER OF UNITS

SITE IMPROVEMENT COST ESTIMATE: \$ 11,100.00

2% OF COST ESTIMATE \$ _____ EQUALS \$ 222.00 ②

TOTAL ESCROW PAID:.....\$ _____

TO BE DEDUCTED FROM ESCROW: _____

RETURN TO APPLICANT: \$ _____

ADDITIONAL DUE: \$ _____



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
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Main Office
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New Windsor, New York 12553
(914) 562-8640
 Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor P/B # 99-32
 WORK SESSION DATE: 15 Dec 99 APPLICANT RESUB. REQUIRED: new plans
 REAPPEARANCE AT W/S REQUESTED: No
 PROJECT NAME: Duffler
 PROJECT STATUS: NEW _____ OLD X
 REPRESENTATIVE PRESENT: Grey
 MUNIC REPS PRESENT: BLDG INSP. _____
 FIRE INSP. X _____
 ENGINEER X _____
 PLANNER _____
 P/B CHMN. _____
 OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- Got 3 variances
-
- Look at Phase notes, some things have changed

X CLOSING STATUS 12/22
 Set for agenda
 possible agenda item
 Discussion item for agenda
 ZBA referral on agenda

pbwsform 10MJ98

PRELIMINARY MEETINGDUFFER'S HIDE-A-WAY

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. SHAW: My name is Greg Shaw from Shaw Engineering. I'm representing Duffer's Hide-A-Way this evening. Recently, we received approval from the Town of New Windsor Planning Board for a new driving range enclosure that's indicated on the drawing. It's going to be a two tier although one story driving enclosure with 15 bays on the lower level, 15 bays on the upper level. And as I said, that was recently approved by the planning board. That was Phase 1 of the project and we're now back before the planning board for Phase 2 of the project and Phase 2 encompasses an expansion of the existing parking area and also the construction of three new poles 50 feet high in the interior of the site with protective nettings. We were before the planning board and we did get a rejection because we need three variances from this board, one of which is that with this property being in the C zone, and being a recreation facility, we have to comply with Section 48-21 A of your zoning law. And when you go to that section, it states that for a recreational area, the parking area has to be a minimum of 25 feet from the nearest property line. Presently, we're 24 feet away from the nearest property line and we would like to get a variance for 22 feet as the new edge of the parking area would only be three feet off the property line. The second variance would be for the poles themselves. While there are 50 foot high poles on the perimeter of the property and the board did grant a variance for that I believe approximately ten years ago, there are three new poles that are proposed to be installed, again 50 feet high and they are within all the setbacks of the site and the purpose of the poles is to protect whatever lessons may be going on in the rear of the building from the concrete pad, from a sand trap and from a putting green to, again, the purpose of the new poles is to protect the people in the rear of the building. And having 50 feet high deters balls from flying off to the south where there can be an errant

ball traveling from the driving range as we all well know. The third variance is for developmental coverage. The zoning code requires a maximum development coverage of ten percent, which is quite restrictive. Presently on the site and I'm sure most of the board members have been passed there, it's 14.4 percent, we're in excess presently of the 10 percent limitation, as I said, which is very restrictive. With the new parking spaces, we're going to be increasing approximately 1.1 percent so we'll be increasing from 14.4 to 15.5 and again, the zoning allows only 10 percent so we'd be looking for a variance of that difference which would be 5.5 percent. So, in summary, the new driving range enclosure is approved, it is under construction now. With the upgrading of the facility, there's also a need to provide additional parking spaces again with the 25 foot setback to the nearest property line, I can see where that would probably be germane next to a side lot line, another piece of property, a residence possibly, but this is to a state highway, and I think it's more important for the people to have a place to park, especially when there's room, than possibly have them parking out on the state highway. Not that they do now, but again, with the upgrading of the facilities, hopefully there's going to be more people who are going to enjoy the facilities. Therefore, we'd need more parking to go along with it. So, that's a brief overview. Again, I tried to give you the overall plan showing the property in its entirety and get a blow-up of that area, which is going to contain the improvements.

MR. NUGENT: I have one question. The new parking places that are going to be against the highway, they are lower than the highway, correct?

MR. SHAW: Correct.

MR. NUGENT: Is there any kind of protection to protect them from a car coming off the highway and into them?

MR. SHAW: No, no more than there is now.

MR. NUGENT: There's no guardrails?

MR. SHAW: No, there's no guardrails.

MR. NUGENT: Okay. And the second question I had was explain this setback that you want on the side yard from what area?

MR. SHAW: Okay, it's not from the side yard, where we are.

MR. NUGENT: From here?

MR. SHAW: Correct.

MR. NUGENT: These are okay, this building's okay?

MR. SHAW: Yes, the building setbacks are fine. It's just that in 48-21 A, we have to keep our parking areas 25 feet from the nearest property line and by extending the parking area towards the state highway, we're encroaching into that 25 feet so we'd need a variance from that.

MR. REIS: Greg, that's six parking places, basically?

MR. SHAW: Well, it's more than that.

MR. NUGENT: Twenty total.

MR. REIS: There's parking in the front there now.

MR. SHAW: Well, he's technically correct, there is parking as you pull into the site now, you do park towards Windsor Highway. With the plan that was approved by the planning board, we flipped the parking around, the parking is now going to be towards the fence closest to the pro shop. What we're asking for is an expansion of the parking lot back towards Windsor Highway so presently, if you were to pull in today, you'd be facing Windsor Highway, we're just asking to move closer to Windsor Highway another 22 feet.

MR. REIS: Not changing the grade or creating any water runoff to your neighbors?

MR. SHAW: No.

MR. KANE: The existing poles that they have now are 50 foot high too?

MR. SHAW: Yes, along the perimeter, that's with a variance from this board, I believe that was granted April 25 of 1990. And I may also point out in discussion with the planning board in their rejection of the site plan for this board that they were in favor of granting the variances and I use my words carefully because I know they are not the ZBA, but they did not feel it would be a hardship on the neighborhood or a gross violation of the zoning ordinance.

MR. NUGENT: My only concern was that somebody from the highway can drive down onto the parked cars.

MR. SHAW: They can do that right now.

MR. NUGENT: That's right, but that's for the planning board to address more so than us.

MR. REIS: Has the planning board brought anything up?

MR. SHAW: Regarding that, no, it was strictly a quick discussion with the planning board, knowing that they were going to reject this application, we didn't get into that kind of detail. But again, as I may point out, the cars are parked, parking on 32 now, what we're doing just saying can we park another 22 feet closer. If a car's going to go over the highway after the parking lot's expanded and hit a car, it can do it today, 22 feet does not make any difference.

MR. TORLEY: How are those other poles holding up?

MR. SHAW: One, believe it or not, snapped right in half with the winds of Hurricane Floyd as it came through, the netting lot of the netting has to be replaced. But for the most part, they have stood up for ten years.

MR. NUGENT: Further questions?

MR. TORLEY: Entertain a motion?

MR. NUGENT: I'll accept a motion.

MR. TORLEY: Move we set up Duffer's Hide-A-Way for public hearing on the requested variances.

MR. REIS: Second it.

ROLL CALL

MR. TORLEY	AYE
MR. KANE	AYE
MR. REIS	AYE
MR. NUGENT	AYE.

MS. BARNHART: Greg, here's your paperwork.

MR. SHAW: Thank you.

OFFICE OF THE PLANNING BOARD - TOWN OF NEW WINDSOR
ORANGE COUNTY, NY

NOTICE OF DISAPPROVAL OF SITE PLAN OR SUBDIVISION APPLICATION

PLANNING BOARD FILE NUMBER: 99-32

DATE: 11-3-99

APPLICANT: Duffer's Hide-a-way
Windsor Highway
New Windsor, NY

PLEASE TAKE NOTICE THAT YOUR APPLICATION DATED 11-1-99

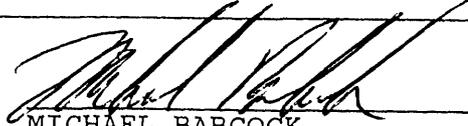
FOR (SUBDIVISION - SITE PLAN)

LOCATED AT East side of Windsor Hwy

ZONE _____

DESCRIPTION OF EXISTING SITE: SEC: 9 BLOCK: 1 LOT: 25.21

- IS DISAPPROVED ON THE FOLLOWING GROUNDS:
- #1 MINIMUM SETBACK
 - OF PARKING AREA FROM ANY PROPERTY LINE.
 - #2 DEVELOPMENT COVERAGE
 - #3 MAX BUILDING HEIGHT


MICHAEL BABCOCK,
BUILDING INSPECTOR

<u>REQUIREMENTS</u>	<u>PROPOSED OR AVAILABLE</u>	<u>VARIANCE REQUEST</u>
ZONE <u>C</u> USE <u>A-17</u>		
MIN. LOT AREA		
MIN. LOT WIDTH		
REQ'D FRONT YD <u>PARKING LOT 25 FT</u>	<u>3 FT</u>	<u>22 FT</u>
REQ'D SIDE YD.		
REQ'D TOTAL SIDE YD.		
REQ'D REAR YD.		
REQ'D FRONTAGE		
MAX. BLDG. HT. <u>(POLES) 18 FT</u>	<u>50 FT</u>	<u>32 FT</u>
FLOOR AREA RATIO		
MIN. LIVABLE AREA		
DEV. COVERAGE <u>10 %</u>	<u>15.5 %</u>	<u>5.5 %</u>
O/S PARKING SPACES		

APPLICANT IS TO PLEASE CONTACT THE ZONING BOARD SECRETARY AT:
 (914-563-4630) TO MAKE AN APPOINTMENT WITH THE ZONING BOARD
 OF APPEALS.

CC: Z.B.A., APPLICANT, P.B. ENGINEER, P.B. FILE

DUFFER'S HIDE-A-WAY SITE PLAN (99-29)

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. PETRO: This application is submitted as a two phase request, Phase 1 involves reconstruction of the driving range enclosure on the north side of the property as well as related site improvements. Phase 2 involves construction of an additional 20 parking spaces along the front of the site. Don't you need the 20 spaces for the enclosure?

MR. SHAW: No, and I'll get to that in a second. What we have elected to do is to break this application up into two phases, again, as I just explained, there's an existing enclosure now on the site. Mr. Impellitieri, who is the golf pro and owner of the property, what he'd like to do is to demolish the structure and construct a new golf driving range enclosure. It would be approximately the same size as that which exists, the same height and it would have the same setback distance.

MR. PETRO: Two stories or shoot off the roof of that?

MR. SHAW: Presently, you tee balls below and then there's an elevated tee, not part of the structure, two separate and distinct teeing areas, one inside the structure, one above it. With this new proposal, there will be one inside the structure, one on top of the structure, so basically, we're taking the two areas that are in close proximity incorporating them into one structure. With respect to compliance with the zoning and again, just for Phase 1, we're required to provide a 50 foot side yard setback. In this particular case, we're providing 16 feet. That's the existing side yard setback so we're treating that, we hope you would concur as an existing non-conforming condition.

MR. PETRO: Is the height changing, that's the existing building now, is the height going to be increased over that height?

MR. SHAW: The height is going to increase maybe but by

a foot, if that, but again, we would need a variance for that because we're allowed, if you'd bear with me, 18 feet and we're only going to be 12 feet.

MR. PETRO: With both stories?

MR. SHAW: Correct.

MR. PETRO: One story, an open top story?

MR. SHAW: Correct, with an open top, basically, you're going to be teeing balls off it, the lower level will be enclosed and the upper level will not. So with respect to do we have enough parking, again, we're treating that as an existing non-conforming condition. And we can jump back to Phase 1, I'd just like to touch on Phase 2 and then we can, you know, get into the details and phase. In Phase 2, what we'd like to do not only with the expansion of the golf driving range enclosure is to create more parking spaces and with those parking spaces, we're going to have to extend the parking area closer to Route 32. In your zoning ordinance, under Section 48-21 (a), the zoning law requires a minimum of 25 feet from the parking area to the nearest property line. We're going to be encroaching into that area. Additionally, there's a development coverage limitation of 10 percent, presently we're at 14.6 percent, but again, that's an existing non-conforming condition. But with the additional parking, we're going to be increasing that. We're going to be increasing it from 14.6 to 15.5, less than a one percent increase, but it will be an increase. So what we'd like to do is to ask this board for site plan approval for Phase 1 to allow the demolition of the structure and the construction of the structure this fall, and with that, a rejection on Phase 2 to allow us to go to the Zoning Board of Appeals to get a variance to build the parking area within 25 feet of the nearest property line and to increase the development coverage to a maximum of 15.5 percent as I said 9/10 of a percent increase from what's there now.

MR. LUCAS: How much closer are you going to be to the road?

MR. SHAW: If you look on the schedule. You'll see the existing is 112 feet--talking structure or the parking?

MR. LUCAS: Parking.

MR. SHAW: Parking will be within five feet.

MR. LUCAS: Retaining wall?

MR. SHAW: There's going to be a retaining wall, yes, not along the entire length, but maybe the southerly half.

MR. PETRO: Mark, this C zone you're allowed 10 percent coverage, that doesn't make too much sense.

MR. EDSALL: It doesn't make sense to me as well, but that's what's on the table.

MR. PETRO: On that whole property he's allowed 10 percent coverage?

MR. EDSALL: That's correct.

MR. PETRO: So when he goes to the zoning board, he's going to need relief from that and the property line or both?

MR. EDSALL: Yes, setback.

MR. PETRO: Realizing he's only increasing from 14 to 15.5, it's really, I think--

MR. ARGENIO: Ten percent seems low.

MR. PETRO: If I had a large piece of property like that and somebody said you can only use 10 percent, I wouldn't be happy.

MR. SHAW: In the zoning board, as they refer to courses and this is a golf driving range, it's a different beast, if you have a golf course, you have a hundred acre minimum, ten percent of a hundred acres you can work within that number but because there's no

specific definition for driving range, we had to put it in a golf course category and that kicked in the ten percent.

MR. PETRO: But it's not all course golf, not even all golf course related, you have batting cages, pro shop, office retail sales, seems like something should have been figured out so he didn't have to go in the category.

MR. ARGENIO: Do you need relief for Phase 2, you said for the parking area setback?

MR. SHAW: Correct, because of certain sections in your zoning law, 48-21 (a), we cannot put a parking area for a golf course within 25 feet of a property line.

MR. ARGENIO: And you do or do not need to for Phase 1?

MR. SHAW: We do not need it for Phase 1, but we do for Phase 2.

MR. PETRO: Let me ask you this, Mike, pay attention please, the plan as it's shown now the structure on this plan as it stands or the one you're going to build.

MR. SHAW: As it sits on drawing 1, which is an overall law layout of the site and drawing 3 that will be proposed, that's what we'd like to build. Drawing 2 is physically what's there now, so you can compare, so you can see where one structure is and where we're going to build the new structure.

MR. PETRO: One of the reasons I'm asking drawing number 3 so we're going to stamp a plan, it's going to be this plan, but the parking remains as is now?

MR. SHAW: Correct, there's no additional parking with Phase 1.

MR. PETRO: So we're only looking at Phase 1 now?

MR. SHAW: Correct, and the rejection of Phase 2 to allow us to go to the zoning board.

MR. EDSALL: That's the easiest way to handle it. What I have done, this is in comments under comments 3, 4, 5 and 6, I have outlined which of those comments apply to what phases, so you can take action specific for the phases that are involved.

MR. PETRO: Well, I would suggest to the board what with we'll do is go through our procedure, starting with lead agency for Phase 1 which will be in only for the demolition and construction of the new building for the teeing of the golf balls, nothing to do with parking whatsoever.

MR. EDSALL: Jim--

MR. LUCAS: I'll put that into a motion.

MR. EDSALL: For the SEQRA, as I say in comment 1, you've got to do it for the total project because you're going to assume lead agency, say we're going to be lead agency for everything, because you don't want to segment it, which is a bad word under SEQRA, then you can make a decision for the finding separately.

MR. PETRO: Make that as a motion.

MR. LUCAS: For the lead agency for the whole project.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the Duffer's Hide-A-Way site plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. LANDER: Mr. Shaw, one question, are you going to use the same foundation for this building?

MR. SHAW: No, it's going to be in a slightly different location. The structure right now, as I said before, is 112 feet from the property line. This one's going to be 100 feet from the property line, so it's going to be entirely new construction.

MR. LANDER: So you're making it larger?

MR. SHAW: I'm not sure if I'm making it larger because as I pull it back, they are pretty close in dimension.

MR. PETRO: Next decision here is on the public hearing and again, at this point, we can only look at the public hearing on this structure because we have to have, it has to go to the zoning board cause we can't do a public hearing anyway on the other one, so just at the structure as far as public hearing would be required.

MR. ARGENIO: For Phase 1, is that correct?

MR. PETRO: For Phase 1 only, which Phase 1 is the structure only and this is permitted use in the zone.

MR. BABCOCK: Yes.

MR. PETRO: And we have, what's on the other side, what's lands of Kim, what's there?

MR. SHAW: On the south side is the Safety Storage and on the north side are the apple orchards, I think they're apples.

MR. EDSALL: Yes.

MR. LUCAS: East side is also the orchard.

MR. PETRO: It's already existing, I think it's almost a renovation as far as I'm concerned.

MR. SHAW: That's all it is.

MR. PETRO: I don't see it as a major threat.

MR. SHAW: Just trying to upgrade and improve the facilities.

MR. PETRO: Taking it down and putting it back up.

MR. SHAW: Yeah, new, modern structure.

MR. LUCAS: Well, we have to distinguish ourselves between the two phases.

MR. PETRO: Only for the building for the public hearing.

MR. LUCAS: So what do we need?

MR. PETRO: Motion to waive the public hearing.

MR. LUCAS: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment for the Duffer's Hide-A-Way site plan on 32. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: Now, as far as the negative dec goes, again we're going to do it for the whole project.

MR. EDSALL: You can only deal with Phase 1 at this point and I think you already have discussed that the magnitude is very minor, it's more of a reconstruction, so I would think there's no significant impact to consider.

MR. PETRO: Motion to declare negative dec.

MR. LANDER: So moved.

MR. LUCAS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec under the SEQR process. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: We have highway approval on 10/8/99 and we have fire approval on 10/13/99. And again, this is for the Phase 1 part of the project which once again is for the construction or reconstruction of the driving range building and nothing to do with the parking lot that's to be constructed. Is there a motion for final approval and this would be subject to a bond estimate being submitted to the New Windsor engineer for site plan?

MR. LUCAS: Make it.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Duffer's Hide-A-Way site plan for the construction of the teeing building, new golf driving range enclosure that's shown on the map subject to the bond estimate being submitted. Is there any further discussion from the board members? The DOT is not involved, we're not changing anything out front, right, with the curb cut?

MR. SHAW: No, we're not.

ROLL CALL

MR. ARGENIO AYE
MR. BRESNAN AYE
MR. LUCAS AYE
MR. LANDER AYE
MR. PETRO AYE

MR. PETRO: On to the second part of the application, he also wants to construct a parking lot which encroaches the front yard setback, which is required by law to be greater than what he has and what was the other portion of it?

MR. SHAW: To increase the zone coverage.

MR. PETRO: 14 to 15 percent, approximately, so with that, we need a motion for final approval.

MR. LUCAS: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Duffer's Hide-A-Way site plan on Route 32. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO NO
MR. BRESNAN NO
MR. LUCAS NO
MR. LANDER NO
MR. PETRO NO

MR. PETRO: At this time, you have been referred to the New Windsor Zoning Board for the necessary variances. Once you have received those variances and wish to appear before this board again, you may do so.

MR. EDSALL: Mr. Chairman, it may help them to have something in the record relative to the two variances, if you think they are appropriate, cause I know the ZBA

asked Mike, Mike and I discussed it, normally, the 25 foot setback for parking lots is really meant to protect residential properties which normally in many cases surround recreational golf courses and so on, the 25 foot setback is against the state highway, so I don't believe that that same concern exists and relative to the development coverage, the board may want to let the zoning board know that you have, you believe it's important to ensure that there's adequate parking so parking doesn't start to occur on the state highway. So if you concur, that will be in the minutes and it may help them with conveying that.

MR. PETRO: So noted and we concur.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/02/1999

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 99-32

NAME: DUFFER'S HIDE-A-WAY - PARKING LOT EXPANSION
APPLICANT: IMPELLITTIERE, GERALD

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
11/01/1999	REC. CK. #1044	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00

[Handwritten signature]
11/2/99



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

RECEIVED

PLANNING BOARD FILE NUMBER: 99-32

DEC 17 1999

DATE PLAN RECEIVED: RECEIVED DEC 16 1999

N.W. HIGHWAY DEPT.

The maps and plans for the Site Approval

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved

disapproved _____.

If disapproved, please list reason _____

W. James Della 12/17/99
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 60

DATE PLAN RECEIVED: RECEIVED DEC 15 1999

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

_____ for the building or subdivision of

Duffers - Hide-A-Way has been

reviewed by me and is approved [Signature],

disapproved.

~~If disapproved, please list reason~~

Property has town water - Notify

water dept - for mark-out if necessary -

HIGHWAY SUPERINTENDENT DATE

[Signature] - 12-20-99
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE

INTER OFFICE CORRESPONDENCE

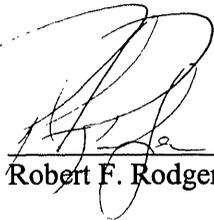
TO: Town Planning Board
FROM: Town Fire Inspector
SUBJECT: Duffer's Hide-A-Way Inc.
DATE: 17 December 1999

Planning Board Reference Number: PB-99-32
Dated: 15 December 1999
Fire Prevention Reference Number: FPS-99-_____

A review of the above referenced subject site plan was conducted on 17 December, 1999.

This site plan is acceptable.

Plans Dated: 15 December 1999, Revision 1



Robert F. Rodgers



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8540
- Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor P/B # 99 - 25

WORK SESSION DATE: 1 Dec 99

APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: No

new plans

PROJECT NAME: Duffer

PROJECT STATUS: NEW _____ OLD _____

REPRESENTATIVE PRESENT: Greg Shan

MUNIC REPS PRESENT:

BLDG INSP.	_____
FIRE INSP.	<u>X</u> _____
ENGINEER	<u>X</u> _____
PLANNER	_____
P/B CHM.N.	_____
OTHER (Specify)	_____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

ZBA mtg is 13⁴⁵ hr P/H

Possible 2nd Dec mtg for Phase II App'l

CLOSING STATUS

- Set for agenda
- possible agenda item → Dec 22
- Discussion item for agenda
- ZBA referral on agenda

pbwsform 10MJE98



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan Special Permit _____

Tax Map Designation: Sec. 9 Block 1 Lot 25.21

1. Name of Project Parking Lot Expansion For Duffers Hide-A-Way

2. Owner of Record Gerald I. Impellittere, Jr. Phone 562-8310

Address: c/o Duffers Hide-A-Way 139 Windsor Highway, New Windsor, NY
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Same As Owner Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Gregory J. Shaw, P.E. Phone 561-3695

Address: 744 Broadway, Newburgh, N.Y. 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Gregory J. Shaw, P.E. 561-3695
(Name) (Phone)

7. Project Location:

On the east side of Windsor Highway 1,300 feet
(Direction) (Street) (No.)
north of Union Avenue
(Direction) (Street)

8. Project Data: Acreage 6.76 Zone C School Dist. Newburgh Enlarged

(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

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99-32

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No x

***This information can be verified in the Assessor's Office.**

***If you answer "yes" to question 9, please complete the attached "Agricultural Data Statement".**

10. Description of Project: (Use, Size, Number of Lots, etc.) Expansion of the existing parking area located on the west side of the property

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes x no _____

12. Has a Special Permit previously been granted for this property? yes _____ no x

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

1ST DAY OF NOVEMBER 1999

[Handwritten Signature]
APPLICANT'S SIGNATURE

[Handwritten Signature]
NOTARY PUBLIC

LINDA A. BROTONA
NOTARY PUBLIC, STATE OF NEW YORK
Qualified in Orange County
Term Expires 5-4-2003

JERRY IMPELLITTERI
Please Print Applicant's Name as Signed

TOWN USE ONLY:

RECEIVED NOV - 1 1999

DATE APPLICATION RECEIVED

99-32

APPLICATION NUMBER

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Gerald I. Impellittere, Jr., ^{conducts business}deposes and says that ~~he resides~~
(OWNER)

at 139 Windsor Highway, New Windsor in the County of Orange
(OWNER'S ADDRESS)

and State of New York and that he is the owner of property tax map

(Sec. 9 Block 1 Lot 25.21)
designation number (Sec. Block Lot) which is the premises described in

the foregoing application and that he authorizes:

(Applicant Name & Address, if different from owner)

Gregory J. Shaw, P.E.
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 9-30-99

Gerald I. Impellittere
Owner's Signature

Linda A. Ricotta
Witness' Signature

Applicant's Signature if different than owner

Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

RECEIVED NOV - 1 1999

99-32

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

1. X Site Plan Title
2. X Provide 4" wide X 2" high box directly above title block
(preferably lower right corner) for use by Planning Board in
affixing Stamp of Approval (ON ALL PAGES OF SP)
3. X Applicant's Name(s)
4. X Applicant's Address
5. X Site Plan Preparer's Name
6. X Site Plan Preparer's Address
7. X Drawing Date
8. X Revision Dates
9. X Area Map Inset and Site Designation
10. * Properties within 500' of site
11. * Property Owners (Item #10)
12. X Plot Plan
13. X Scale (1" = 50' or lesser)
14. X Metes and Bounds
15. X Zoning Designation
16. X North Arrow
17. X Abutting Property Owners
18. X Existing Building Locations
19. X Existing Paved Areas
20. X Existing Vegetation
21. X Existing Access & Egress

PROPOSED IMPROVEMENTS

22. NA Landscaping
23. NA Exterior Lighting
24. NA Screening
25. NA Access & Egress
26. X Parking Areas
27. NA Loading Areas
28. X Paving Details (Items 25 - 27)
29. NA Curbing Locations
30. NA Curbing through section
31. NA Catch Basin Locations
32. NA Catch Basin Through Section
33. NA Storm Drainage
34. NA Refuse Storage
35. NA Other Outdoor Storage
36. NA Water Supply
37. NA Sanitary Disposal System
38. NA Fire Hydrants
39. NA Building Locations
40. NA Building Setbacks
41. NA Front Building Elevations
42. NA Divisions of Occupancy
43. NA Sign Details
44. X Bulk Table Inset
45. X Property Area (Nearest 100 sq. ft.)
46. NA Building Coverage (sq. ft.)
47. NA Building Coverage (% of total area)
48. NA Pavement Coverage (sq. ft.)
49. NA Pavement Coverage (% of total area)
50. NA Open Space (sq. ft.)
51. NA Open Space (% of total area)
52. X No. of parking spaces proposed
53. X No. of parking spaces required

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REFERRING TO QUESTION 9 ON THE APPLICATION FORM, "IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

- 54. NA Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
- 55. NA A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

"Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY:  October 29, 1999
 Licensed Professional Date

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99-32

PROJECT I.D. NUMBER

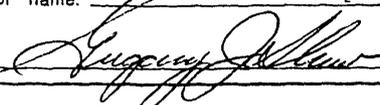
617.21

SEQR

Appendix

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
 For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Gerald I. Impellittiere, Jr.	2. PROJECT NAME Parking Lot Expansion For Duffers Hide-A-
3. PROJECT LOCATION: Municipality <u>Town Of New Windsor</u> County <u>Orange</u> Way	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 139 Windsor Highway	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Expansion of the parking lot located on the western portion of the property	
7. AMOUNT OF LAND AFFECTED: Initially <u>6.76</u> acres Ultimately <u>6.76</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly A variance will be required for having a parking area within 25 feet of a property line	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Gerald I. Impellittiere, Jr.</u> Date: <u>October 29, 1999</u>	
Signature: 	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

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PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly.
No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.
No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.
No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.
No

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Town of New Windsor Planning Board
Name of Lead Agency

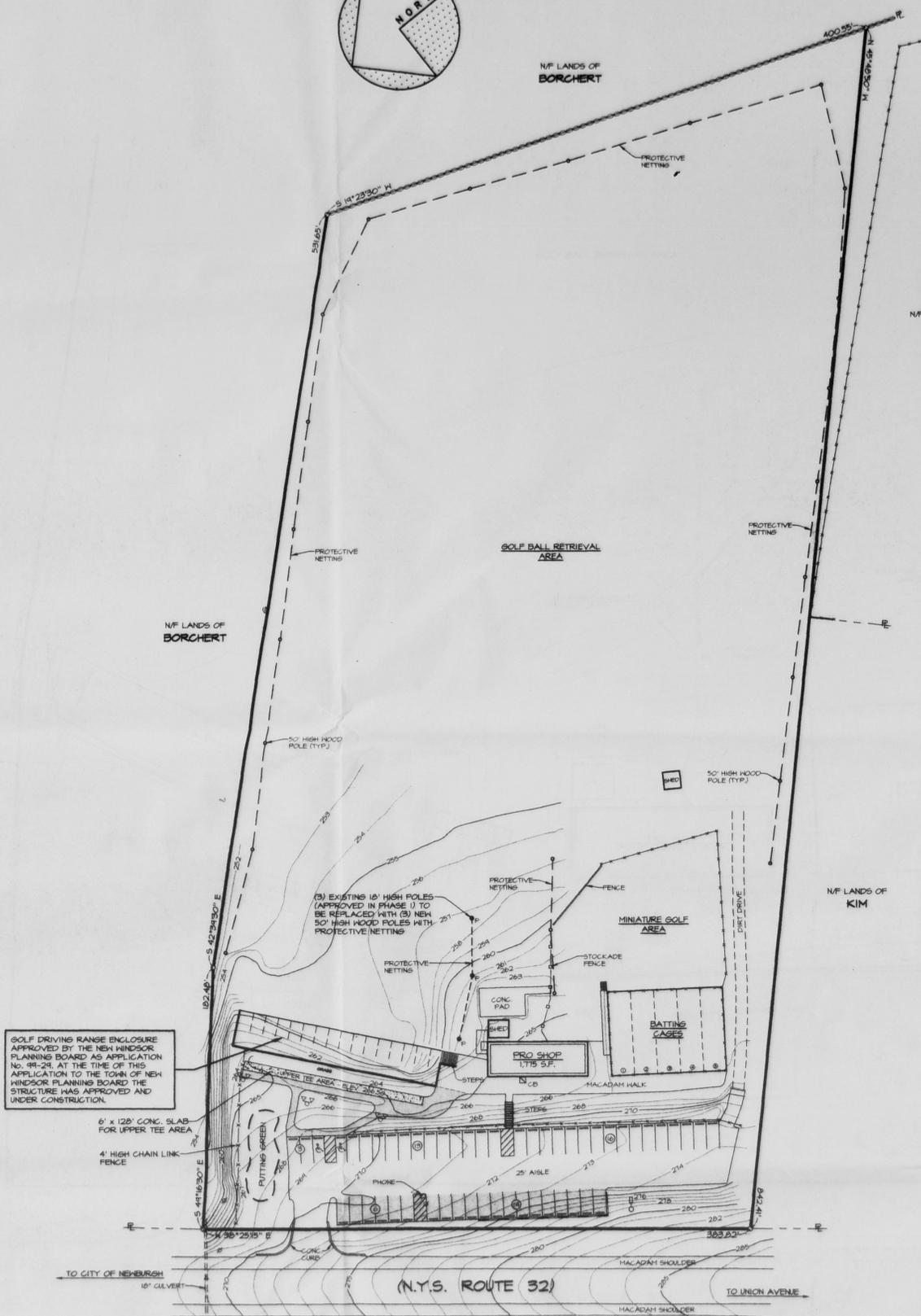
James R. Petro
Print or Type Name of Responsible Officer in Lead Agency

Chairman
Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from responsible officer)

Date



ZONING SCHEDULE

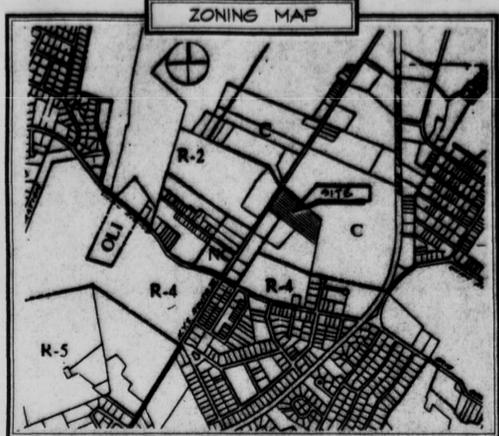
**ZONE C, DESIGN SHOPPING
USE: A-TI, RECREATIONAL FACILITIES**

BULK REGULATIONS, C ZONE	REQUIRED	EXISTING OR APPROVED	PROVIDED
MIN. LOT AREA	5 ACRES	6.76 ACRES	6.76 ACRES
MIN. LOT WIDTH	200 FT.	365 FT.	365 FT.
MIN. FRONT YARD DEPTH	100 FT.	100 FT. (PHASE 1 DRIVING RANGE ENCLOSURE)	152 FT. (PHASE 2 POLES)
MIN. SIDE YARD - ONE	50 FT.	16 FT. # (PHASE 1 DRIVING RANGE ENCLOSURE)	174 FT. (PHASE 2 POLES)
MIN. SIDE YARD - BOTH	100 FT.	140 FT. (PHASE 1 DRIVING RANGE ENCLOSURE)	365 FT. (PHASE 2 POLES)
MIN. REAR YARD DEPTH	50 FT.	500 FT. (PHASE 1 POLES)	500 FT. (PHASE 2 POLES)
MIN. STREET FRONTAGE	50 FT.	365 FT.	365 FT.
MAX. BUILDING HEIGHT	18 FT.	18 FT. (PHASE 1 POLES)	50 FT. (PHASE 2 POLES)***
MAX. FLOOR AREA RATIO	N/A	N/A	N/A
DEVELOPMENT COVERAGE	10 %	14.4 % #	15.5 %***
MINIMUM SETBACK OF PARKING AREA FROM ANY PROPERTY LINE	25 FT.	24 FT. #	3 FT.***

OFF-STREET PARKING	REQUIRED	PROVIDED
4 SPACES PER ACRE (6.76 ACRES x 4 SPACES PER ACRE)	27 SPACES	
OFFICE / RETAIL AREA (1.775 S.F. / 150 S.F. PER SPACE)	12 SPACES 34 SPACES	52 SPACES

THE ABOVE ZONING SCHEDULE IS EXCLUSIVE OF THE 50' HIGH POLES (STRUCTURES) ALONG THE NORTH, EAST AND SOUTH BOUNDARY LINES.

DENOTES PRE-EXISTING NON-CONFORMING CONDITION
*** DENOTES VARIANCES OBTAINED FROM NEW HINDSOR ZONING BOARD OF APPEALS ON DECEMBER 13, 1999.



LEGEND

EXISTING	NEW
--- 1' CONTOUR	● 50' HIGH WOOD POLE
--- 5' CONTOUR	--- MASONRY RETAINING WALL
--- BOUNDARY	--- MACADAM PAVEMENT
--- ADJ. PROPERTY LINE	
CB CATCH BASIN	
U UTILITY POLE	
PL POLE W/ DOUBLE LUMINAIRE	
AL AREA LIGHT	
SS 18" ST. STORM SEWER	
CL CHAIN LINK FENCE	

- NOTES**
- ZONING DISTRICT: C ZONE, DESIGN SHOPPING
 - RECORD OWNER & APPLICANT: GERARD J. IMPELLITTERE, JR. C/O DUFFER'S HIDE-A-WAY 134 HINDSOR HIGHWAY NEW HINDSOR, NEW YORK 12550
 - TOTAL PARCEL AREA: 6.76± ACRES
 - TAX MAP DESIGNATION: SECTION 9, BLOCK 1, LOT 25.21
 - THE LOCATIONS OF EXISTING UTILITIES ARE TO BE CONSIDERED AS APPROXIMATE. PRIOR TO EXCAVATION THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS.
 - UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.) SECTION 11B OF THE PUBLIC SERVICE LAW ARTICLE 36 OF THE GENERAL BUSINESS LAW AND INDUSTRIAL CODE RULE 53 REQUIRES (2) WORKING DAYS NOTICE BEFORE EXCAVATION, DRILLING OR BLASTING. UNDERGROUND UTILITIES CALL CENTER TEL. NO. 1-800-462-1962. CONTRACTOR SHALL PROTECT AND PRESERVE UTILITY MARKINGS.
 - BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY INFORMATION OBTAINED BY ROBERT D. KALAKA, L.S. IN SEPTEMBER OF 1999.
 - VARIANCES WERE OBTAINED FROM THE TOWN OF NEW HINDSOR ZONING BOARD OF APPEALS ON NOV. 13, 1999 FOR THE 50 FOOT HIGH WOOD POLES ALONG THE PROPERTY'S PERIMETER. SITE PLAN APPROVAL FOR THE WOOD POLES WAS GRANTED BY THE NEW HINDSOR PLANNING BOARD ON APRIL 25, 1999.
 - FOR PHASE 1 SITE IMPROVEMENTS REGARDING GOLF DRIVING RANGE ENCLOSURE AND (3) 18" HIGH POLES WITH PROTECTIVE NETTING, REFER TO PLANNING BOARD APPLICATION No. 99-29.

- PHASE NOTES**
- PHASE 2 CONSISTS OF THE FOLLOWING NEW IMPROVEMENTS:**
- A PARKING AREA ADJACENT TO THE WESTERLY PROPERTY LINE CONSISTING OF 20 SPACES AND MASONRY RETAINING WALL.
 - AN UPPER TEE AREA (CONCRETE SLAB) W/ MACADAM WALKS AND FENCING.
 - A PUTTING GREEN ALONG NORTH PROPERTY LINE
- PHASE 2 AMENDS PHASE 1 IMPROVEMENTS (PLANNING BOARD APPLICATION No. 99-29) AS FOLLOWS:**
- GOLF DRIVING RANGE ENCLOSURE REDUCES FROM 2 LEVELS TO 1 LEVEL.
 - (3) 18" HIGH POLES ARE INCREASED IN HEIGHT TO 50 FEET.

TOWN OF NEW HINDSOR PLANNING BOARD
STAMP OF APPROVAL

DATE: JAN 24 2000

PLANNING BOARD ON: *Gerard J. Impellittere, Jr.*
BY: *Robert D. Kalaka*
ESSENTIAL-S&S-LLC

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh N.Y. 12550

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ISSUE	REVISION	DATE
2	PLANNING BOARD COMMENTS OF DEC. 22, 1999	1-5-2000
1	VARIANCES NOTED, UPPER TEE AREA	12-15-1999

Drawn By: J.R.J. Drawing: **SITE PLAN**

Checked By: G.J.S. Project: **PARKING LOT EXPANSION - PHASE 2 - FOR DUFFER'S HIDE-A-WAY, INC.**

Scale: 1"=40'

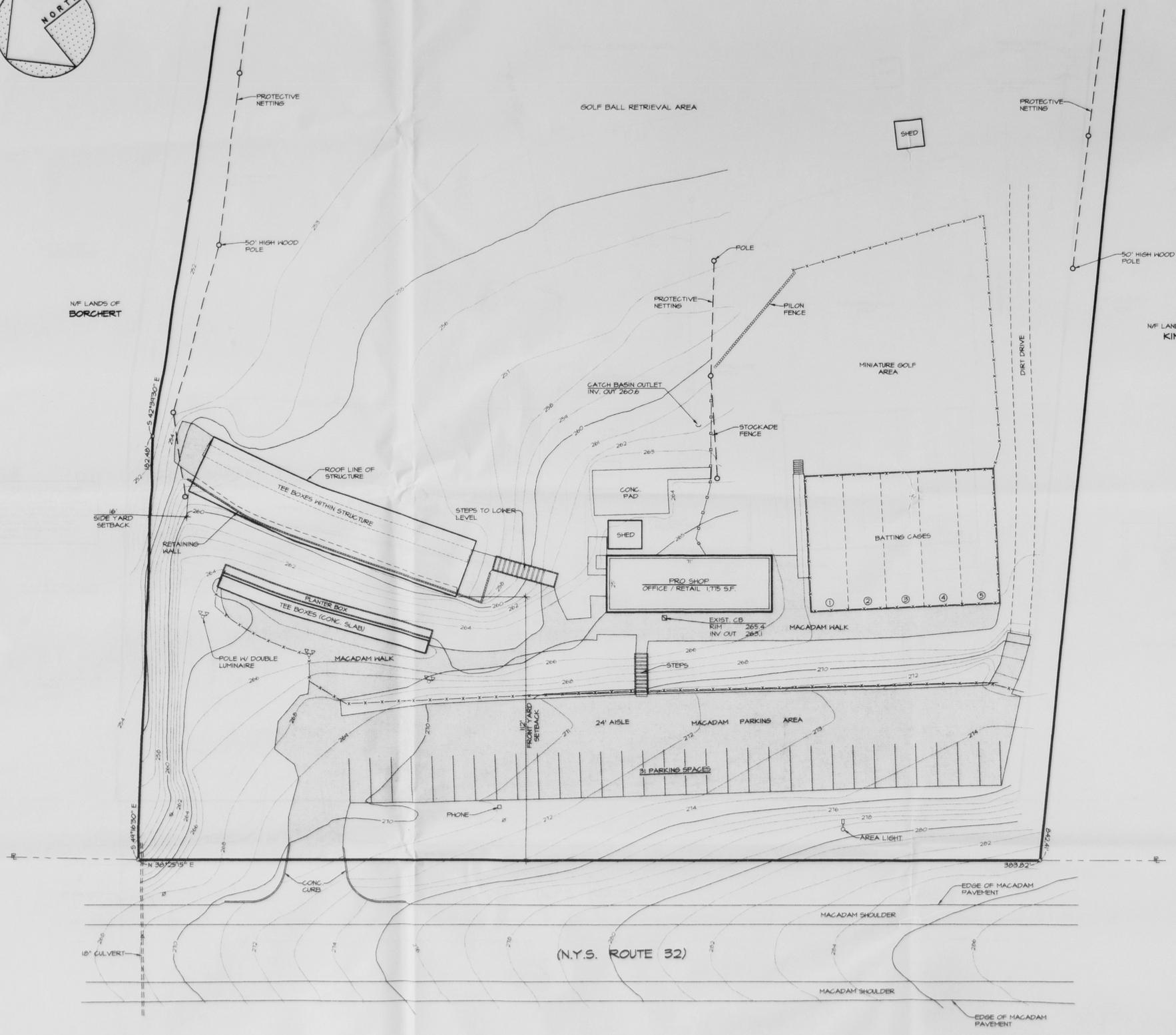
Date: 10-29-1999 Windsor Highway Town of New Windsor, N.Y. Project No. 9912

RECEIVED JAN 7 1999

LEGEND

EXISTING

- 273 1' CONTOUR
- 275 5' CONTOUR
- BOUNDARY
- ADJ. PROPERTY LINE
- CATCH BASIN
- UTILITY POLE
- POLE W/ DOUBLE LUMINAIRE
- AREA LIGHT
- CHAIN LINK FENCE
- MACADAM PAVEMENT



TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

DATE PLAN CHANGES ELEVATION CHANGE
APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JAN 24 2000

PLANNING BOARD CHAIRMAN
BY *James P. ...*

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh N.Y. 12550

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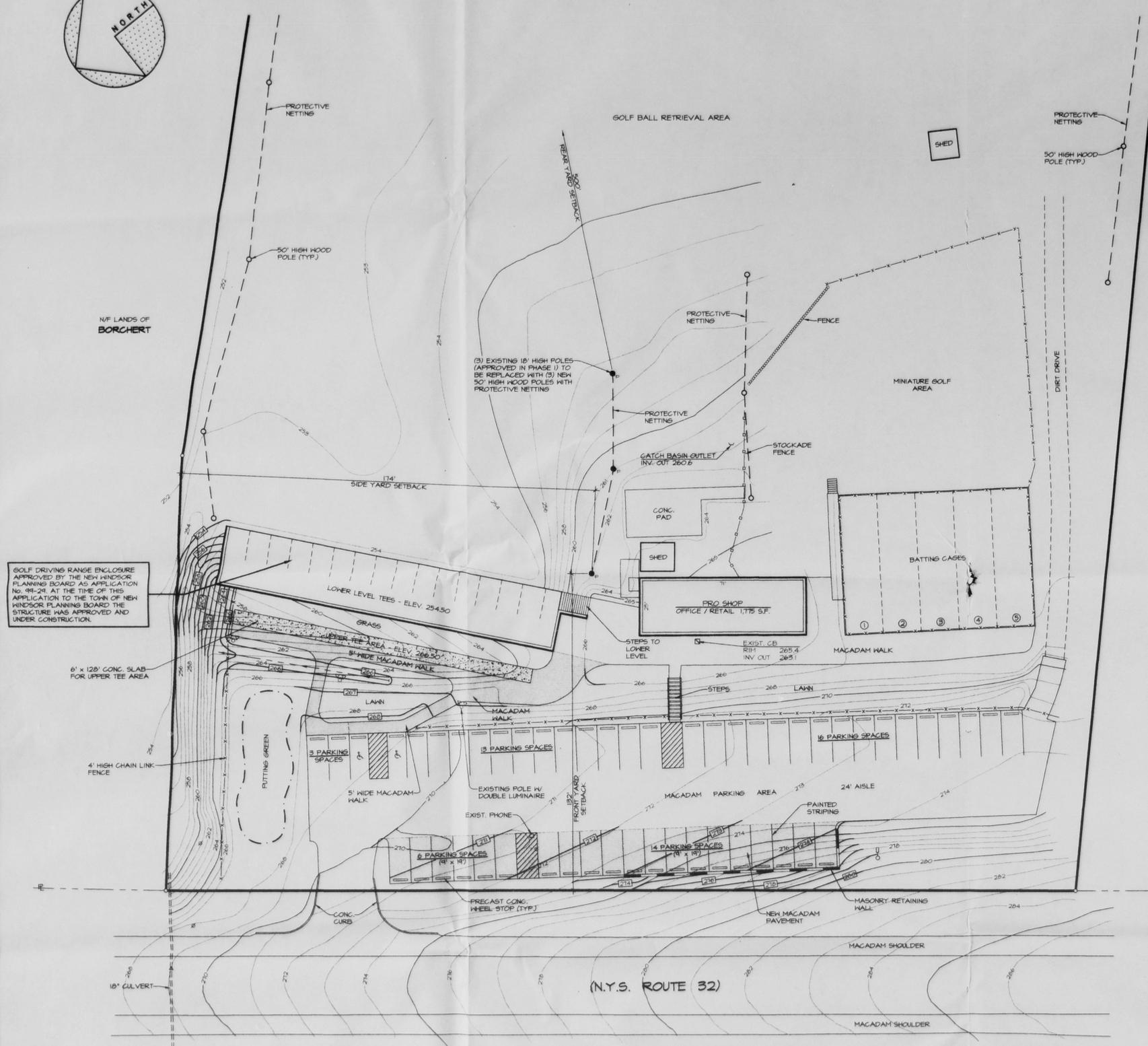
ISSUE	REVISION	DATE
2	NO REVISION	1-5-2000
1	ADDITIONAL LABELS	12-8-1999
1		10-29-1999

Drawn By: J.B.V.
Checked By: G.J.S.
Scale: 1"=20'
Date: 10-29-1999

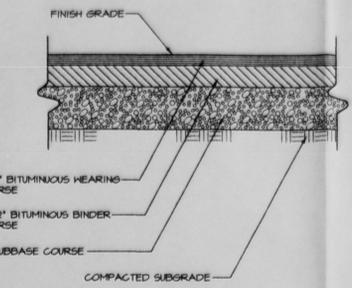
Drawing:
EXISTING CONDITIONS PLAN

Project:
PARKING LOT EXPANSION
- PHASE 2 -
FOR
DUFFER'S HIDE-A-WAY, INC.
HINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

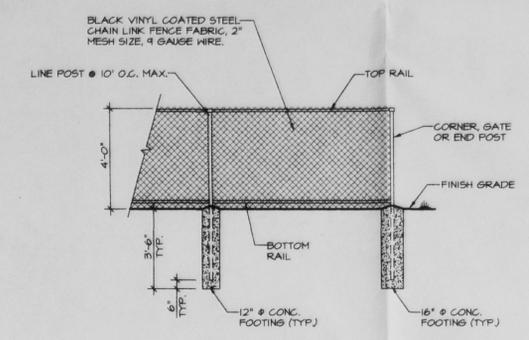
2 OF 3
Project No. 9912



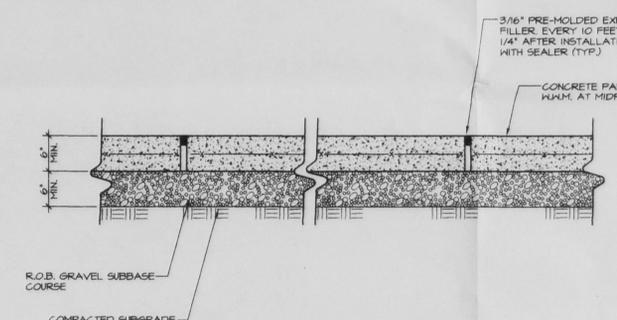
GOLF DRIVING RANGE ENCLOSURE APPROVED BY THE NEW WINDSOR PLANNING BOARD AS APPLICATION No. 99-24 AT THE TIME OF THIS APPLICATION TO THE TOWN OF NEW WINDSOR PLANNING BOARD THE STRUCTURE WAS APPROVED AND UNDER CONSTRUCTION.



ON - SITE ASPHALT PAVEMENT
NOT TO SCALE

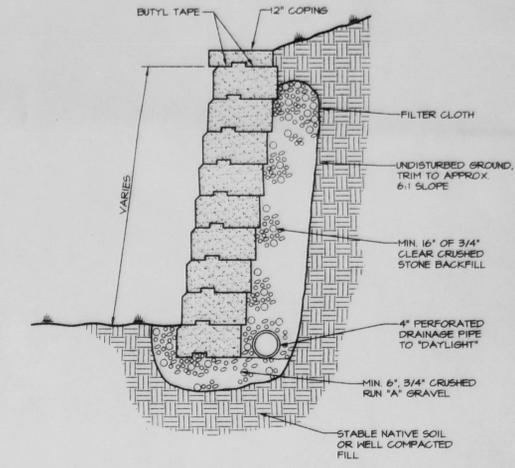


CHAIN LINK FENCE
NOT TO SCALE

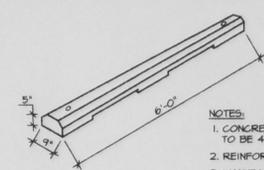


CONCRETE SLAB DETAIL
NOT TO SCALE

LEGEND	
EXISTING	NEW
- - - 1' CONTOUR	- - - FINISHED GRADE
- - - 5' CONTOUR	● 50' HIGH WOOD POLE
— BOUNDARY	— MASONRY RETAINING WALL
- - - ADJ. PROPERTY LINE	— MACADAM PAVEMENT
□ CB	□ CATCH BASIN
○	○ UTILITY POLE
—	— CHAIN LINK FENCE
○	○ POLE W/ DOUBLE LUMINAIRE
○	○ AREA LIGHT



MASONRY RETAINING WALL
NOT TO SCALE



WHEEL STOP DETAIL
NOT TO SCALE

PHASE NOTES

PHASE 2 CONSISTS OF THE FOLLOWING NEW IMPROVEMENTS:
 1. A PARKING AREA ADJACENT TO THE WESTERLY PROPERTY LINE CONSISTING OF 20 SPACES AND MASONRY RETAINING WALL.
 2. AN UPPER TEE AREA (CONCRETE SLAB) W/ MACADAM WALKS AND FENCING.
 3. A PUTTING GREEN ALONG NORTH PROPERTY LINE.

PHASE 2 AMENDS PHASE 1 IMPROVEMENTS (PLANNING BOARD APPLICATION No. 99-24) AS FOLLOWS:
 1. GOLF DRIVING RANGE ENCLOSURE REDUCES FROM 2 LEVELS TO 1 LEVEL.
 2. (B) 10' HIGH POLES ARE INCREASED IN HEIGHT TO 50 FEET.

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

GRUTE PLAN SUBDIVISION ELOT-LINE CHANGE
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
 JAN 24 2000
 PLANNING BOARD ON James Peterle Chairman
 BY [Signature] EDWARD G. GREGORY

Shaw Engineering
Consulting Engineers
744 Broadway Newburgh N.Y. 12550

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ISSUE	REVISION	DATE
2	PLANNING BOARD COMMENTS OF DEC. 22, 1999	1-5-2000
1	UPPER TEE AREA	12-18-1999

Drawn By: J.B.J.
Checked By: G.J.S.
Scale: 1"=20'
Date: 10-29-1999

SITE PLAN
Project: PARKING LOT EXPANSION - PHASE 2 -
DUFFER'S HIDE-A-WAY, INC.
WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

3 OF 3
Project No. 9912