

PB# 97-40

**BLOOMING GROVE OPERATING
PHASE 2**

52-1-30.23

Approved Phase II 2/19/98

Main file # 91-22

Phases: File #

II - 97-40 ✓
III - 97-41
IV - 97-42
V - 97-43

97-40
Overall project
File # 91-22

Blooming Grove Spk. Sub.
Phase II (Amended)
Tolman Rd.

Wilson Jones - Carbonless - S1612-4W CL Dupl. (P. - 5/94) 4W.C., Triplicate

© Wilson Jones, 1989

DATE March 18, 1998 RECEIPT ^{NUMBER} 97-40 (91-22)RECEIVED FROM Fairview Homes, Inc.Address P.O. Box 479 - Washingtonville, N.Y. 10992Five Hundred 00/100 DOLLARS \$ 500.00FOR One Lot Recreation Fee

ACCOUNT		HOW PAID	
BEGINNING BALANCE	500 00	CASH	
AMOUNT PAID	500 00	CHECK	#8255
BALANCE DUE	-0-	MONEY ORDER	

BY P. Zappolo
Myra L. Mason

Wilson Jones - Carbonless - S1654-MCR Duplicate - S1657NCL Triplicate

© Wilson Jones, 1989

DATE March 18, 1998 RECEIPT 341077RECEIVED FROM Fairview Homes, Inc.

Address _____

Four Hundred fifty five DOLLARS \$ 455.00/100FOR P.B. # 97-40

ACCOUNT		HOW PAID	
BEGINNING BALANCE		CASH	ck # 8256
AMOUNT PAID		CHECK	
BALANCE DUE		MONEY ORDER	

BY Town Clerk
Dorothy W. Hansen

Map Number 64-98 City N. Windsor
Section 52 Block 1 Lot 30.23 Town N. Windsor
Village N. Windsor

Title: Blossoming Grove Operating
(Phase II) Company

Dated: 6-17-97 Rev. 4-6-98 Filed

Approved by Edward Stant, Jr.

on 2-19-98

Record Owner Blossoming Grove Operating Co.

DONNA L. BENSON
Orange County Clerk

(8 sheets)



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FAIR, P.E. (NY & PA)

MAIN OFFICE

33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:

MJE@MHEPC.COM

27 October 2005

Mr. Vincent Biagini
Fairview Homes
P.O. Box 479
Washingtonville, NY 10992

**SUBJECT: TOLEMAN ESTATES (f/k/a BLOOMING GROVE OPERATING CO.)
MAJOR SUBDIVISION – TOWN OF NEW WINDSOR
STATUS OF PROJECT FOR DEDICATION OF PUBLIC IMPROVEMENTS
N.W. P.B. FILE NO. 97-40**

Dear Vince:

Our office has been asked to make an evaluation in connection with the status of the subject project with regard to the request that the Town Board accept the public improvements for dedication at an upcoming board meeting. Toward this goal, we have reviewed the status of the work with representatives of our office and Town departments, as applicable. The roadways involved in this dedication are Melissa Lane and Hill Road (f/k/a Hunter Rd.).

Please note the following status as reflected in our files:

- **Public Improvements** – the roadway and drainage public improvements have been completed and it is our opinion they are in general conformance with the approved plans.
- **As-Built Plans** – As-builts prepared by a licensed surveyor, depicting the as constructed improvements, with the location of the installed right-of-way monumentation must be submitted. After content review and acceptance, a total of six (6) prints and two (2) mylars of the as-builts (stamped and signed by the surveyor) should be submitted as soon as possible.
- **Maintenance Bond** – The original public improvement bond amount for the project work (total all phases) was established as \$842,459. Based on same, the maintenance bond amount would be \$ 84,245 (10% of original PI bond). This bond must be submitted to the Attorney for the Town, in an acceptable form.

REGIONAL OFFICES

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 870-298-2765 •
• 840 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

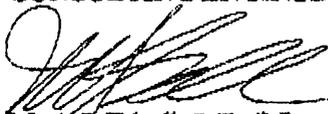
- Offers of Dedication – Once we have received copies of the as-built drawings, we will review same relative to the original subdivision plat and the descriptions from the Offers of Dedication as may be on file at the office of the Attorney for the Town. Please insure that your attorney has submitted complete Offers to the Attorney for the Town.
- Title Insurance Policy – We are not aware of the status of this item. Contact office of the Attorney for the Town.
- Acceptance of Dedication – Town Highway Superintendent - We are not aware of the status of this item. Contact office of the Attorney for the Town.

Some items remain outstanding as noted above. Please contact the Attorney for the Town to coordinate the date of the board meeting at which the offer of dedication will be considered by the Town Board, and whether an acceptance conditional on receipt of the outstanding items will be considered.

If you have any questions regarding the above, please do not hesitate to contact us at your convenience.

Very truly yours,

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS, P.C.



Mark J. Edsall, P.E., P.P.
Engineer for the Town

cc: George J. Meyers, Town Supervisor (via fax)
Henry Kroll, Town Highway Superintendent (via fax)
Philip Crotty, Esq., Attorney for the Town (via fax)
Richard D. McGoey, P.E., Engineer for the Town

NW97-40-Ded Status Letter 10-27-05.doc
MJE/st

BLOOMING GROVE OPERATING SUBDIVISION

(TOLEMAN ESTATES)

PHASE II – APPROVED MAPS

P.B. #97-40

ADDITIONAL SIGNED PLANS – ROLLED IN TOWN
CLERK'S VAULT

TC

RECEIVED

ORANGE COUNTY DEPARTMENT OF HEALTH
Division of Environmental Health

AUG 20 1998

CERTIFICATE OF APPROVAL OF REALTY SUBDIVISION PLANS

TO: Blooming Grove Operating Co.
POB 479
Washingtonville, NY 10992

The Orange County Department of Health certifies that a realty subdivision map entitled Blooming Grove Operating Co., Phases IV & V, dated May 4, 1992, latest revision July 22, 1998, located in the Town of New Windsor showing plans for providing satisfactory and adequate water supply and sewage facilities for said subdivision have been filed with and approved by the Department on this date pursuant to Article II of the Public Health Law.

The following information was furnished in the application for approval of plans:

Total area: 35.84 acres Number of lots: 19

Water supply: Individual wells

Sewage disposal: Individual sewage disposal systems

The owner intends to build houses on this subdivision.

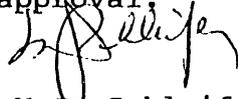
Approval of the proposed water supply and sewage facilities is granted subject to the following conditions:

1. THAT the proposed facilities are installed in conformity with said plans.
2. THAT no lot or remaining lands shall be subdivided without plans for such resubdivision being filed with and approved by the Orange County Department of Health.
3. THAT the purchaser of a lot sold without water supply and/or sewage disposal facilities installed thereon will be furnished with a reproduction of the approved plans and shall be notified of the necessity of installing such facilities in accordance with the approved plans.
4. THAT the purchaser of a lot sold with water supply and/or sewage disposal facilities installed thereon will be furnished with a reproduction of the approved plans and an accurate as-built plan depicting all installed sanitary facilities.
5. THAT the sanitary facilities on these lots shall be inspected for compliance with the approved plans at the time of construction by a licensed professional engineer and written certification to that effect shall be submitted to this Department and the local Building Code Enforcement Officer prior to occupancy.
6. THAT individual wells and sewage treatment systems shall no longer be constructed or used for household domestic purposes when public facilities become available. Connection to the public sewerage system is required within one year of the system becoming available.

7. THAT plan approval is limited to 5 years. Time extensions for plan approval may be granted by the Orange County Department of Health based upon development facts and the realty subdivision regulations in effect at that time. A new plan submission may be required to obtain a time extension.

8. THAT the approved plans must be filed with the Orange County Clerk prior to offering lots for sale and within 90 days of the date of plan approval.

August 19, 1998
Date



M.J. Schleifer, P.E.
Assistant Commissioner

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/13/97

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	DESCRIPTION-----	TRANS	---AMT-CHG	-AMT-PAID	---BAL-DUE
/ /		PAID		0.00	
11/12/97	NO FEES DUE FOR THIS PHASE	CHG	0.00		
		TOTAL:	0.00	0.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553

Appl No:97-40

File Date:11/12/97

SEC-BLK-LOT:52-1-30-23

Project Name:BLOOMING GROVE OPERATING CO. - PHASE II AMENDED Type:1

Owner's Name:BLOOMING GROVE OPERATING CO. Phone:(914) 496-0451
Address:P.O. BOX 479 - WASHINGTONVILLE, NY

Applicant's Name:BLOOMING GROVE OPERATING CO. Phone:(914) 496-0451
Address:P.O. BOX 479 - WASHINGTONVILLE, NY

Preparer's Name:ZIMMERMAN ENGINEERING Phone:(914) 782-7976
Address:RT. 17M - HARRIMAN, NY

Proxy/Attny's Name:N/A Phone:
Address:

Notify: Phone:

Location:TOLEMAN ROAD

Acerage	Zoned	Prop-Class	Stage	Status
0.000		0	PH II	0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
11/13/97				

Appl for:FILE NUMBER FOR OVERALL PROJECT IS 91-22: THIS FILE SET UP
FOR TRACKING PHASE II ONLY

PHASE II (AMENDED CONSISTS OF LOT #35

SEE ALSO:

PHASES III = 97-41, IV = 97-42, V = 97-43 (PHASE I = 86-59)

Addl Municipal Services:

Streets:

Water:

Sewer:

Garbage:



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

NEW WINDSOR PLANNING BOARD MEETING
TOWN HALL
WEDNESDAY, DECEMBER 10, 1997 - 7:30 P.M.

TENTATIVE AGENDA

CALL TO ORDER → ROLL CALL → APPROVAL OF MINUTES DATED: 10/8/97 & 10/22/97

ANNUAL MOBILE HOME PARK REVIEW:

- a. SILVER STREAM MOBILE HOME PARK - RT. 207 (CLARK)

PUBLIC HEARING:

- NO SHOW
- PLIM APPROVED
- 1. SHANNON ACRES SUBDIVISION - (97-11) DEAN HILL & MT. AIRY ROADS

POSSIBLE Z.B.A. REFERRALS:

- 2. Mans, Clarence - Vails Gate Annex Amended Site Plan (95-35) (Cuomo)
- 3. Flannery Animal Hospital Site Plan (97-44) Rt. 300 (Shaw)

REGULAR ITEMS:

- APPROVED
- SUBJECT OF HIGHWAY
- MYRA SEND MAP TO HIGHWAY
- 4. Jagger Subdivision (92-5) Union Avenue (Kartiganer)
 - 5. Mobil Oil Site Plan (97-25) Rt. 32 & Rt. 94 (Tyree Engineering)
 - 6. Blooming Grove Operating Subdivision - PHASE II (97-40) Toleman Rd (Zimmerman)
 - 7. Blooming Grove Operating Subdivision - PHASE III (97-41) Toleman Road (Zimmerman)
 - 8. Windsor Crest Amended Site Plan (97-45) Rt. 32 (Shaw)

PRESUBMISSION:

- RETURN
- 9. Destina Theaters Amended Site Plan - Squire Plaza (Kartiganer)

CORRESPONDENCE:

- APPROVED
- 10. C & R ENTERPRISES SUB - REQUEST FOR REAPPROVAL (90-31)

DISCUSSION:

- OK WITH P.B.
- 11. "Mommy & Me" classes at site on corner of Rt. 32 & Union Ave. (Engineer)

ADJOURNMENT

MYRA TO CALL

(NEXT MEETING - JANUARY 14, 1998)

BLOOMING GROVE OPERATING SUBDIVISION - PHASE II (97-40)
TOLEMAN ROAD

Mr. Gerald Zimmerman appeared before the board for this proposal.

MR. ZIMMERMAN: The plan that I have on the board shows actually the entire subdivision which received conditional final approval in June of this year. At that time when we approached the board, we indicated to you that we wanted to phase the project and phase the approvals towards that end, what we did was divide the property into sections that I am showing on this sheet, Section Two Phase 2 revised is lot number 35 which is what I have highlighted in green on the overall plan and that is one of the subdivision plans that you have before you. In fact, that is the subdivision plan that you have before you that we're looking for the final approval. If you want, I will just deal with that one first.

MR. EDSALL: Yes.

MR. PETRO: Let me see what we're--give us a quick overlay just exactly what you're doing here.

MR. ZIMMERMAN: What we're doing is we're looking to get a subdivision approval of Phase 2 of the overall subdivision. Phase 2 consists of lot number 35 and the plan that you have before you which was approved by the Orange County Health Department is exactly that, it shows lot 35 and the remaining land everything else.

MR. PETRO: Phase 2 is one lot?

MR. ZIMMERMAN: Yes.

MR. PETRO: That is the one we're going to do first subdivision one lot?

MR. ZIMMERMAN: Correct.

MR. STENT: Subdividing one lot off.

MR. BABCOCK: It's actually already subdivided and approved, he's just phasing it out.

MR. EDSALL: Yeah.

MR. LANDER: All I have here is Phase 3.

MR. ZIMMERMAN: There's another set.

MR. LUCAS: Final approval on number 2.

MR. ZIMMERMAN: Yes, actually see if you, it would be better if you had the second section plan you should have that.

MR. PETRO: We can work off yours, just point it out to us.

MR. ZIMMERMAN: This is what I show as Phase 1 over here, this is out of the property completely so that is what's left on the property is everything else, everything else is the remaining end of this property which as I said initially we received conditional final approval from the board for 34 lots, all of the lots that you see on this plan or 35 lots, I'm sorry, we received conditional final, so what the applicant chose to do was to section the balance of this property so that we can get approvals in phases and he can build it you know and sell lots accordingly. So what we proposed back in June was this layout or breakup of the property where lot number 35 since it has its frontage on Toleman Road does not rely in any way upon the roadway in the subdivision, we said let's make this one lot and call it Phase 2 and so this is a single lot and everything else that you see on here is the remaining land and property. So actually, what we'd like tonight is an approval of lot number Phase 2 which would be the single lot and remaining land.

MR. LANDER: How many acres is involved in Phase 2?

MR. ZIMMERMAN: The Phase 2 total acreage?

MR. ARGENIO: 17.

MR. ZIMMERMAN: You're talking about the whole Phase 2 just the one lot?

MR. LANDER: Just the one lot.

MR. ZIMMERMAN: Just the one lot is 17 acres.

MR. LUCAS: 17.3 acres.

MR. PETRO: Mark, I have a whole pile of notes here from Myra, collect rec fees, approval fees on each phase, check escrow each phase, Phase 1 three lots, two buildings, anything to do with us? We don't have to concern ourselves with the fees.

MR. EDSALL: I wouldn't worry about that, something that Myra and I and Mike are going to be keeping a close control on. This is probably going to be the easiest phase of this project because it involves one lot.

MR. PETRO: We need to do a final. Do we need to go through the entire process lead agency?

MR. EDSALL: Everything else is done, all you need to do is give the phase and because this has no public improvements, no inspections of any public improvements, there are no bonding requirements that have to be evaluated.

MR. PETRO: Entertain a motion that Phase 2 is okay with the planning board.

MR. LANDER: So moved.

MR. LUCAS: Second it.

MR. KRIEGER: Final.

MR. PETRO: Final approval for phase, the motion has been made and seconded that the New Windsor Planning Board grant final approval for the Blooming Grove Operating Subdivision Phase 2 on Toleman Road. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. STENT	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF New Windsor P/B # 97-40

WORK SESSION DATE: 3 DEC 1997 APPLICANT RESUB. REQUIRED: Plans in

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Blooming Grove Oper. Co. Phase II

PROJECT STATUS: NEW OLD

REPRESENTATIVE PRESENT: Geny Z

MUNIC REPS PRESENT:

BLDG INSP.	<input type="checkbox"/>
FIRE INSP.	<input checked="" type="checkbox"/>
ENGINEER	<input checked="" type="checkbox"/>
PLANNER	<input type="checkbox"/>
P/B CHMN.	<input type="checkbox"/>
OTHER (Specify)	<input type="checkbox"/>

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Phase 2 revised (split off from 91-22)

Lot 35 of overall

* A Cond 12/10/97 agenda
for Cond. Final.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office**
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

REVIEW NAME: BLOOMING GROVE OPERATING MAJOR SUBDIVISION (PHASE II)

PROJECT LOCATION: TOLEMAN ROAD
SECTION 52-BLOCK 1-LOT 30.23

PROJECT NUMBER: 97-40 (FORMERLY 91-22)

DATE: 10 DECEMBER 1997

DESCRIPTION: THIS APPLICATION INVOLVES PHASE II OF THE OVERALL MAJOR SUBDIVISION. THIS PHASE IS ONE (1) LOT OF THE TOTAL THIRTY FIVE (35) LOTS FOR THE OVERALL SUBDIVISION.

1. The overall subdivision received preliminary approval and will return to the Planning Board for final approval on a phased basis. This phase involves a single lot, Lot 35, which has direct frontage on Toleman Road. No public improvements are involved in this phase.

This application has been reviewed by the Orange County Department of Health and I have received a copy of a Certificate of Approval.

At this time I am aware of no outstanding issues or concerns with regard to Phase II. As such, I believe the Planning Board can consider final approval for this phase.

Respectfully submitted,

Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:BLOOII.mk

SUBDIVISION FEES - TOWN OF NEW WINDSOR

MAJOR SUBDIVISION FEES:

APPLICATION FEE.....\$ 100.00

ESCROW:

RESIDENTIAL:

___ LOTS @ 150.00 (FIRST 4 LOTS).....\$ _____
___ LOTS @ 75.00 (ANY OVER 4 LOTS).....\$ _____

COMMERCIAL:

___ LOTS @ 400.00 (FIRST 4 LOTS).....\$ _____
___ LOTS @ 200.00 (ANY OVER 4 LOTS).....\$ _____

TOTAL ESCROW DUE....\$ _____

* * * * *

APPROVAL FEES MAJOR SUBDIVISION:

PRE-PRELIMINARY PLAT APPROVAL.....\$ 100.00 *over*
PRELIMINARY PLAT APPROVAL (150.00 OR 15.00/LOT).....\$ 150.00
FINAL PLAT APPROVAL (\$100.00 + \$5.00/LOT).....\$ 105.00
FINAL PLAT SECTION FEE.....\$ 100.00
BULK LAND TRANSFER...~~(\$100.00)~~.....\$ _____

TOTAL SUBDIVISION APPROVAL FEES.....\$ 455.00

* * * * *

RECREATION FEES:

1 LOTS @ \$ 500.00 PER LOT.....\$ 500.00

* * * * *

THE FOLLOWING CHARGES ARE TO BE DEDUCTED FROM ESCROW:

PLANNING BOARD ENGINEER FEES.....\$ _____
PLANNING BOARD ATTORNEY FEES.....\$ _____
MINUTES OF MEETINGS.....\$ _____
OTHER.....\$ _____

* * * * *

PERFORMANCE BOND AMOUNT.....\$ _____

4% OF ABOVE AMOUNT.....\$ _____

ESTIMATE OF PRIVATE IMPROVEMENTS: \$ _____

2% OF APPROVED COST ESTIMATE\$ _____

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/18/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	DESCRIPTION-----	TRANS	---AMT-CHG	-AMT-PAID	---BAL-DUE
02/18/98	APPROVAL FEE	CHG	455.00		
03/18/98	REC. CK. #8256	PAID		455.00	
		TOTAL:	455.00	455.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 03/18/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	DESCRIPTION-----	TRANS	---AMT---CHG	-AMT-PAID	---BAL---DUE
02/18/98	1 LOT @ 500.00	CHG	500.00		
03/18/98	REC. CK. #8255	PAID		500.00	
		TOTAL:	500.00	500.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
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PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	---BAL-DUE
02/18/98	1 LOT @ 500.00	CHG	500.00		
03/18/98	REC. CK. #8255	PAID		500.00	
		TOTAL:	500.00	500.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: PH II

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 97-40

NAME: BLOOMING GROVE OPERATING CO. - PHASE II AMENDED
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	MEETING-PURPOSE-----	ACTION-TAKEN-----
02/19/98	PLANS STAMPED	APPROVED
12/10/97	P.B. APPEARANCE	APPROVED PHASE II
11/12/97	MEETING HELD AT TOWN HALL	SEPARATE FILES
	. AS OF P.B. MEETING OF 11/12/97 - SET UP SEPARATE FILES FOR	
	. EACH PHASE OF 91-22	

ZONING DATA

DISTRICT: R-1
 MINIMUM LOT AREA (NET): 43,560 S.F.
 MINIMUM LOT WIDTH: 125 FT.
 MINIMUM FRONT YARD: 45 FT.
 MINIMUM SIDE YARD (ONE/BOTH): 20 FT./ 40 FT.
 MINIMUM REAR YARD: 50 FT.
 MINIMUM STREET FRONTAGE: 70 FT.
 MAXIMUM DEVELOPMENT COVERAGE: 10 %
 MAXIMUM BUILDING HEIGHT: 35 FT. / 2.5 STORIES
 MINIMUM LIVABLE FLOOR AREA: 1,200 S.F.
 REFER TO SHEET 5 FOR "ZONING DATA TABLE REQUIREMENTS & PROVISIONS"

TAX MAP NUMBER

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
 SECTION: 52
 BLOCK: 1
 LOT: 30.23

DEED

1) LIBER: 2856, PAGE: 30
 2) LIBER: 2909, PAGE: 227

TOTAL TRACT AREA

PHASE	II
NUMBER OF LOTS	7
AREA IN PHASE	75,234 SQ. FT.

RECORD OWNER & SUBDIVIDER

BLOOMING GROVE OPERATING COMPANY
 P.O. BOX 188
 WASHINGTONVILLE, NEW YORK 10992

MAP REFERENCE

LOT NO. 3 (REMAINING LANDS) ON A MAP KNOWN AS "PHASE I SUBDIVISION FOR BLOOMING GROVE OPERATING CO." TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK FILED IN THE ORANGE COUNTY CLERK'S OFFICE AS MAP NO. 8202, FILE DATE OF APRIL 6, 1987.

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UTILITY & GRADING	SHEET 6
ROADWAY PROFILES	SHEET 7
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NOTES

- 1) TOPOGRAPHY IS BASED ON U.S.G.S. DATUM AND AERIAL PHOTOGRAPHY BY SKYTEK AERIAL SERVICES.
- 2) LOTS WITHIN THIS SUBDIVISION ARE TO BE SERVICED BY PRIVATELY OWNED INDIVIDUAL WELLS AND SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 3) TOTAL NUMBER OF LOTS = 2
- 4) THERE SHALL BE NO FURTHER SUBDIVISION OF THE LOTS SHOWN WITHOUT THE REVIEW AND APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 5) THE SUBDIVIDER HAS IRREVOCABLY OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR THE LAND AREAS NOTED AS RIGHT OF WAYS AND IS ALSO OFFERING PERMINANT EASEMENTS OVER LAND AREAS NOTED AS DRAINAGE EASEMENTS.
- 6) THE DEVELOPER IS OFFERING A TEMPORARY EASEMENT FOR ROADWAY CONSTRUCTION PURPOSES. THIS TEMPORARY EASEMENT WILL EXPIRE UPON THE COMPLETION OF ROADWAY CONSTRUCTION. THE PURPOSE OF THIS EASEMENT IS TO ALLOW FOR THE GRADING OF THE ROADWAY EMBANKMENTS BEYOND THE LIMITS OF THE PERMINANT RIGHT OF WAY. THE WIDTH OF THIS EASEMENT SHALL VARY AS REQUIRED TO ALLOW FOR PROPER GRADING OF ROADWAY EMBANKMENTS AS SHOWN IN THIS SET OF PLANS.
- 6) ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET OF THIS PROJECT HAVE BEEN LOCATED AND ARE SHOWN ON THIS SET OF PLANS.



SUBDIVISION FOR BLOOMING GROVE OPERATING COMPANY PHASE II

SUB DIVISION APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON **FEB 19 1998** BY *Edward Stent* EDWARD STENT, SECRETARY

THIS SHEET 1 OF 8 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 7 SHEETS OF THIS 8 SHEET SET.

REVISED PHASE II

TOWN APPROVAL BOX - FILE NO. 97-40

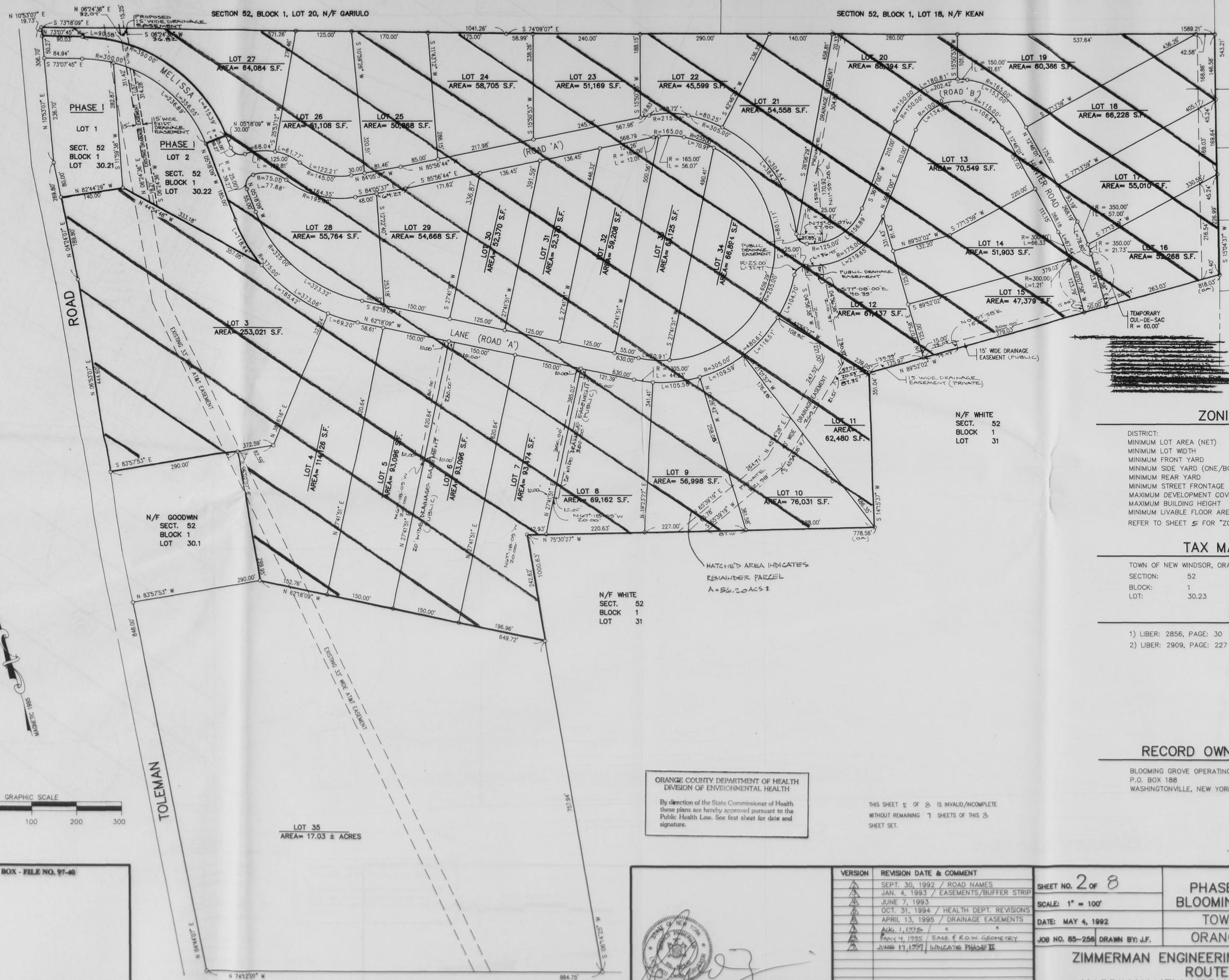
8/20/97
 ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 This is to certify that the proposed arrangements for water supply and sewage disposal for this realty subdivision in accordance with plans on file in the office of the County Department of Health are hereby approved. Consent is hereby given to the filing of this map on which this endorsement appears in the office of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.
 ASSISTANT COMMISSIONER
[Signature]

I HEREBY CERTIFY THAT THIS MAP SHOWS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED ON FEBRUARY 16, 1996.
 STATE OF NEW YORK
 COUNTY OF ORANGE
 REALTY PROFESSIONAL BOARD
 GERALD W. ZIMMERMAN
 P.L.C. NO. 7391
 P.L.S. NO. ND. 49410

VERSION	REVISION DATE & COMMENT
1	AUG 19, 1992 / PROPOSED GRADING + SOIL TEST DATA
2	SEPT. 30, 1992 / DRAINAGE + EROSION CONTROL
3	JAN. 4, 1993 / DRAINAGE + BUFFER STRIP + STORM
4	JUNE 7, 1993
5	OCT. 31, 1994 / HEALTH DEPT. REVISIONS
6	JUNE 17, 1997 (INDICATE PHASE II)

SHEET NO. **1** OF **8**
 SCALE: 1" = 500'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: M.M.M.

VICINITY MAP & NOTES
 PHASE II OF SUBDIVISION FOR BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK
ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976



N/F HIERONYMI SECT. 57 BLOCK 1 LOT 94
N/F KINSLEY SECT. 57 BLOCK 1 LOT 93
N/F BRADLEY SECT. 57 BLOCK 1 LOT 92
N/F STACH SECT. 57 BLOCK 1 LOT 91
N/F STACH SECT. 57 BLOCK 1 LOT 90

ZONING DATA

DISTRICT:	R-1
MINIMUM LOT AREA (NET)	43,560 S.F.
MINIMUM LOT WIDTH	125 FT.
MINIMUM FRONT YARD	45 FT.
MINIMUM SIDE YARD (ONE/BOTH)	20 FT./ 40 FT.
MINIMUM REAR YARD	50 FT.
MINIMUM STREET FRONTAGE	70 FT.
MAXIMUM DEVELOPMENT COVERAGE	10 %
MAXIMUM BUILDING HEIGHT	35 FT. / 2.5 STORIES
MINIMUM LIVABLE FLOOR AREA	1,200 S.F.

REFER TO SHEET 5 FOR "ZONING DATA TABLE REQUIREMENTS & PROVISIONS"

TAX MAP NUMBER

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
SECTION: 52
BLOCK: 1
LOT: 30.23

DEED

- 1) LIBER: 2856, PAGE: 30
- 2) LIBER: 2909, PAGE: 227

RECORD OWNER & SUBDIVIDER

BLOOMING GROVE OPERATING COMPANY
 P.O. BOX 188
 WASHINGTONVILLE, NEW YORK 10992

SUB DIVISION APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON FEB 19 1998
 BY *[Signature]* SECRETARY

REVISED PHASE II

PLAT
 PHASE II OF SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926
 PHONE: (914) 782-7976

N/F WHITE
 SECT. 52
 BLOCK 1
 LOT 31

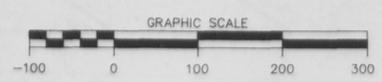
N/F WHITE
 SECT. 52
 BLOCK 1
 LOT 31

HATCHED AREA INDICATES
 REMAINDER PARCEL
 A=56.20 ACRES

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH

By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

THIS SHEET 2 OF 8 IS INVALID/INCOMPLETE WITHOUT REMAINING 7 SHEETS OF THIS 8 SHEET SET.



TOWN APPROVAL BOX - FILE NO. 97-40

GERALD ZIMMERMAN P.L.S. LIC. NO. 49410

VERSION	REVISION DATE & COMMENT
1	SEPT. 30, 1992 / ROAD NAMES
2	JAN. 4, 1993 / EASEMENTS/BUFFER STRIP
3	JUNE 7, 1993
4	OCT. 31, 1994 / HEALTH DEPT. REVISIONS
5	APRIL 13, 1995 / DRAINAGE EASEMENTS
6	AUG. 1, 1995
7	MAY 4, 1995 / EASE & R.O.W. GEOMETRY
8	JUNE 17, 1997 / INDICATE PHASE II

SHEET NO. 2 OF 8
 SCALE: 1" = 100'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: J.F.



SUB DIVISION
 APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON **FEB 19 1998**
 BY *[Signature]*
 EDWARD STEIN,
 SECRETARY

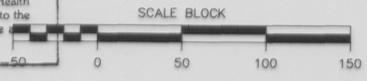
TOLEMAN ROAD

ROAD

LEGEND

- PROP HOUSE
- PROP DRIVEWAY 4-10
- PROP WELL
- PROP SEPTIC AREA
- SOIL TEST LOCATION
- EXIST. 2' CONTOUR
- EXIST. 10' CONTOUR
- MD-27 WETLAND BOUNDARY
- PROP CATCH BASIN
- PROP STORE DRAIN MANHOLE

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 By direction of the State Commissioner of Health
 these plans are hereby approved pursuant to the
 Public Health Law. See first sheet for date of
 signature.



GERALD ZIMMERMAN P.E. LIC. NO. 47391

VERSION	REVISION DATE & COMMENT
1	AUG. 19, 1992 / PROPOSED GRADING
2	SEPT. 30, 1992 / ADDITIONAL DRAINAGE
3	JAN. 9, 1993 / STUMP BURIAL AREA
4	JUNE 7, 1993
5	OCT. 31, 1994 / HEALTH DEPT REVISIONS AY
6	NOV. 21, 1994 / DRIVEWAY CONTOURS AN
7	JUN. 18, 1996 / HEALTH DEPT
8	AUG. 1, 1997
9	JUNE 17, 1997 / INDICATE PHASE II

THIS SHEET 2 OF 8 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 7 SHEETS OF THIS 8 SHEET SET.

REVISED PHASE II
**UTILITY & GRADING
 PHASE II OF SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.**
 TOWN OF NEW WINDSOR
 ORANGE COUNTY, NEW YORK

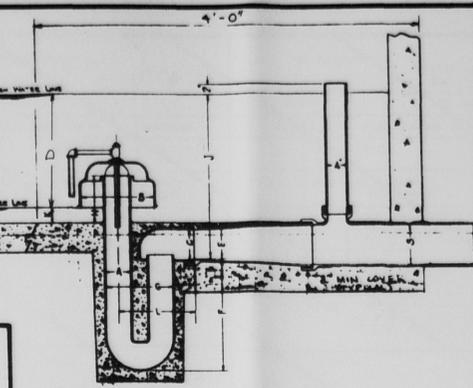
SHEET NO. **3** OF **8**
 SCALE: 1" = 50'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: J.F.

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976

TOWN APPROVAL BOX - FILE NO. 97-40

35

Drumming Depth	A	3	4
Diameter of Discharge Head	D	13	14
Diameter of Bell	B	10	12
Insert Below Floor	E	48	58
Depth of Trap	F	13	14
Depth of Trap	G	8-3/8	11
Height Above Floor	H	7 1/2	11-3/4
Insert to Discharge Pipe	I	20	28 1/2
Bottom of Bell to Floor	J	3	3
Center of Trap to End of Discharge Bell	K	12 1/2	14 1/2
Diameter of Carrier	L	4	4-6
Average Discharge Rate G.P.M.	M	72	108
Maximum Discharge Rate G.P.M.	N	96	227
Minimum Discharge Rate G.P.M.	O	48	102



SIPHON NOTES

- 1) USE 3" DIA SIPHON AS MANUFACTURED BY ENVIREX.
- 2) SET SIPHON TRAP PLUMB TO ELEVATION "H" SHOWN.
- 3) SET SIPHON AS SHOWN AND CAST IN PLACE WITH CONCRETE (4,000 PSI @ 28 DAYS).

SIPHON DETAIL N.T.S.

SPECIFICATIONS

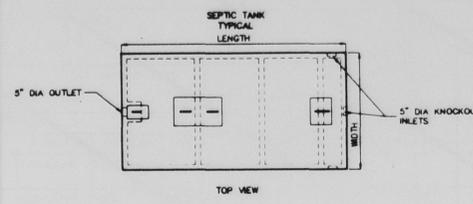
- Concrete Minimum Strength - 5,000 PSI @ 28 Days
- Steel Reinforcement - ASTM A-615-75, Grade 60, 1" Min. Cover
- Design Loading - Standard Units - AASHTO H10.44
- Optional Units - AASHTO HS20.44
- Construction Joint - Sealed with 1" Dia. Butyl Rubber or equivalent
- Siphon - Set to dim. "C" and encased in concrete by others on site

SIPHON	GALLONS	DRAW	A	B	C	D	E
3"	290	13"	29"	19"	7 1/2"	15"	22"
4"	380	17"	33"	23"	11 3/4"	18"	28"

- SIPHON CHAMBER NOTES**
- 1) USE PRECAST SIPHON CHAMBER AS MANUFACTURED BY ROTONDO (SONS, INC)
 - 2) BOTTOM OF SIPHON CHAMBER SHALL REST ON A LEVEL 3" MIN BED OF COMPACTED SAND OR PEA GRAVEL.
 - 3) THE TOP OF THE SIPHON CHAMBER SHALL BE NO MORE THAN 12" BELOW FINISHED GRADE.
 - 4) SEE SHEET 5 FOR CHAMBER AND SIPHON SPECIFICATIONS.

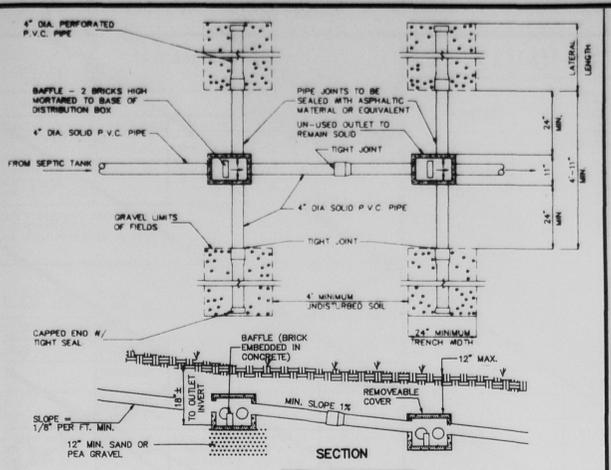
DIMENSION CHART

MODEL	LB 1000	LB 1250	ST 1500	ST 2000
CAPACITY	1,000 GAL	1,250 GAL	1,500 GAL	2,000 GAL
LENGTH	10'-0"	10'-8"	10'-8"	12'-0"
WIDTH	5'-0"	5'-8"	5'-8"	6'-0"
HEIGHT	4'-8"	4'-7"	5'-4"	5'-7"
LIQUID LEVEL	3'-8"	3'-5"	4'-0"	4'-0"
INLET HEIGHT	47"	47"	66"	55"
A	7'x13"	7'x13"	5'x8"	5' x 5"
B	3'-2"	3'-2"	3'-1"	3'-1"
D	12'x18"	8'x12"	8'x12"	8' x 18"
E	20'x27"	20'x27"	20'x27"	20' x 34"
F	13'x17"	12'x18"	12'x18"	12' x 16"
G	15"	16"	20"	13"
H	12"	13"	13"	12"



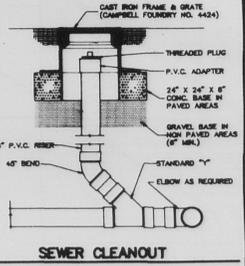
SEPTIC TANK DETAIL

- SEPTIC TANK NOTES:**
- 1) USE SEPTIC TANKS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. OR AN APPROVED EQUAL.
 - 2) MINIMUM CONCRETE STRENGTH - 4,000 PSI AT 28 DAYS.
 - 3) STEEL REINFORCEMENT - 6" X 6" X 10 GA WELDED WIRE MESH.
 - 4) CONSTRUCTION JOINT SEALED WITH BUTYL RUBBER BASED CEMENT.
 - 5) PIPE CONNECTION - "POLY-LOC" SEAL (PATENT PENDING).
 - 6) BOTTOM OF SEPTIC TANK SHALL REST UPON A LEVEL 3" THICK MIN. BED OF COMPACTED SAND OR PEA GRAVEL.
 - 7) TOP OF SEPTIC TANK SHALL BE 12" MAX. BELOW FINISHED GRADE.

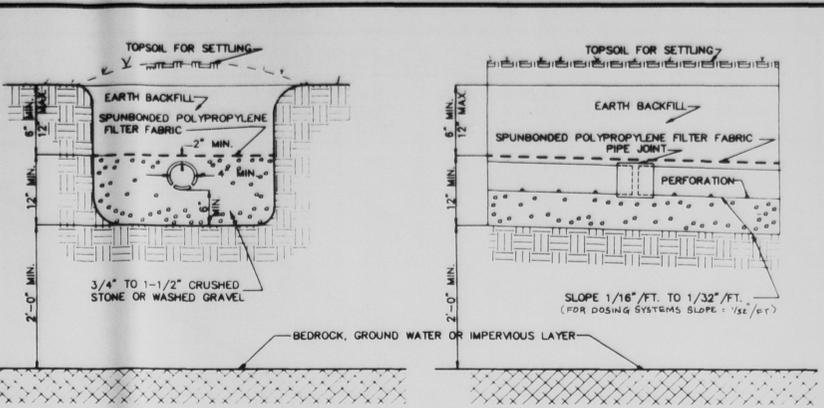


DROP BOX DETAIL

- DROP BOX NOTES:**
- 1) MAXIMUM LENGTH OF LATERAL = 60'
 - 2) USE DISTRIBUTION BOX MODEL DB-60B MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. OR AN APPROVED EQUAL
 - 3) LATERAL LENGTHS CALLED FOR IN THE SEPTIC DESIGN DATA TABLE REFER TO THE NET LENGTH OF PERFORATED PIPE AND SPECIFICALLY EXCLUDE THE DISTANCE OCCUPIED BY THE DROP BOX (11") AND SOLID PIPES (24" MIN. EACH)



SEWER CLEANOUT



ABSORPTION TRENCH DETAIL

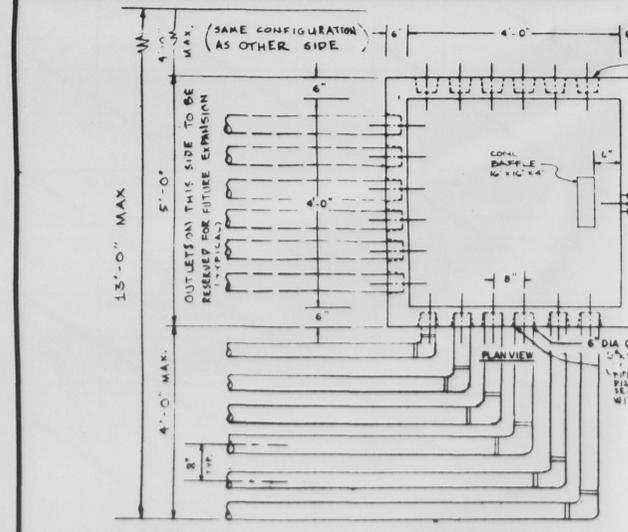
- ABSORPTION TRENCH NOTES:**
- 1) DO NOT INSTALL TRENCHES IN WET SOIL.
 - 2) RAKE SIDES AND BOTTOM OF TRENCHES PRIOR TO PLACING GRAVEL.
 - 3) THE ENDS OF ALL DISTRIBUTION PIPES ARE TO BE PLUGGED.
 - 4) MAXIMUM LENGTH OF LATERALS = 60'
 - 5) HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELD EXCEPT DURING ACTUAL CONSTRUCTION OF THE FIELD THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT BEFORE, DURING, OR AFTER CONSTRUCTION.

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

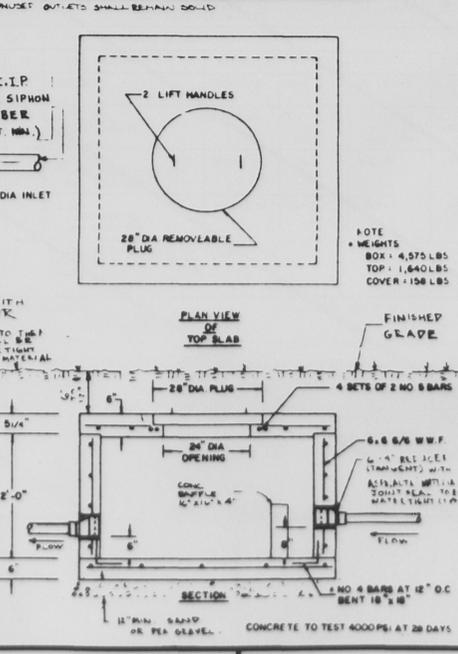
By direction of the State Commissioner of Health
these plans are hereby approved pursuant to the
Public Health Law, see the abstract for date and
signature.

SUB DIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON FEB 19 1998
BY EDWARD STENT,
SECRETARY

PRECAST SIPHON CHAMBER, SC 6 X 6 290 GAL. CAP.



DISTRIBUTION BOX DETAIL N.T.S.



- DISTRIBUTION BOX NOTES:**
- 1) USE DISTRIBUTION BOX (14 WAY / 18 WAY) AS MANUFACTURED BY PRECAST CONCRETE SALES CO. FUTURE EXPANSION CONNECTIONS TO BE SEALED WITH CEMENT MORTAR
 - 2) BOTTOM OF DISTRIBUTION BOX SHALL REST UPON A LEVEL 18" THICK MIN. BED OF COMPACTED SAND OR PEA GRAVEL.
 - 3) TOP OF DISTRIBUTION BOX SHALL BE A MAXIMUM OF 12" BELOW FINISHED GRADE.
 - 4) DISTRIBUTION PIPES & FITTINGS SHALL BE 4" DIA SOLID WALL P.V.C. PIPE
 - 5) THE SLOPE OF ALL DISTRIBUTION PIPES SHALL BE CAREFULLY LAID AT IDENTICAL SLOPES. IT IS RECOMMENDED VISIBLE MANHOLES TO BE PLACED AT THE DISTRIBUTION PIPES AT THE SOURCE & SLOPE AND THE DISTRIBUTOR PIPES AND MUST BE THE SAME WHERE THE PIPES ENTER THE DISTRIBUTOR PIPE TO LEAD THERE TO

SEPTIC SYSTEM DESIGN DATA TABLE

LOT NO.	PERCOLATION RATES (MINUTES/INCH)		DESIGN RATE (MIN./IN.)	NUMBER OF BEDROOMS MAXIMUM	SEPTIC TANK SIZE (GAL.)	REQUIRED FIELD SIZE (L.F.) (1)	DESIGN PROVIDED # LINES X LENGTH=L.F. CDR=CURTAIN DRAIN REQ'D DOSE=DOSING SYSTEM REQ'D
	A	B					
DEVELOPED DURING PHASE I							
1	12	18	14-20	5	1,500	522	12 @ 43.5 = 522 DOSE
2	10	21	21-30	4	1,250	500	10 @ 50 = 500
3	12	18	16-20	4	1,250	429	6 @ 71.5 = 429 CDR DOSE
4	14	16	21-30	4	1,250	500	6 @ 83.3 = 500 CDR DOSE
5	10	21	16-20	4	1,250	429	12 @ 40.5 = 486 CDR DOSE
6	12	18	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
7	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
8	12	18	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
9	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
10	12	18	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
11	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
12	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
13	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
14	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
15	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
16	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
17	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE
18	10	21	16-20	4	1,250	429	12 @ 35.7 = 428 CDR DOSE

SEPTIC SYSTEM DESIGN DATA TABLE

LOT NO.	PERCOLATION RATES (MINUTES/INCH)		DESIGN RATE (MIN./IN.)	NUMBER OF BEDROOMS MAXIMUM	SEPTIC TANK SIZE (GAL.)	REQUIRED FIELD SIZE (L.F.) (1)	DESIGN PROVIDED # LINES X LENGTH=L.F. CDR=CURTAIN DRAIN REQ'D DOSE=DOSING SYSTEM REQ'D
	A	B					
19	6	18	16-20	4	1,250	429	11 @ 40 = 440 CDR DOSE
20	36	48	16-20	3	1,000	522	8 @ 74 = 592 CDR DOSE
21	55	43	16-20	3	1,000	522	10 @ 59 = 590 CDR DOSE
22	34	22	16-20	3	1,000	470	12 @ 39 = 468 CDR DOSE
23	36	23	16-20	3	1,000	522	10 @ 59 = 590 DOSE
24	34	24	16-20	3	1,000	470	11 @ 48.5 = 533 DOSE
25	25	25	16-20	3	1,000	392	12 @ 37 = 444 CDR DOSE
26	28	26	16-20	3	1,000	392	12 @ 37 = 444 CDR DOSE
27	31	27	16-20	3	1,000	470	9 @ 51 = 531 DOSE
28	30	28	16-20	4	1,250	500	8 @ 71 = 568 DOSE
29	36	29	16-20	4	1,250	600	11 @ 55 = 605 CDR DOSE
30	15	15	16-20	5	1,500	473	7 @ 77 = 539 DOSE
31	41	31	16-20	4	1,250	667	12 @ 63 = 756 CDR DOSE
32	42	40	16-20	5	1,500	730	11 @ 73.5 = 808 DOSE
33	42	41	16-20	4	1,250	667	11 @ 69 = 759 CDR DOSE
34	46	33	16-20	4	1,250	667	14 @ 54 = 756 DOSE
35	21	18	16-20	6	2,000	717	10 @ 75 = 750 DOSE

(1) THE REQUIRED FIELD SIZE IS BASED ON A FLOW RATE OF 150 GPD PER BEDROOM PLUS 80 GPD FOR WATER SOFTENING. NEW STANDARD RUNNING FILTERS ARE TO BE INSTALLED AT 150 GPD PER BEDROOM. 25 GPD PER BEDROOM FILTERS AND SHOWER HEADS.

(2) PERCOLATION SOIL TESTS A & B PERFORMED OCT. 1991 & WITNESSED BY THE O.C.H.D. MAR 1995. REVISED PHASE II

TOWN APPROVAL BOX - FILE NO. 97-40

VERSION REVISION DATE & COMMENT
 JUN 7, 1993
 OCT 31, 1994 / HEALTH DEPT. REVISIONS
 APRIL 15, 1995 HEALTH DEPT.
 JUN 15, 1995 HEALTH DEPT.
 AUG. 1, 1995
 JUNE 17, 1997 (INDICATE PHASE II)

SHEET NO. 4 OF 8
 SCALE: AS NOTED
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: M.M.M.

SANITARY FACILITIES
 DETAIL SHEET FOR SUBD. FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK

GERALD ZIMMERMAN P.E. LIC. NO. 47391

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926
 PHONE: (914) 782-7976

JOB No. 85256 TEST DATE: 10-23-91 LOT # 23						JOB No. 85256 TEST DATE: 10-23-91 LOT # 28						JOB No. 85256 TEST DATE: 10-23-91 LOT # 34						
SOIL TEST PIT LOG SOIL TEST PIT No. 23						SOIL TEST PIT LOG SOIL TEST PIT No. 28						SOIL TEST PIT LOG SOIL TEST PIT No. 34						
DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	
0' 1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0' 10'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0' 6'	TOPSOIL	GRANULAR	NONE	DK BROWN	MOIST	
1' 3'	SILT LOAM WITH GRAVEL	LOOSE GRANULAR	NONE	BROWN	SLIGHTLY MOIST	10' 2'-6'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6' 8'	SILT LOAM WITH GRAVEL & COBBLES WITH POCKETS OF CLAY LOAM	GRANULAR	FEW	BROWN	MOIST	
3' 7'	SILT LOAM WITH GRAVEL COBBLES BOULDERS AND POCKETS OF CLAY LOAM	BLOCKY HARD	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	2'-6' 6'	SILT LOAM WITH GRAVEL COBBLES AND POCKETS OF CLAY LOAM	HARD GRANULAR	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES
7' 9'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'	LOAM WITH GRAVEL COBBLES & BOULDERS	GRANULAR	NONE	BROWN	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES

ZONING DATA TABLE REQUIREMENTS & PROVISIONS

LOT NUMBER	GROSS AREA (S.F.)	EASEMENT AREA (S.F.)	NET AREA (S.F.)	LOT WIDTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	STREET FRONTAGE	LOT NUMBER
MINIMUM REQUIREMENTS			43,560	125'	45'	20'	40'	50'	70'	MINIMUM REQUIREMENTS
3	253,000	105,000	148,000	290'	50'	30'	230'	150'	180'/640'	3
4	112,000	63,000	49,000	125'	50'	30'	70'	530'	130'	4
5	96,000	44,000	52,000	150'	60'	35'	95'	520'	150'	5
6	96,000	40,000	56,000	150'	60'	40'	90'	520'	150'	6
7	92,000	36,000	56,000	150'	60'	40'	90'	300'	150'	7
8	68,500	25,000	66,000	130'	60'	50'	115'	250'	165'	8
9	57,000	8,000	49,000	125'	55'	25'	85'	240'	110'	9
10	73,000	8,400	64,600	125'	55'	25'	70'	270'	110'	10
11	60,300	7,500	53,000	135'	55'	25'	75'	160'	115'	11
12	61,500	7,500	54,000	250'	60'	25'	175'	170'	340'	12
13	73,000		73,000	260'	65'	65'	140'	125'	600'	13
14	51,000		51,000	165'	80'	20'	90'	250'	180'	14
15	47,000	3,000	44,000	125'	75'	20'	85'	260'	120'	15
16	51,000	3,000	48,000	155'	110'	40'	110'	130'	140'	16
17	55,000		55,000	150'	110'	30'	85'	190'	150'	17
18	66,500		66,500	150'	55'	20'	110'	280'	150'	18
19	63,000		63,000	240'	65'	50'	110'	60'	200'	19
20	58,000	14,000	72,000	550'	50'	110'	230'	50'	600'	20
21	52,000	8,400	43,600	280'	125'	40'	100'	85'	310'	21
22	46,000		46,000	210'	70'	20'	160'	80'	190'	22
23	52,000		52,000	240'	110'	50'	180'	65'	240'	23
24	58,000		58,000	215'	140'	30'	160'	90'	215'	24
25	50,000		50,000	165'	200'	25'	105'	60'	165'	25
26	50,000		50,000	200'	190'	40'	100'	50'	220'	26
27	65,000		65,000	150'	90'	20'	155'	60'	610'	27
28	55,500		55,500	250'	100'	40'	150'	50'	740'	28
29	55,000		55,000	225'	50'	40'	130'	180'	240'/150'	29
30	44,500		44,500	125'	50'	25'	55'	260'	135'/120'	30
31	51,000		51,000	125'	120'	25'	60'	240'	135'/120'	31
32	57,000		57,000	125'	140'	25'	60'	270'	135'/120'	32
33	61,500		61,500	125'	145'	20'	55'	320'	135'/120'	33
34	68,000		68,000	150'	50'	20'	50'	50'	670'	34
35	17.11 AC.	13.55 AC.	155,000	860'	740'	100'	680'	90'	860'	35

NOTES: 1) THE DIMENSIONS SHOWN IN THE ABOVE TABLE ARE APPROXIMATE. IN ALL CASES THE HOUSE LOCATIONS & BUILDING SETBACK REQUIREMENTS ARE TO BE VERIFIED ON THE PLOT PLANS FOR EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2) THE DIMENSIONS SHOWN IN THE ABOVE TABLE ARE SHOWN TO ILLUSTRATE EACH LOT'S CONFORMANCE WITH THE BULK ZONING REGULATIONS.

Siphon Chamber Specifications

Dimensions of 3,000 psi Shell to be Constructed inside Siphon Chamber

Lot	Field Size (LF)	Chamber Selection	Siphon Selection	Required Volume Reduction (CF)	Height (ft)	Width (ft)
3	290	SC 4x6	3"	0.0	0.0	1.5
4	125	SC 4x6	3"	0.0	0.0	1.5
5	150	SC 4x6	3"	0.0	0.0	1.5
6	150	SC 4x6	3"	0.0	0.0	1.5
7	150	SC 4x6	3"	0.0	0.0	1.5
8	130	SC 4x6	3"	0.0	0.0	1.5
9	125	SC 4x6	3"	0.0	0.0	1.5
10	125	SC 4x6	3"	0.0	0.0	1.5
11	135	SC 4x6	3"	0.0	0.0	1.5
12	250	SC 4x6	3"	0.0	0.0	1.5
13	260	SC 4x6	3"	0.0	0.0	1.5
14	165	SC 4x6	3"	0.0	0.0	1.5
15	125	SC 4x6	3"	0.0	0.0	1.5
16	155	SC 4x6	3"	0.0	0.0	1.5
17	150	SC 4x6	3"	0.0	0.0	1.5
18	150	SC 4x6	3"	0.0	0.0	1.5
19	240	SC 4x6	3"	0.0	0.0	1.5
20	550	SC 4x6	3"	0.0	0.0	1.5
21	280	SC 4x6	3"	0.0	0.0	1.5
22	210	SC 4x6	3"	0.0	0.0	1.5
23	240	SC 4x6	3"	0.0	0.0	1.5
24	215	SC 4x6	3"	0.0	0.0	1.5
25	165	SC 4x6	3"	0.0	0.0	1.5
26	200	SC 4x6	3"	0.0	0.0	1.5
27	150	SC 4x6	3"	0.0	0.0	1.5
28	250	SC 4x6	3"	0.0	0.0	1.5
29	225	SC 4x6	3"	0.0	0.0	1.5
30	125	SC 4x6	3"	0.0	0.0	1.5
31	125	SC 4x6	3"	0.0	0.0	1.5
32	125	SC 4x6	3"	0.0	0.0	1.5
33	125	SC 4x6	3"	0.0	0.0	1.5
34	150	SC 4x6	3"	0.0	0.0	1.5
35	750	SC 6x6	4"	0.0	0.0	1.5

SUB DIVISION APPROVAL GRANT
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON FEB 19 1998
BY EDWARD STEIN
SECRETARY

TOWN APPROVAL BOX - FILE NO. 97-40

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
By order of the State Commissioner of Health
these plans are hereby approved pursuant to the
Public Health Law. See first sheet for date and
signature.

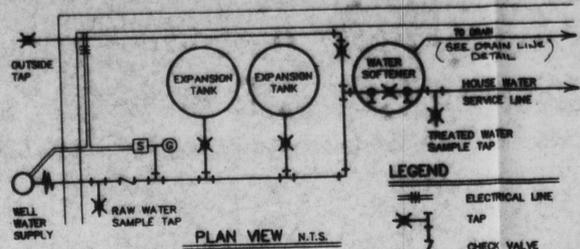


REVISIONS:
 ▲ JUNE 7, 1993
 ▲ OCT. 31, 1994 / HEALTH DEPT REVISIONS
 ▲ JUNE 11, 1997 / INDICATE PHASE II

SHEET NO. 5 of 8
 SCALE: NONE
 DATE: DECEMBER 16, 1991
 JOB NO. 85-258 DRAWN BY: M.M.M.

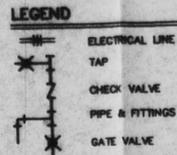
SOIL TEST INFORMATION FOR
 SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK
 ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976

THIS SHEET 5 OF 8 IS INVALID/INCOMPLETE
 WITHOUT THE REMAINING 7 SHEETS OF THIS
 & SHEET SET.
 REVISED PHASE II

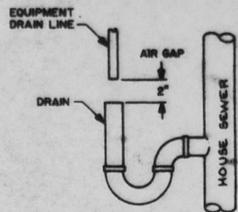


WATER SUPPLY TREATMENT SYSTEM SCHEMATIC

1. ONCE THE NEW WELL ON EACH LOT HAS BEEN DRILLED, DISINFECTED AND SUFFICIENTLY FLUSHED, A WATER SAMPLE SHALL BE TAKEN FOR LABORATORY ANALYSIS. ALL PARAMETERS SHALL PASS N.Y.S.D.O.H. DRINKING WATER STANDARDS. IF THE WATER ANALYSIS INDICATES A HIGH LEVEL OF HARDNESS (>150 mg/l) AND THE HOME OWNER SO CHOOSES, A WATER SOFTENER MAY BE INSTALLED AS INDICATED ABOVE.
2. [S] PRESSURE SWITCH TO OPERATE THE WELL PUMP (SET AT 30 TO 50 PS).
3. [G] PRESSURE GAUGE, 0 TO 100 PSI, 2 1/2" DIAL SIZE.
4. EXPANSION TANKS - SMITH AQUA-AIR TANK MODEL # W-250, 26.2 GAL. DRAWDOWN/TANK.
5. WATER SOFTENER - MAC CLEAN MODEL # ARC-1000.
6. ALL SPECIFIED COMPONENTS MAY BE SUBSTITUTED WITH APPROVED EQUALS, AS REVIEWED AND APPROVED BY THE DESIGN ENGINEER.



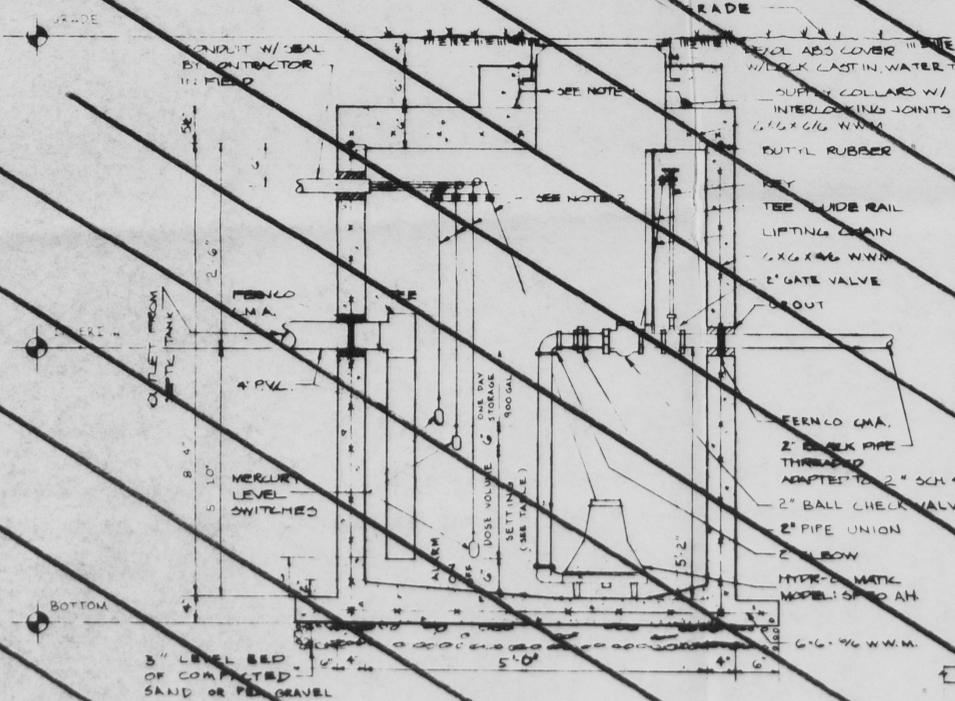
Position DRAIN LINE over drain and secure firmly. To prevent back-siphoning of sewer water, provide an air-gap of at least 2 in. or 2 pipe diameters between end of drain hose and drain (Fig. 6). Do not raise DRAIN LINE more than 10 ft. above floor.



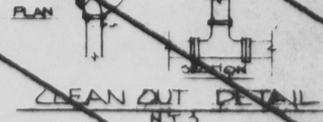
DRAIN LINE DETAIL

NOT USED

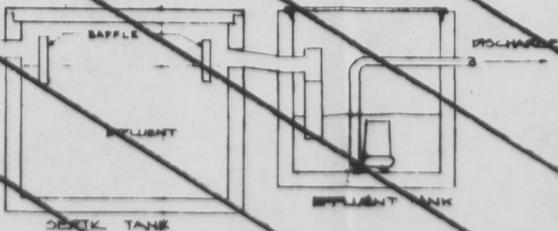
- 1. 2" PVC PIPE
- 2. 2" SLIPY MALE
- 3. 2" X 2" FEMALE
- 4. 2" X 3" FEMALE SLIPY MALE SLIP
- 5. 3 X 4 SLIP X SLIP
- 6. 4 P.V.C. SEWER TO DISTRIBUTION BOX
- 7. 1/4" / FT. MINIMUM GRAVITY FLOW



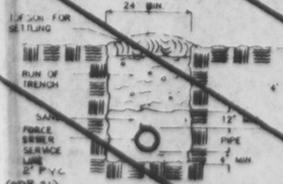
SECTION N.T.S.



CLEAN OUT DETAIL N.T.S.



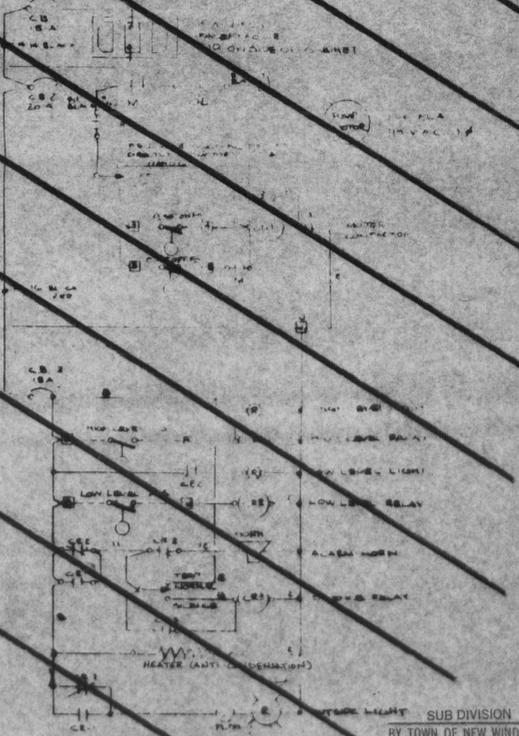
TANK SYSTEM N.T.S.



SEWER LINE TRENCH DETAIL

Lot	Field Size (sq. ft.)	Chamber Selection	Room Setting (FT)	Pump Specifications	Discharge Diameter
16	285	5x7	0.8	Hydromatic SP50AH	2"
17	393	5x7	0.8	Hydromatic SP50AH	2"

- NOTES:
1. OUTSIDE MOUNTED RECEPTACLE IS DISABLED BY TURNING CB TO THE OFF POSITION. THIS IS TO PREVENT THE UNAUTHORIZED USE OF ELECTRICAL POWER.
 2. CB WILL BECOME DISABLED UPON A LOW WATER CONDITION.
 3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 4. ALARM HORN SHALL BE AUDIBLE TO PERSONS LOCATED INSIDE THE DWELLING (100 DB MIN).



ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

TOWN APPROVAL BOX - FILE NO. 97-46

NOTES:

1. COLLECT QUANTITY AS REQUIRED
2. WIRE 12-3 WIRE, MUST MEET N.E.C. CODE
3. CAPACITY 262 GAL PER FOOT
4. CONCRETE TO TEST 4000 PSI
5. 0.08 PER FT

RECEIVED PROFESSIONAL ENGINEER
GREGORY J. ZIMMERMAN, P.E. LIC. NO. 93291

THIS SHEET 8 OF 8 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 7 SHEETS OF THIS 8 SHEET SET.

REVISION PHASE II

SHEET NO 8 OF 8

SCALE AS NOTED

DATE OCTOBER 31, 1994

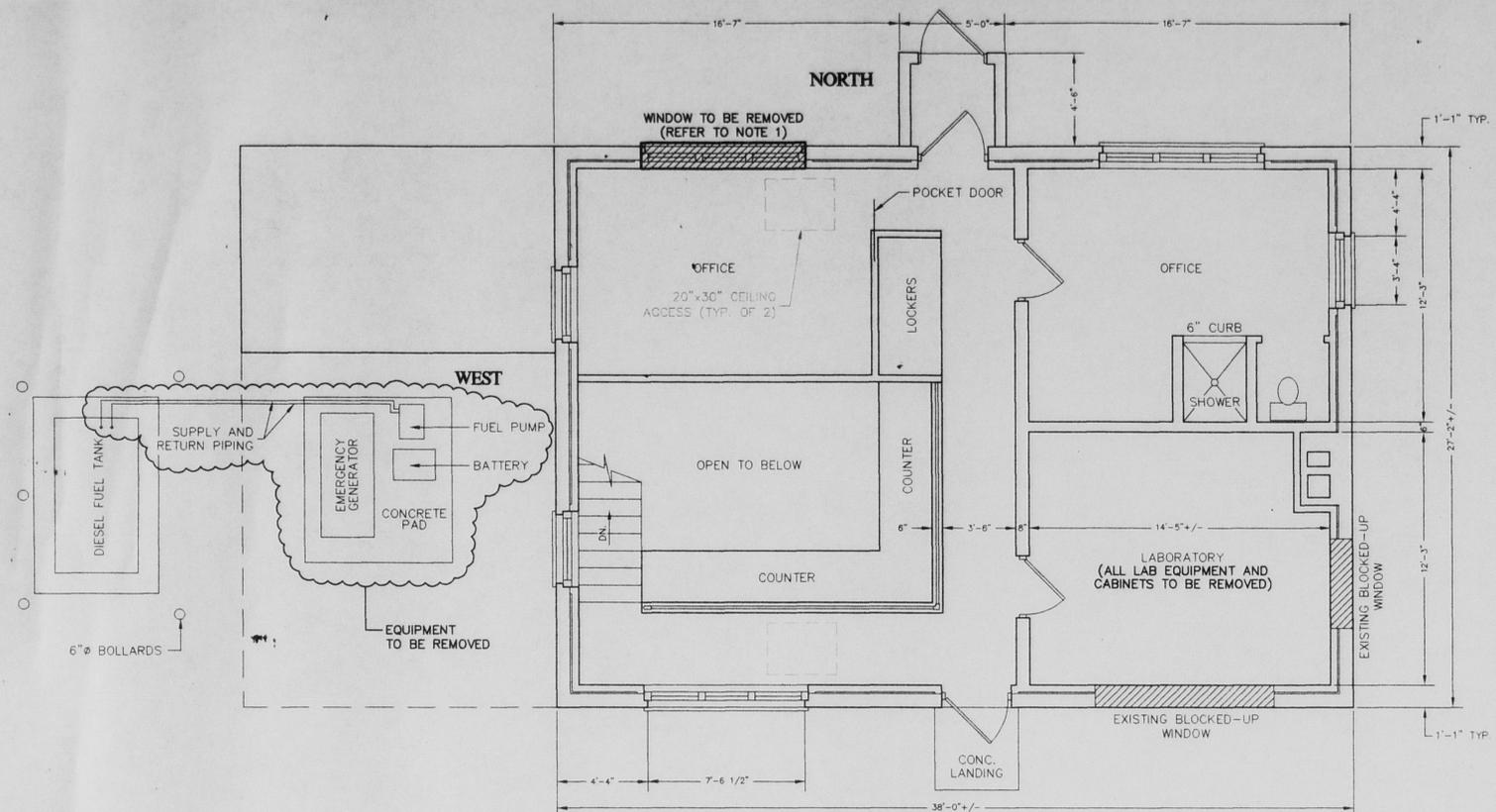
JOB NO. 88-256 DRAWN BY: S.I.O.

EFFLUENT PUMP STATION FOR LOTS 16 & 17 OF WATER TREATMENT DETAILS
BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

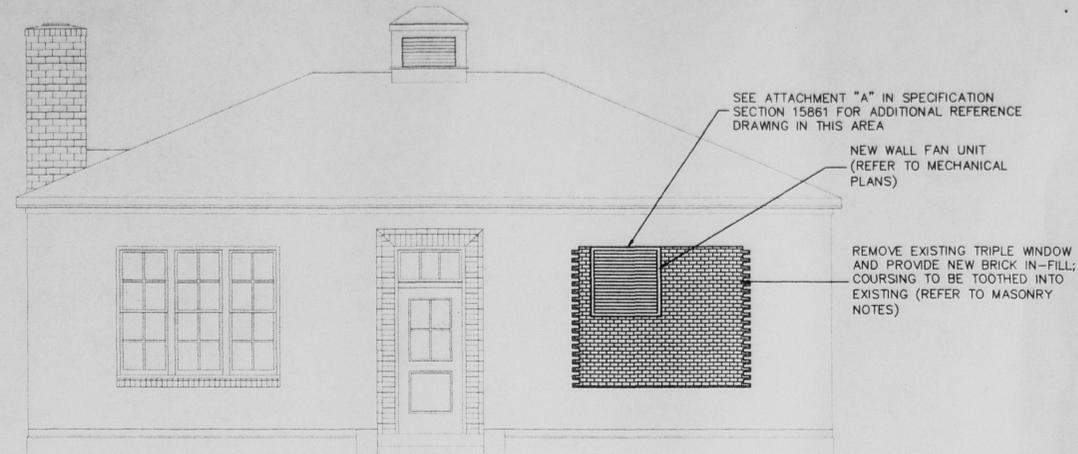
ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926 PHONE (914) 782 7976

APPROVED BY: [Signature]
SECRETARY

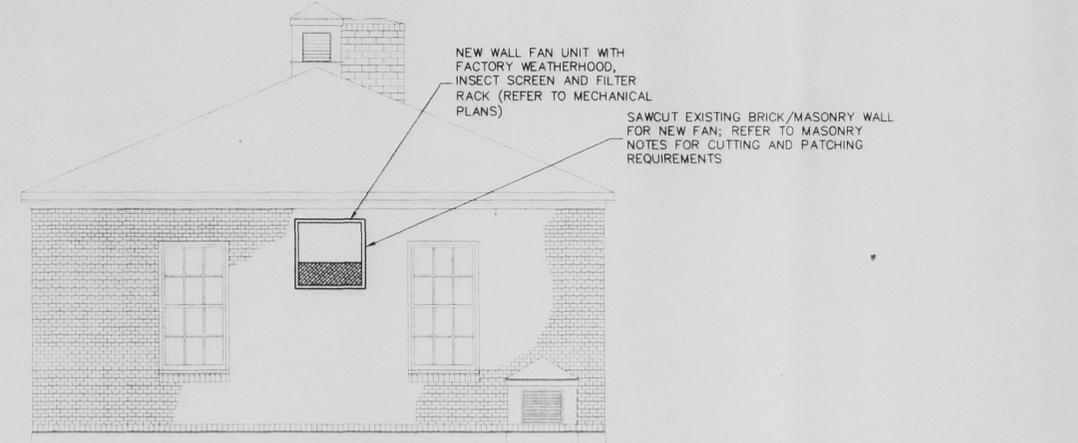
JUNE 11, 1997 (INDICATE PHASE II)



EXISTING FIRST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

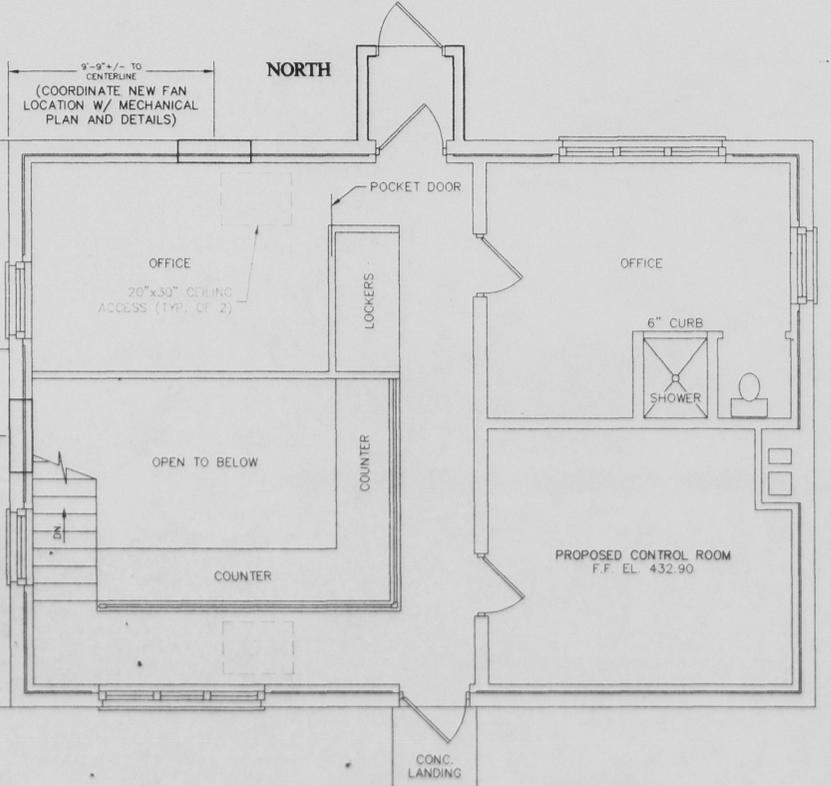
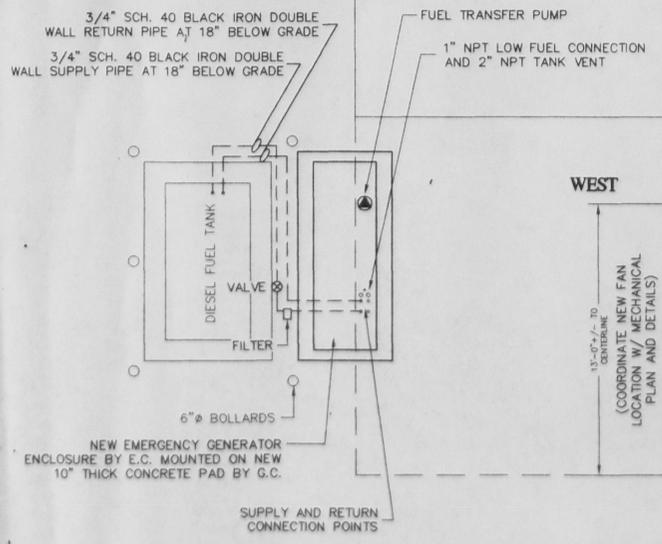


WEST ELEVATION
SCALE: 1/4"=1'-0"

BRICK/MASONRY MODIFICATION NOTES:

1. CONTRACTOR TO REMOVE EXISTING WINDOW AND WOOD TRIM, INTERIOR AND EXTERIOR, AS WELL AS CAULKING AND PACKING WHERE SHOWN ON THE PLAN. CONTRACTOR TO REMOVE BRICK SILL BUT TO LEAVE INTERIOR GLAZED TILE BLOCKS IN PLACE.
2. REMOVE EXCESS MORTAR MATERIALS AND ALTERNATE COURSE BRICK UNITS AT SIDE FACE WYTHE OF EXISTING OPENING FOR TOOTHED IN FACE WYTHE BRICKWORK.
3. EXISTING STEEL LINTELS TO REMAIN. WALLS ARE UNINSULATED. REBUILD WITH BRICK UNITS AND MORTAR MATCHING EXISTING AS PRACTICAL AND AS ACCEPTABLE TO THE ENGINEER, WITH TOOTHED IN FACE WYTHE, ALIGNED JOINTS; JOINTS STRUCK SIMILAR TO EXISTING.
4. NEW OPENINGS TO BE SIZED PER FAN UNIT REQUIREMENTS WITH EXISTING LINTEL TO BE AT TOP OF OPENING. OPENINGS ARE FRAMED WITH G90 GALVANIZED 5"x3"x5/16" ANGLE W/ #4x4" STUDS, 3 SIDES @ 12" O.C. NOM. FOR TIE IN TO MASONRY; DRILL/CHIP/RESET EXISTING BRICK AS REQUIRED FOR ANCHORAGE TIE IN. WELD #4 x 12" RODS AT 12 INCHES ON CENTER TO INTERIOR LINTEL. ALIGN TO MID WALL OF BRICK FOR HEAD TIE-IN.
5. REWORK HEAD FLASHINGS (IF ANY) AS ACCEPTABLE TO THE ENGINEER.
6. SHIM AND CAULK PERIMETER AT FAN UNIT, MOUNTED PER MANUFACTURER'S REQUIREMENTS; BUILD IN ANY SINKAGES OR ANCHORAGES IMPLIED OR AS REQUIRED FOR UNIT SUPPORT.
7. INTERIOR FACE OF MASONRY TO BE PAINTED WITH TWO COATS MODIFIED EPOXY LIGHT NEUTRAL COLOR) OVER BLOCKFILL PRIMER. PATCH ANY DAMAGED INTERIOR TILE BLOCKS AT WINDOW OPENINGS AND AT NEW OPENINGS WHERE REQUIRED.
8. PROVIDE GALVANIZED G90 STEEL LINTELS 3 1/2"x3 1/2"x3/8" WITH MINIMUM 8 INCH BEARING AT NEW OPENINGS.
9. SAW CUT BRICK AND TILE UNITS AS REQUIRED FOR UNIFORM OPENING CONDITION.
10. ADVISE ENGINEER OF ANY DETERIORATING CONDITIONS, I.E. JOINT CRACKS OR DETERIORATED MORTAR JOINTS, TIES, ETC. THAT COULD AFFECT THIS WORK.

NOTE: CONTRACTOR SHALL PROVIDE AND INSTALL ALL VENT PIPING FOR THE TANK AS PER MANUFACTURER'S RECOMMENDATIONS. ALL PIPING CONNECTIONS SHALL ALSO BE AS PER MANUFACTURER'S RECOMMENDATIONS.



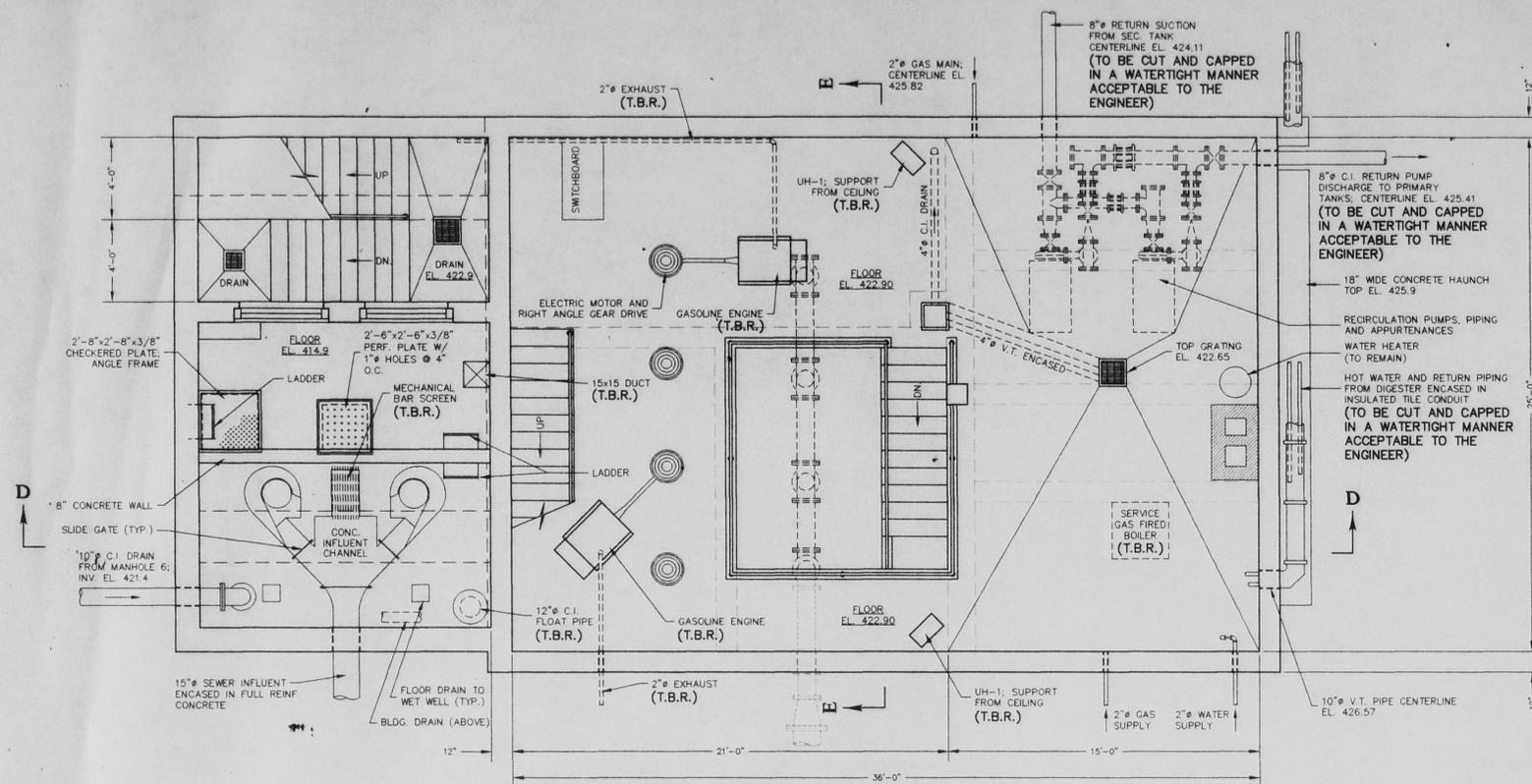
PROPOSED FIRST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

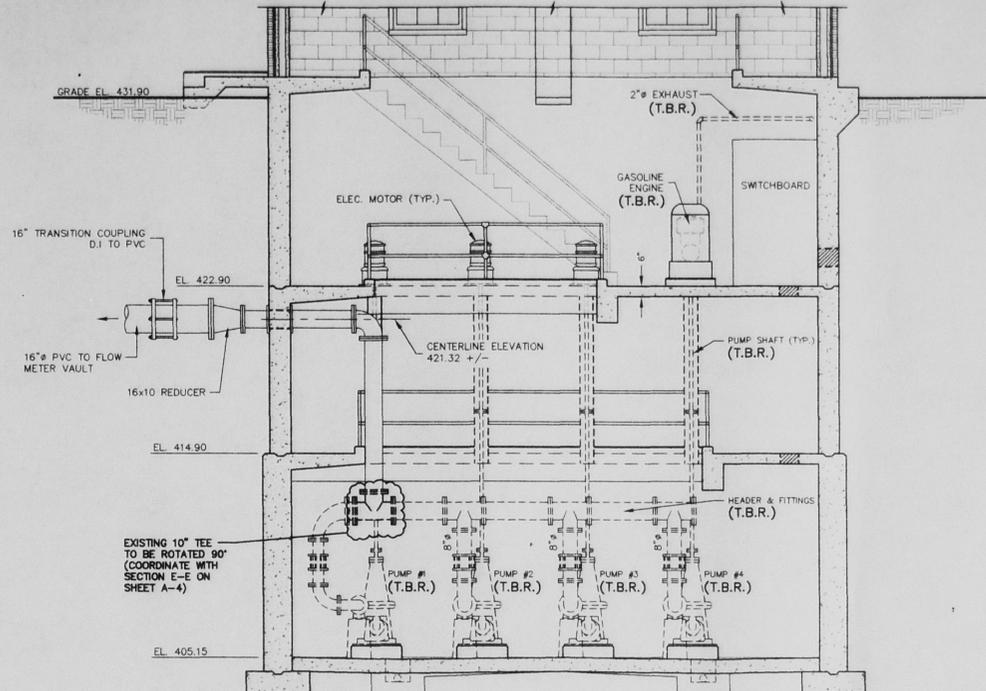
Signature

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C. <small>45 Quaker Avenue (Rte. 9-W) New Windsor, New York 12553 (914) 562-8640</small>			Plan for: STAS SEWAGE PUMP STATION AND FORCE MAIN <small>Town of New Windsor Orange County, N.Y.</small>							
Design: M.M.E. Drawn: H.P.B. Checked: J.M.F. Scale: AS SHOWN Date: 5/9/99 Job No: 98-198	PHASE II PUMP SYSTEM FACILITY FIRST FLOOR PLANS AND ELEVATIONS			Sheet: A-2 <small>196A2(48)</small>						
<table border="1"> <thead> <tr> <th>Revision</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>7/19/99</td> <td>FINAL COORDINATION SET.</td> </tr> </tbody> </table>	Revision	Date	Description	A	7/19/99	FINAL COORDINATION SET.				
Revision	Date	Description								
A	7/19/99	FINAL COORDINATION SET.								

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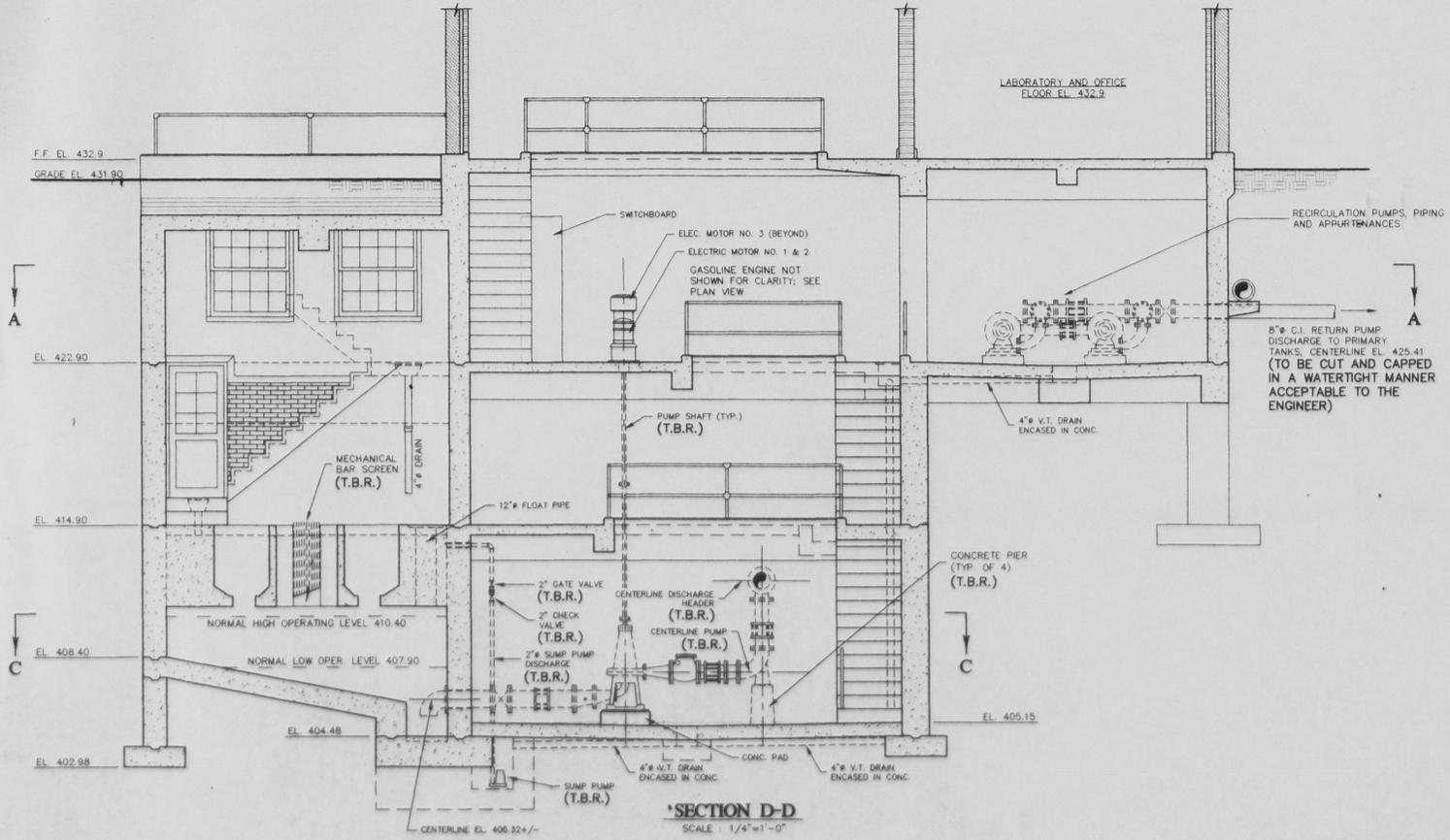


SECOND LEVEL FLOOR PLAN AT EL. 422.9
SCALE: 1/4"=1'-0"



SECTION E-E
SCALE: 1/4"=1'-0"

- NOTES:
1. THE OWNER RESERVES THE RIGHT OF OWNERSHIP TO ANY/ALL OR NONE OF THE EQUIPMENT AND MATERIALS NOTED AS TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL MATERIALS.
 2. ALL EXISTING CABINETS, TOOLS, PLANS, ETC., OTHER THAN THE BUILDING MECHANICAL SYSTEMS AND APPURTENANCES ARE TO BE REMOVED BY THE ARMY PRIOR TO SEPTEMBER 30, 1999. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL OF ALL MECHANICAL SYSTEMS AND APPURTENANCES EITHER INDICATED ON THE PLANS OR AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THE FACILITY IN THE FIELD PRIOR TO PLACING HIS BID TO FULLY UNDERSTAND THE EXTENT OF BUILDING FACILITIES.
 3. INTERIOR WALLS, FLOORS, CEILINGS, MISCELLANEOUS METALS, ETC. SHALL BE PRESSURE WASHED IN PREPARATION FOR FINAL COATING PER SPECIFICATION 09900.5.
 4. THE CONTRACTOR SHALL DISCONNECT, REMOVE AND DISPOSE OF ALL MECHANICAL SYSTEMS NOT INTENDED TO REMAIN, INCLUDING HANGERS AND SUPPORTS, EQUIPMENT, PIPING, VALVES, ETC. AND ALL APPURTENANCES AS ACCEPTABLE TO THE ENGINEER.
 5. EXISTING HOT WATER, COLD WATER, DRAIN, WASTE AND VENT SYSTEMS SHALL REMAIN INTACT. THE CONTRACTOR SHALL CUT, CAP, RECONNECT, EXTEND OR RELOCATE EXISTING PLUMBING SYSTEMS AS REQUIRED FOR THE INSTALLATION OF NEW WORK. THE CONTRACTOR SHALL CLEAN, ROD AND CLEAR ANY EXISTING DRAIN LINES THAT MAY BE BLOCKED.



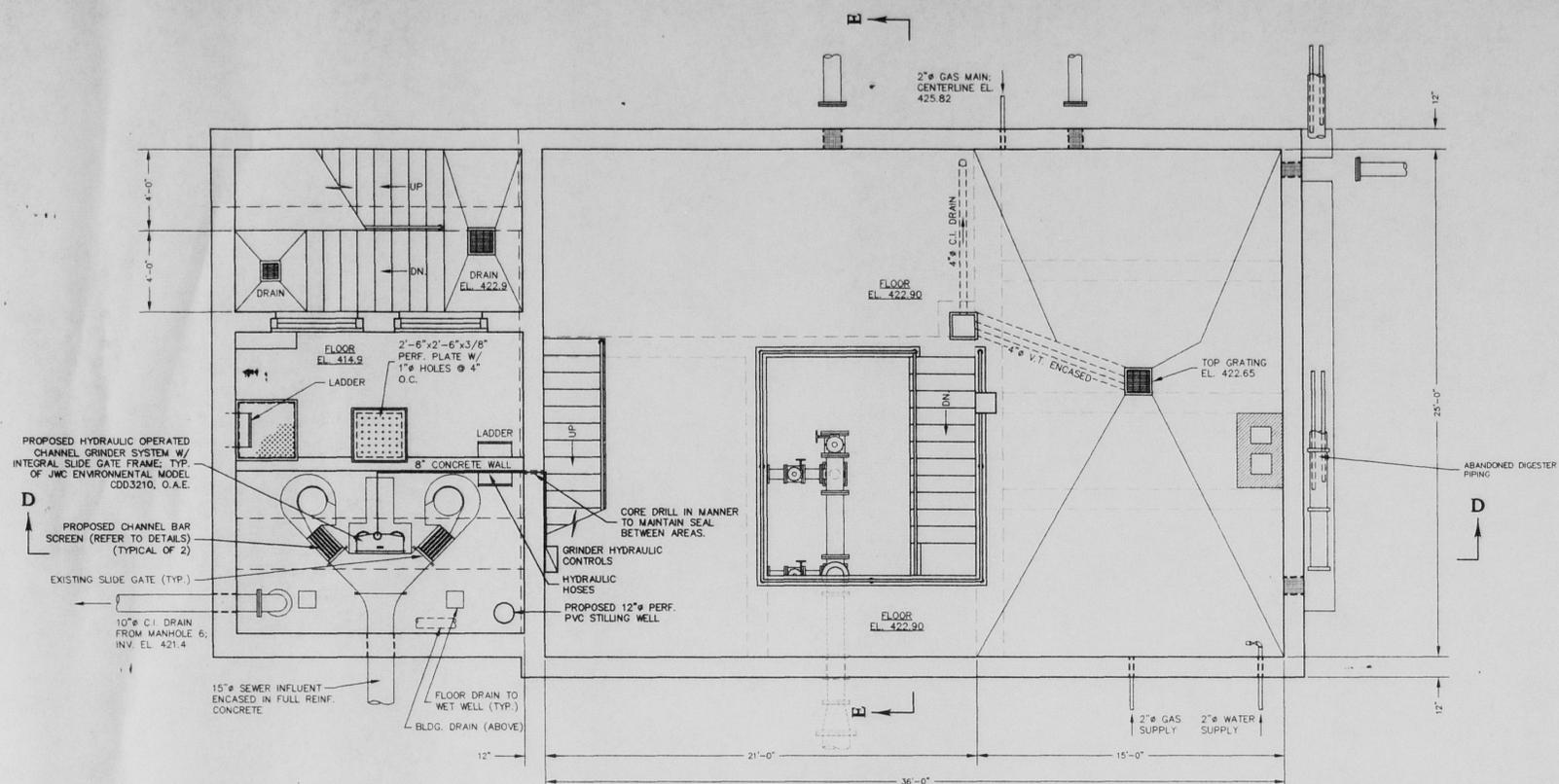
SECTION D-D
SCALE: 1/4"=1'-0"

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

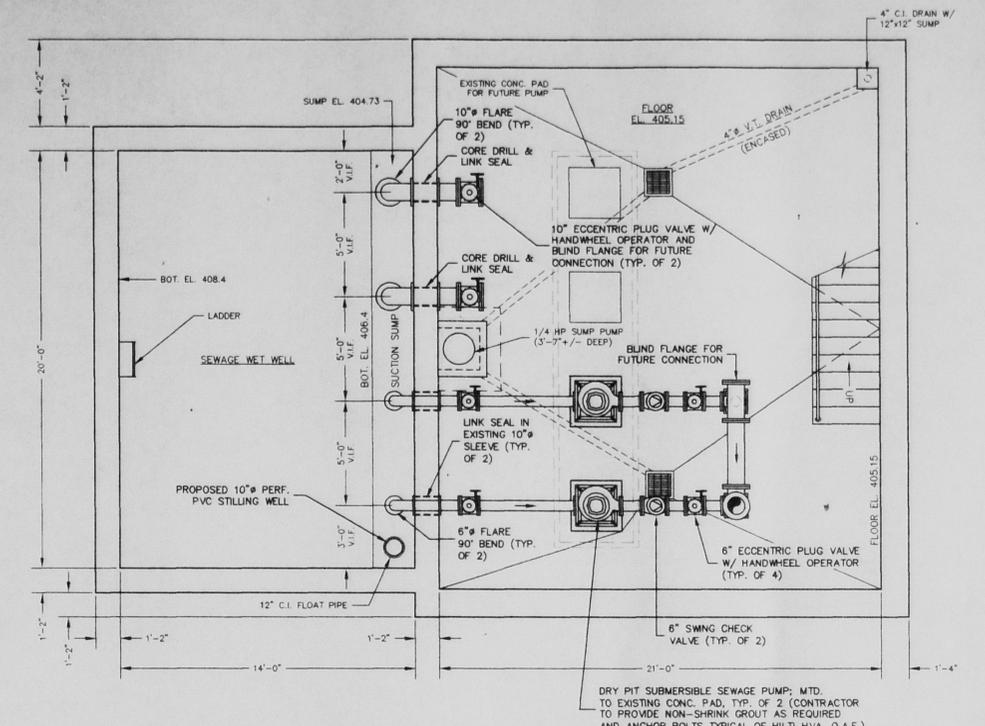
Handwritten signature

		McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C. <small>45 Quassak Avenue (Rte. 9-W) New Windsor, New York 12553 (814) 562-8646</small>		Plan for:																		
				S T A S SEWAGE PUMP STATION AND FORCE MAIN Town of New Windsor Orange County, N.Y.																		
<table border="1"> <thead> <tr> <th>Revision</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>7/19/99</td> <td>FINAL COORDINATION SET.</td> </tr> </tbody> </table>	Revision	Date	Description	A	7/19/99	FINAL COORDINATION SET.	<table border="1"> <tbody> <tr> <td>Design:</td> <td>MMW</td> </tr> <tr> <td>Drawn:</td> <td>HFB.F</td> </tr> <tr> <td>Checked:</td> <td>J.M.F.</td> </tr> <tr> <td>Scale:</td> <td>AS SHOWN</td> </tr> <tr> <td>Date:</td> <td>5/9/99</td> </tr> <tr> <td>Job No.:</td> <td>98-196</td> </tr> </tbody> </table>	Design:	MMW	Drawn:	HFB.F	Checked:	J.M.F.	Scale:	AS SHOWN	Date:	5/9/99	Job No.:	98-196	PHASE II PUMP SYSTEM FACILITY DEMOLITION		Sheet: A-3 <small>196A346</small>
Revision	Date	Description																				
A	7/19/99	FINAL COORDINATION SET.																				
Design:	MMW																					
Drawn:	HFB.F																					
Checked:	J.M.F.																					
Scale:	AS SHOWN																					
Date:	5/9/99																					
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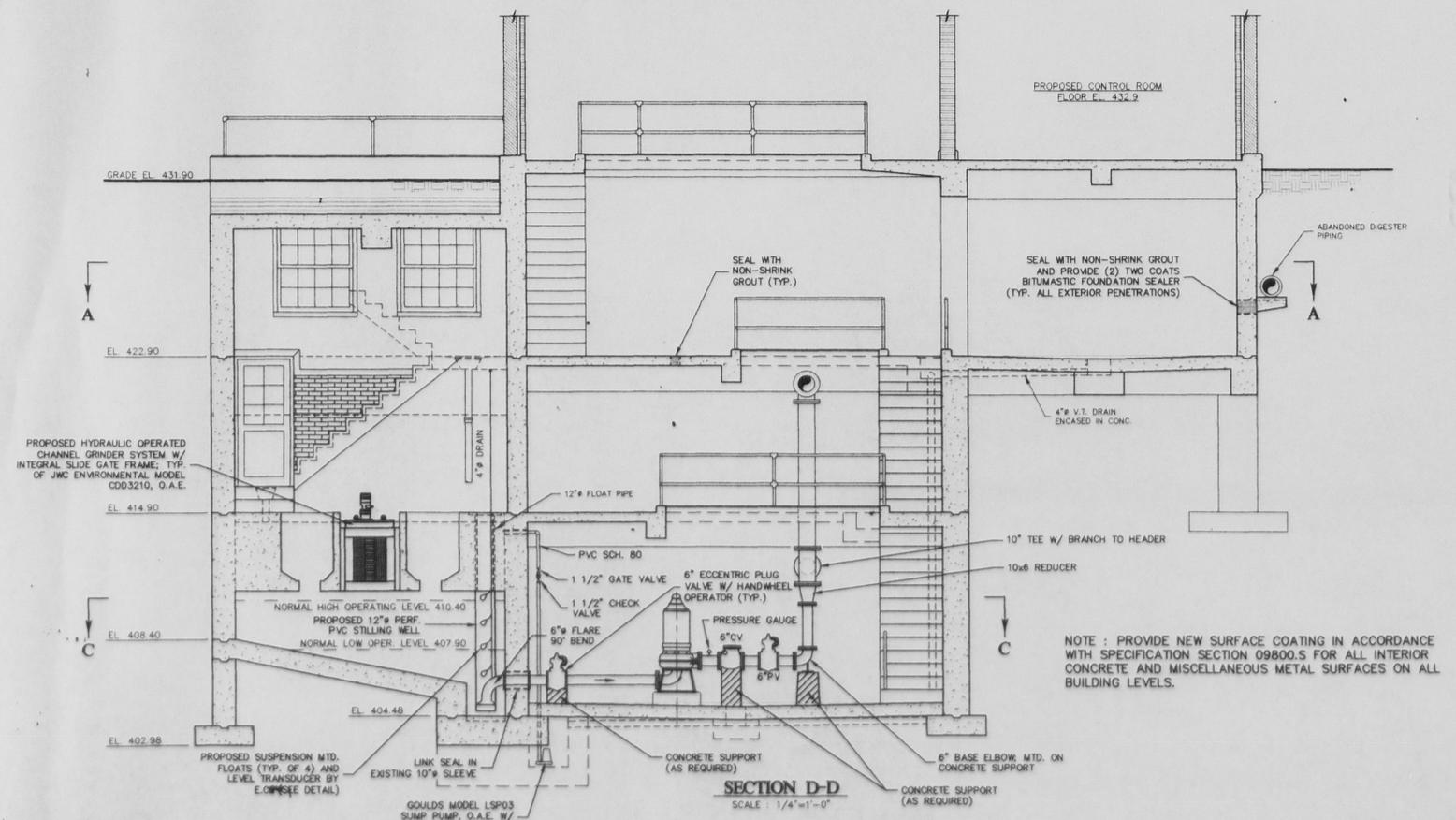
C:\8196\196A3.dwg Thu Jul 22 08:32:55 1999: McGoeY, Hauser and EDSALL, P.C.



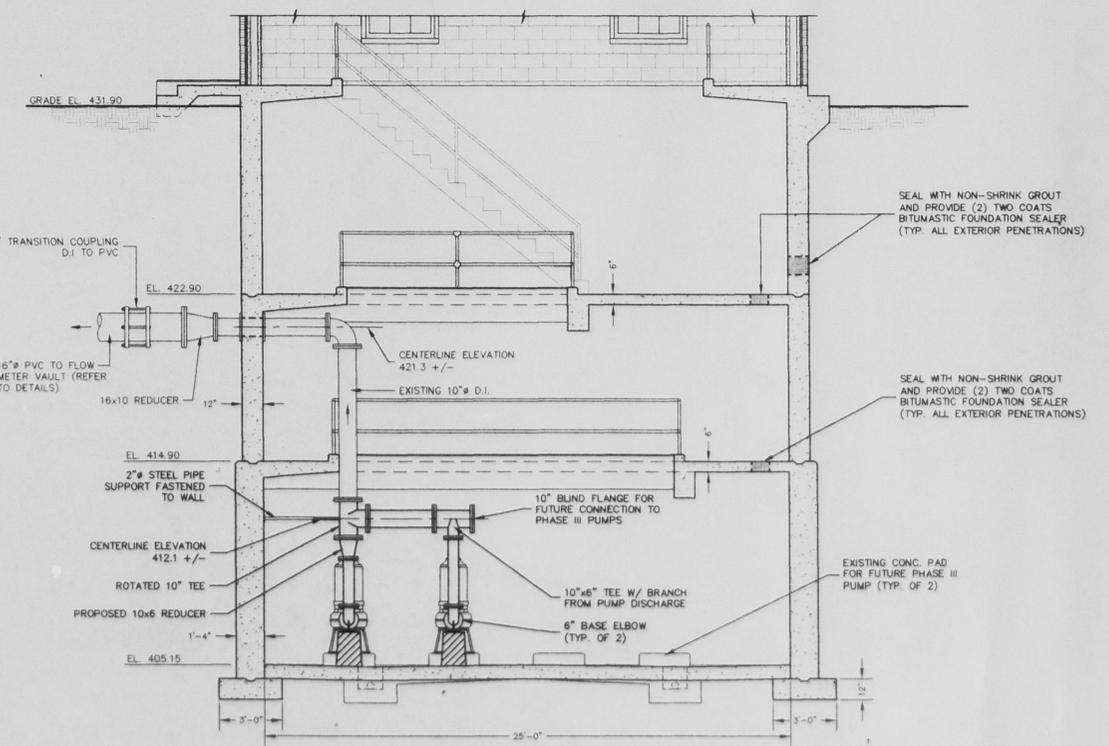
SECOND LEVEL FLOOR PLAN AT EL. 422.9
SCALE: 1/4"=1'-0"



FOURTH LEVEL FLOOR PLAN AT EL. 405.15
SCALE: 1/4"=1'-0"



SECTION D-D
SCALE: 1/4"=1'-0"



SECTION E-E
SCALE: 1/4"=1'-0"

NOTE: PROVIDE NEW SURFACE COATING IN ACCORDANCE WITH SPECIFICATION SECTION 09800.S FOR ALL INTERIOR CONCRETE AND MISCELLANEOUS METAL SURFACES ON ALL BUILDING LEVELS.

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

MHE **McGOEY, HAUSER and EDSALL**
CONSULTING ENGINEERS, P.C.
45 Quaker Avenue (Rte. 9-W) New Windsor, New York 12552 (514) 562-8640
507 Broad Street Milford, Pennsylvania 18337 (570) 298-2765

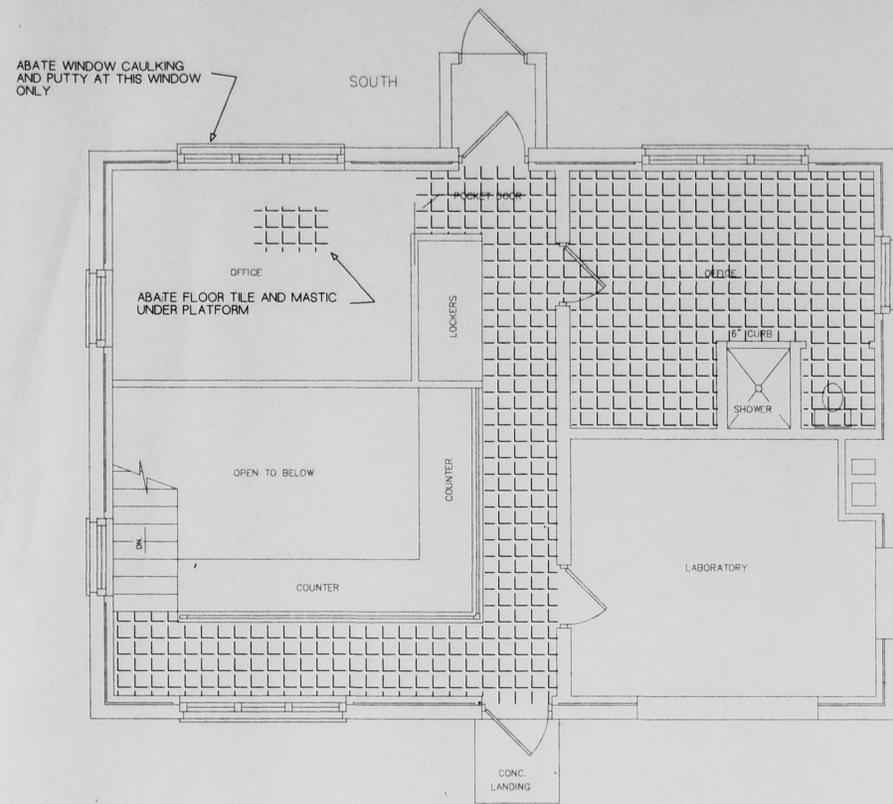
Revision	Date	Description
A	7/19/99	FINAL COORDINATION SET.

Plan for: **STAS**
SEWAGE PUMP STATION AND FORCE MAIN
Town of New Windsor Orange County, N.Y.

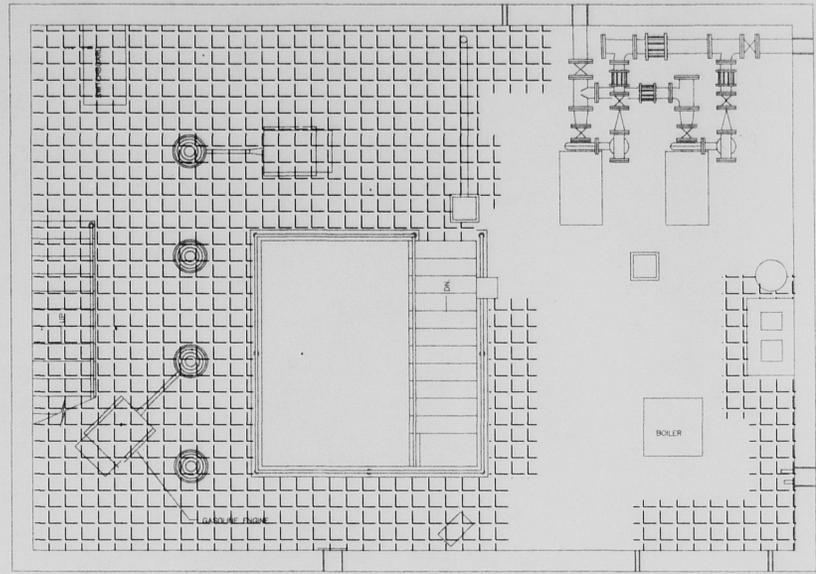
Design: M.H.E.
Drawn: H.P.B.
Checked: J.M.F.
Scale: AS SHOWN
Date: 5/9/99
Job No: 98-198

PHASE II
PUMP SYSTEM FACILITY
PROPOSED PLAN & SECTIONS

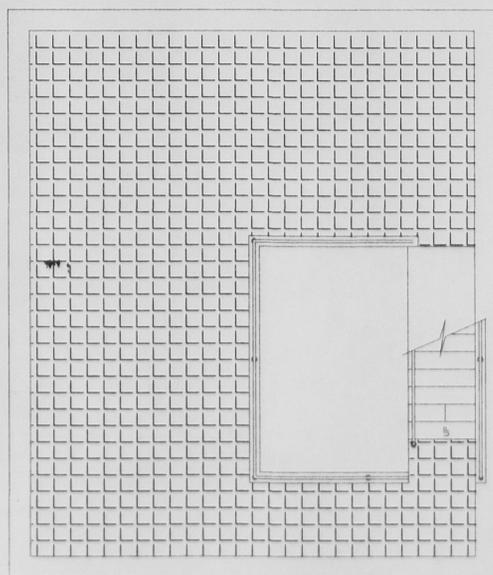
Sheet: **A-4**
196AA(48)



1 EXISTING FIRST LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



2 EXISTING SECOND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



3 EXISTING THIRD LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

ASBESTOS ABATEMENT QUANTITIES

TYPE OF MATERIAL	APPX. QUANTITY
FLOOR TILE & MASTIC	1,350 SF
WINDOW CAULK & PUTTY	10 SF

ASBESTOS ABATEMENT LEGEND

- - - - - ASBESTOS CONTAINING FLOOR
- - - - - TILE AND MASTIC TO BE REMOVED

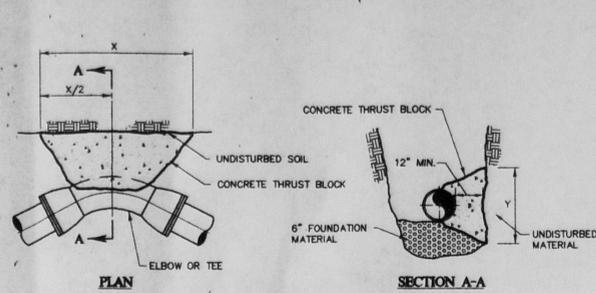
NOTE: OTHER MATERIALS IDENTIFIED BY NOTE

ASBESTOS ABATEMENT NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS OF NYS INDUSTRIAL CODE RULE 56 "ASBESTOS" AND US EPA 40 CFR 61 "NESHAPS".
2. THE ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ALL MATERIALS TO AN ACCEPTABLE SUBSTRATE, FREE OF ALL MASTICS AND RESIDUES AND TO THE ACCEPTANCE OF THE OWNER.
3. QUANTITIES AND LOCATIONS OF MATERIALS TO BE ABATED ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY. IT SHALL BE THE ASBESTOS CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL CONDITIONS AFFECTING THE WORK OF THIS CONTRACT. ALL DIMENSIONS, QUANTITIES, AND LOCATIONS OF APPURTENANCES ARE APPROXIMATE.
4. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NOTIFICATIONS AND VARIANCES THAT WILL BE REQUIRED FOR PERFORMANCE OF THE WORK STATED IN THE TECHNICAL SPECIFICATIONS AND SHOWN ON THESE CONTRACT DRAWINGS.
5. THE ASBESTOS CONTRACTOR SHALL MOVE ALL OBJECTS, FIXED OR FREE STANDING, AS REQUIRED TO COMPLETE THE WORK OF THIS CONTRACT.

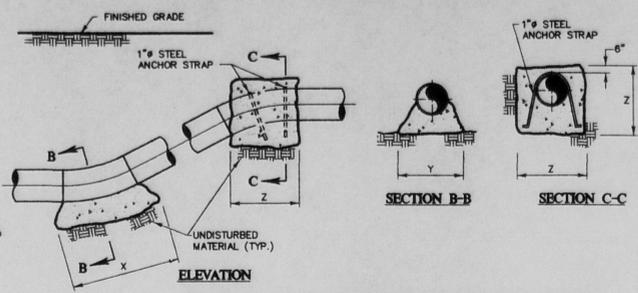
Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

<p>Asbestos Consultant:</p> <p>TIL TESTWELL LABORATORIES, INC.</p> <p>ENVIRONMENTAL DIVISION 47 HUDSON STREET, OSSINING, NY 10562 (914) 944-2570/FAX (914) 941-4154</p>	<p>MHE MCGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C.</p> <p>45 Susquehanna Avenue (Rte. 9-W) New Windsor, New York 12553 (514) 562-8840</p> <p>207 Broad Street Milford, Pennsylvania 18337 (570) 286-2765</p>	<p>Plan for: S T A S SEWAGE PUMP STATION AND FORCE MAIN Orange County, N.Y.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Design:</td> <td>HJR</td> </tr> <tr> <td>Drawn:</td> <td>CSS</td> </tr> <tr> <td>Checked:</td> <td>HJR</td> </tr> <tr> <td>Scale:</td> <td>AS SHOWN</td> </tr> <tr> <td>Date:</td> <td>7/17/98</td> </tr> <tr> <td>Job No:</td> <td>2-92-001</td> </tr> </table>	Design:	HJR	Drawn:	CSS	Checked:	HJR	Scale:	AS SHOWN	Date:	7/17/98	Job No:	2-92-001	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"> PUMP SYSTEM FACILITY ASBESTOS ABATEMENT FLOOR PLANS </td> <td style="text-align: center;"> AR-1 </td> </tr> <tr> <td style="text-align: right;">19842(48)</td> <td></td> </tr> </table>	PUMP SYSTEM FACILITY ASBESTOS ABATEMENT FLOOR PLANS	AR-1	19842(48)	
Design:	HJR																			
Drawn:	CSS																			
Checked:	HJR																			
Scale:	AS SHOWN																			
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Job No:	2-92-001																			
PUMP SYSTEM FACILITY ASBESTOS ABATEMENT FLOOR PLANS	AR-1																			
19842(48)																				



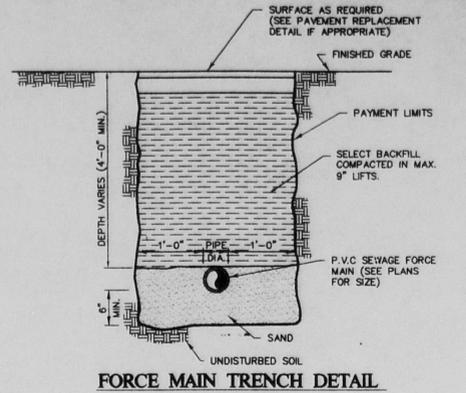
PIPE SIZE (BRANCH OF TEE)	90° BEND		45° BEND		22 1/2° BEND		TEE & PLUG	
	X	Y	X	Y	X	Y	X	Y
6"	30"	24"	24"	18"	18"	12"	27"	21"
8"	42"	30"	30"	24"	24"	18"	36"	27"
12"	66"	42"	45"	33"	33"	24"	48"	42"
16"	84"	48"	51"	39"	39"	30"	60"	48"
24"	102"	75"	78"	60"	60"	39"	108"	108"

HORIZONTAL BEND THRUST BLOCK DETAILS
SCALE: NONE

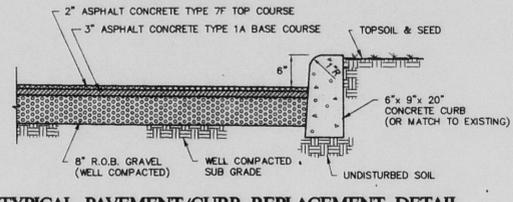


PIPE SIZE	90° BEND			45° BEND			22 1/2° BEND		
	X	Y	Z	X	Y	Z	X	Y	Z
6"	30"	24"	48"	24"	18"	39"	18"	12"	33"
8"	42"	30"	60"	30"	24"	48"	24"	18"	39"
12"	66"	42"	75"	45"	33"	60"	33"	24"	51"
16"	84"	48"	97"	51"	39"	75"	39"	30"	62"
24"	102"	75"	120"	78"	60"	90"	60"	39"	72"

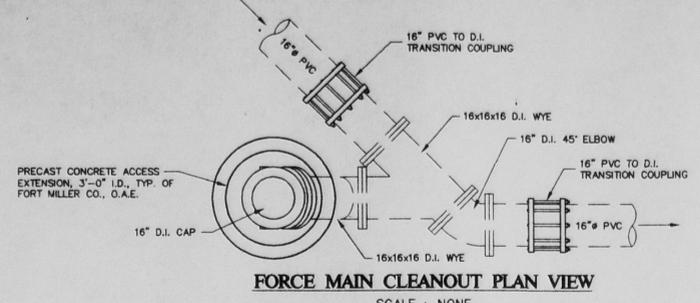
VERTICAL BEND THRUST BLOCK DETAILS
SCALE: NONE



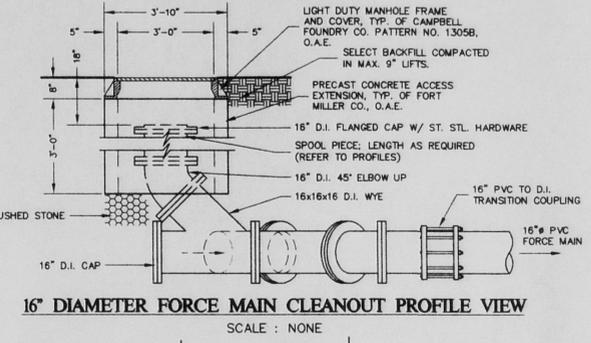
FORCE MAIN TRENCH DETAIL
SCALE: NONE



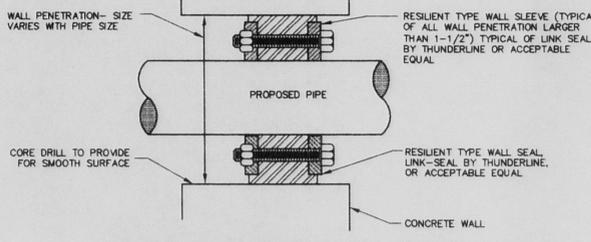
TYPICAL PAVEMENT/CURB REPLACEMENT DETAIL
SCALE: NONE



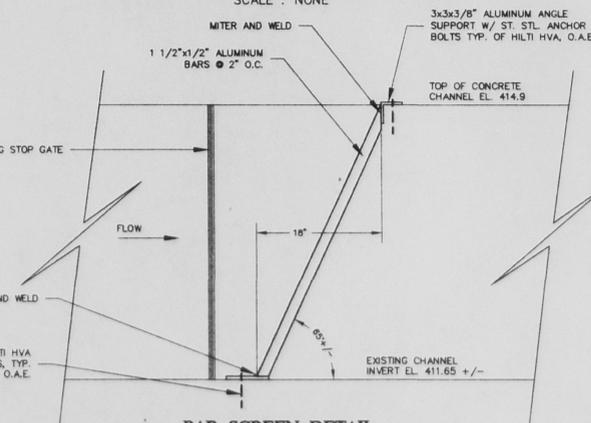
FORCE MAIN CLEANOUT PLAN VIEW
SCALE: NONE



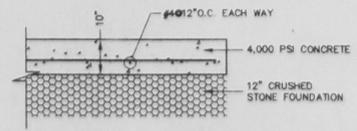
16\"/>



TYPICAL WALL PENETRATION DETAIL
SCALE: NONE



BAR SCREEN DETAIL
SCALE: NONE

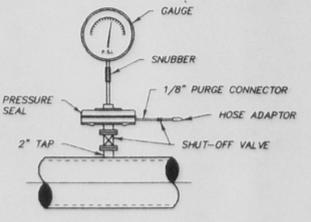


REINFORCED CONCRETE SLAB DETAIL
SCALE: NONE

NOTE: ALL PHASE I WORK MUST BE COMPLETED PRIOR TO SEPTEMBER 30, 1999. PHASE I COMPLETION SHALL PROVIDE FOR THE TRANSMISSION OF SEWAGE FROM THE EXISTING WET WELL TO THE EXISTING 30\"/>

- GENERAL NOTES:**
- Existing site information, including topographic, planimetric, and inverts were taken from a Survey prepared by Daniel J. O'Brien, P.L.S.
 - Existing underground and overhead utilities, piping, etc. are shown on an approximate way only. The Contractor shall be responsible for coordination of all work near all utilities. The Contractor shall contact the various utilities companies, if appropriate, such that existing infrastructure is not damaged during construction activities.
 - The Contractor shall implement a bypass pumping system in order to maintain flows in the existing sanitary sewer lines during all construction activity.
 - It is the Contractor's responsibility to investigate and maintain the integrity of all existing site utilities and infrastructure during construction activities.
 - Due to existing site conditions, offsets may be required to avoid conflicts with existing utilities. All offsets required to provide adequate separation distances from existing utilities shall be deemed included in the lump sum project cost.
 - The Contractor shall perform all necessary exploratory excavation to accurately determine the actual location of all existing utilities without damage to utilities prior to installation of the proposed project.
 - All disturbed areas shall at a minimum be restored to their original condition unless otherwise specified. Disturbed grassed areas shall be restored with 4\"/>
 - The Contractor shall implement an erosion and sediment control plan consisting of silt fence and staked hay bales down gradient of all disturbed areas.
 - The Contractor shall implement a traffic control plan and shall maintain and protect traffic at all times during contract work. At no time during this contract will access to or from airport facilities be restricted. The Contractor shall coordinate maintenance and protection of traffic with New York State DOT, the Town of New Windsor, and USMA representatives.
 - The Contractor shall maintain, relocate or reconstruct any and all utilities or structures which may conflict with his work whether shown on the plans or not.
 - Trees and similar vegetation to be completely removed where necessary by Contractor if deemed necessary in the field by the Owner, cause for removal shall be deemed included in the contract price.
 - Any fences, barricades or other security measures which are encountered during the project shall be replaced in kind after construction.
 - The Contractor shall be responsible for all construction layout. Prior to construction, the Contractor shall review the layout with the Engineer/Owner in the field after project layout is complete.
 - All existing signage with the contract limits is to remain. Relocation of existing signage may be required to perform the contract work. Exact locations of signs which may require relocation shall be coordinated with the Project Engineer.

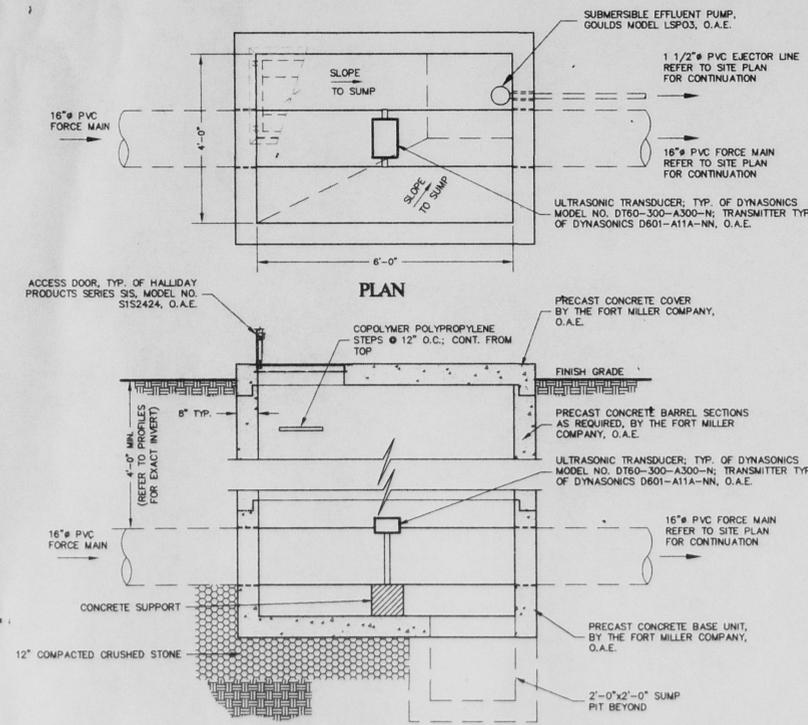
- EROSION AND SEDIMENT CONTROL NOTES:**
- The Contractor shall comply with all provisions of the applicable Department of Environmental Conservation Water Quality Certification Program.
 - All necessary precautions shall be taken to prevent contamination of the waters of New York State by silt, sediment, fuel, solvents, lubricants, epoxy coatings, concrete, leachate or other pollutants associated with construction and construction procedures.
 - During construction, no wet or fresh concrete or concrete leachate shall be allowed to escape into the waters of New York State. Nor shall washings from washings from concrete trucks, mixers or any other devices be allowed to enter any wetlands or water.
 - Any debris or access materials from construction of this project shall be immediately and completely removed from the project site. Excess material shall be disposed of off the project site and shall not impact any water body. All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass seed and mulched with hay or straw within one week of final grading. If construction activities are discontinued in areas of soil disturbance before final grading is complete, temporary grading shall also be seeded and mulched. Mulch shall be maintained until a suitable vegetative cover is established.
 - Periodic cleaning of temporary silt, erosion and water pollution control devices may be necessary as requested by the Engineer.
 - In the event dewatering operations become necessary, a settling basin will be required unless the pump discharge is as clear and free of sediment as the flowing stream location. Designed to be approved by the Project Engineer.
 - If dewatering is discharged to the storm drainage system, it must be cleared of excess sediment.
 - Hay bales have a limited life expectancy and shall be replaced in locations where they have been in use for an extended period of time as directed by the Project Engineer.
 - All sediment shall be prevented from entering storm drains, ditches and water courses.



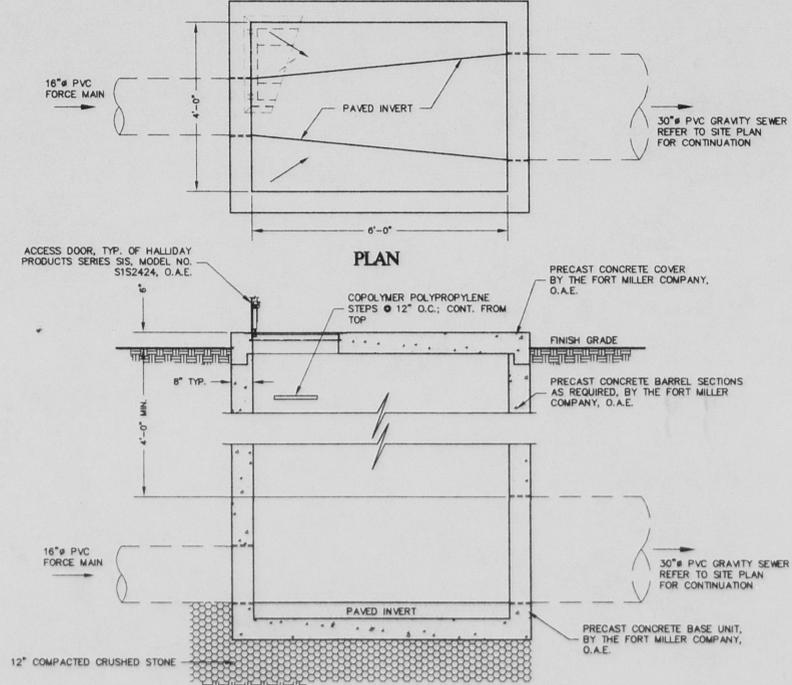
PRESSURE GAUGE DETAIL
SCALE: NONE

CALL BEFORE YOU DIG!
NEW YORK INDUSTRIAL CODE REQUIRES
2 WORKING DAYS NOTICE BEFORE YOU DIG,
DRILL, OR BLAST - STOP CALL

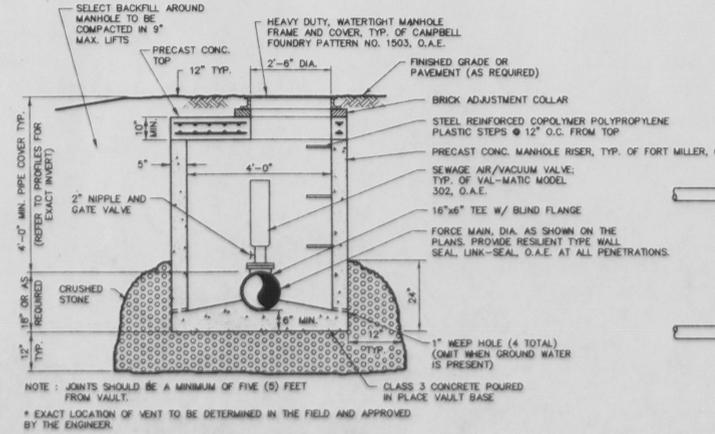
Underground Utilities Call Center
1-800-245-2828



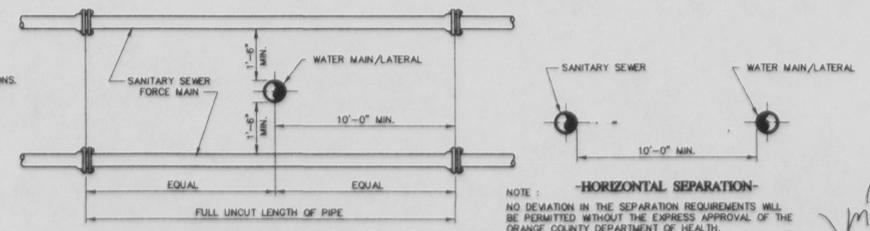
SECTION FLOW METER VAULT
SCALE: NONE



SECTION FORCE MAIN CONNECTION VAULT
SCALE: NONE



AIR RELIEF VALVE VAULT
SCALE: NONE



**-HORIZONTAL SEPARATION-
-VERTICAL SEPARATION-
SANITARY SEWER-WATER MAIN SEPARATION DETAILS**
SCALE: NONE

MHE McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS, P.C.
45 Quaker Avenue (Rte. 9-#)
New Windsor, New York 12553
(814) 562-8640

507 Broad Street
Millersville, Pennsylvania 17333
(717) 296-2765

Revision	Date	Description
A	7/19/99	FINAL COORDINATION SET

Plan for: **STAS**
SEWAGE PUMP STATION AND FORCE MAIN

Town of New Windsor Orange County, N.Y.

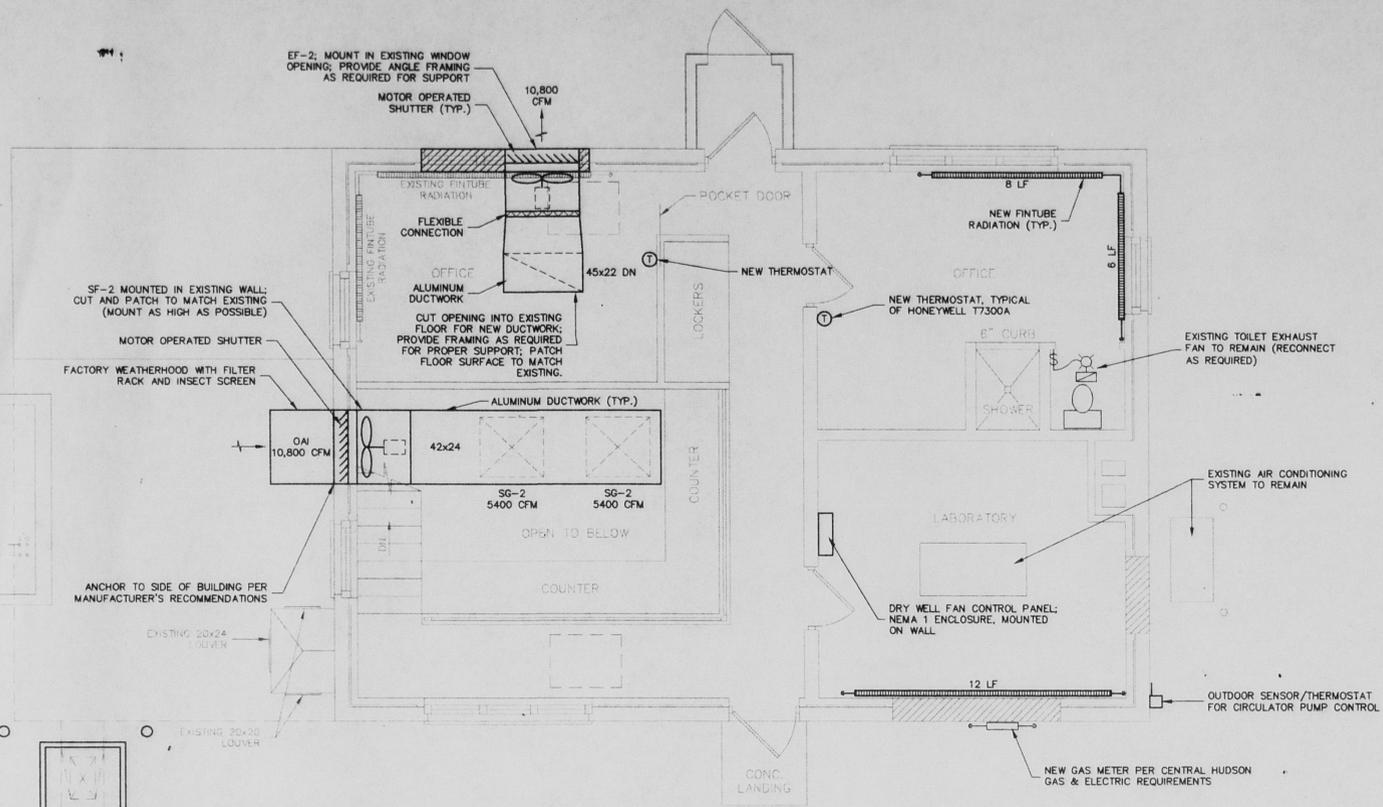
Design: M.W.H.
Drawn: H.P.B.
Checked: J.M.F.
Scale: As shown
Date: 12/18/98
Job No: 98-198

TYPICAL DETAILS

Sheet: **D-1**
19601(24)

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

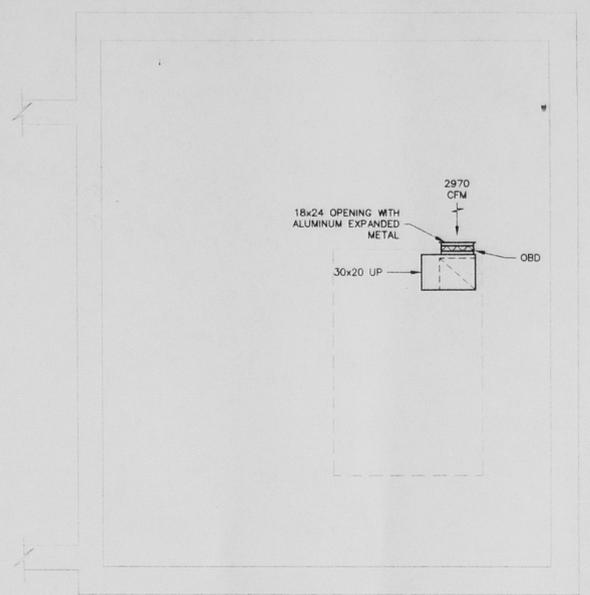
13819819801.dwg Thu Jul 22 09:17:17 1999 McGoeY, Hauser and Edsall, P.C.



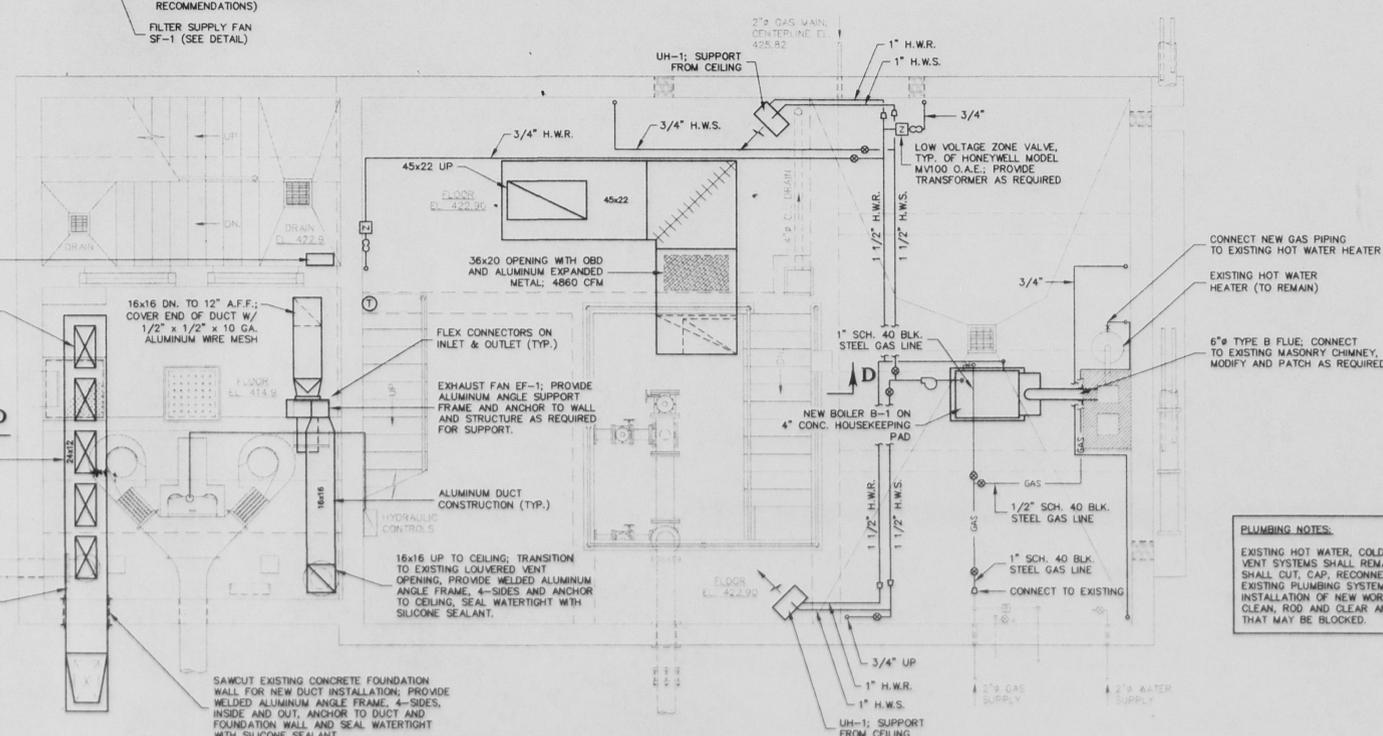
FIRST LEVEL FLOOR PLAN AT ELEV. 4329
SCALE: 1/4"=1'-0"

DRY WELL CONTROL NOTES:

1. EXHAUST FAN EF-2 AND SUPPLY FAN SF-2 SHALL BE CONNECTED TO DRY WELL LIGHT SWITCH AND FANS ACTIVATE WHEN LIGHTS ON.
2. CONTRACTOR SHALL PROVIDE CONTROL PANEL WITH H/LOW/OFF/AUTO SWITCH INCLUDING WIRING, TIMER AND ALL COMPONENTS REQUIRED TO OPERATE DRY WELL FANS.
3. SEQUENCE OF OPERATION:
HIGH: SF-2 AND EF-2 SHALL RUN CONTINUOUS AT HIGH SPEED.
LOW: SF-2 AND EF-2 SHALL RUN CONTINUOUS AT LOW SPEED.
OFF: SF-2 AND EF-2 SHALL BE OFF.
AUTO: SF-2 AND EF-2 SHALL BE SEQUENCED TO HIGH SPEED POSITION FOR 10 MINS. (ADJUSTABLE) THEN SHALL AUTOMATICALLY SEQUENCE TO LOW SPEED. OPERATION IN THIS MODE SHALL BE INTERLOCKED WITH LIGHT SWITCH.



THIRD LEVEL FLOOR PLAN AT ELEV. 4149
SCALE: 1/4"=1'-0"



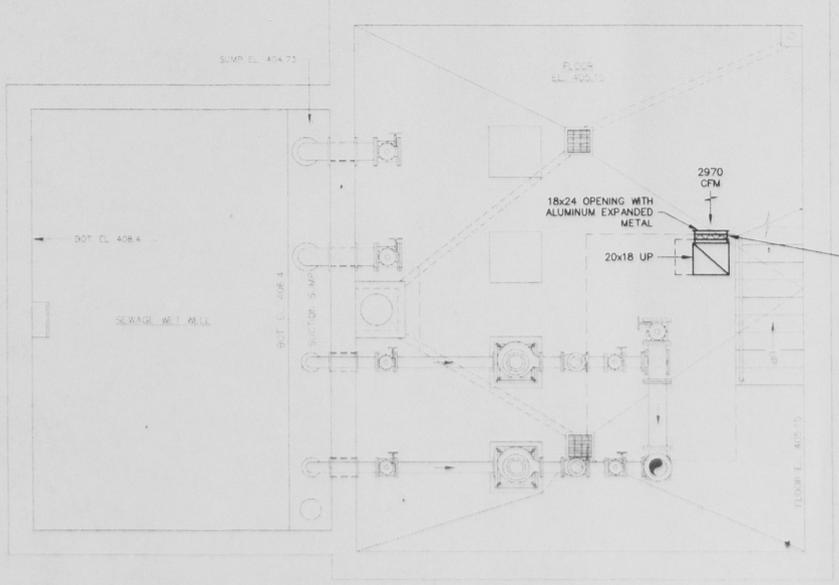
SECOND LEVEL FLOOR PLAN AT ELEV. 4229
SCALE: 1/4"=1'-0"

WET WELL CONTROL NOTES:

EXHAUST FAN EF-1 AND SUPPLY FAN SF-1 SHALL BE CONNECTED TO WET WELL LIGHT SWITCH AND ACTIVATE WHEN LIGHTS ARE ON.

PLUMBING NOTES:

EXISTING HOT WATER, COLD WATER, DRAIN, WASTE AND VENT SYSTEMS SHALL REMAIN INTACT. THE CONTRACTOR SHALL CUT, CAP, RECONNECT, EXTEND OR RELOCATE EXISTING PLUMBING SYSTEMS AS REQUIRED FOR THE INSTALLATION OF NEW WORK. THE CONTRACTOR SHALL CLEAN, ROD AND CLEAR ANY EXISTING DRAIN LINES THAT MAY BE BLOCKED.



FOURTH LEVEL FLOOR PLAN AT ELEV. 40515
SCALE: 1/4"=1'-0"

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

Handwritten signature

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C. <small>45 Quakertown Avenue (Rte. 2-49) New Windsor, New York 12553 (914) 562-8640</small>			Plan for: STAS SEWAGE PUMP STATION AND FORCE MAIN Town of New Windsor Orange County, N.Y.	
Design: L.R.S. Drawn: H.P.B. Checked: J.M.F. Scale: AS SHOWN Date: 5/5/99 Job No: 98-198	PHASE II PUMP SYSTEM FACILITY MECHANICAL PLANS			Sheet: M-1 <small>196M(48)</small>
Revision A Date 7/19/99 Description FINAL COORDINATION SET.				

BOILER SCHEDULE							
EQUIPMENT TAG	MANUFACTURER	MODEL	TYPE	NET IBR OUTPUT (MBH)	BURNER INPUT GAS (MBH)	ELECTRICAL VOLT. PHASE HZ.	REMARKS
B-1	WEIL MCLAIN	PEG-45-W	ATMOSPHERIC GAS	106	150	120 1 60	FACTORY ASSEMBLED BLOCK

UNIT HEATER SCHEDULE								
EQUIPMENT TAG	MANUFACTURER	MODEL	TOTAL C.F.M.	TOTAL HEATING (MBH)	HOT WATER (GPM)	WATER PD (FT)	MOTOR NOM. H.P. VOLT. PHASE HZ.	REMARKS
UH-1	STERLING	HS-60	900	43,600	4.4	.17	1/30 115 1 60	

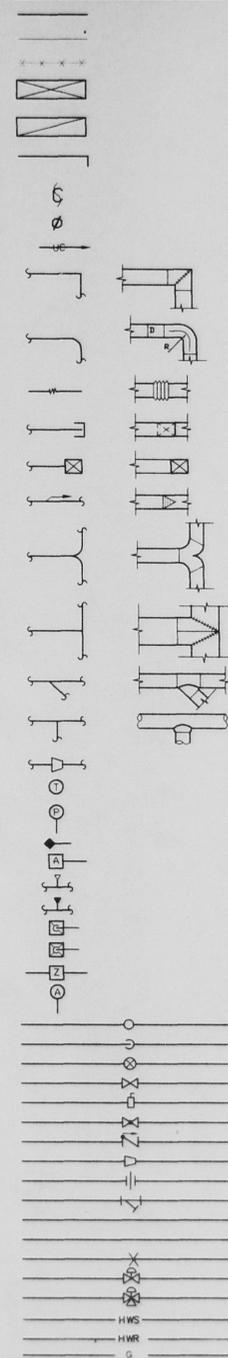
GRILLES, REGISTERS & DIFFUSERS								
EQUIPMENT TAG	MANUFACTURER	MODEL	NECK SIZE	FACE SIZE (W x H)	MATERIAL	FINISH	RANGE	REMARKS
SG-1	ANEMOSTAT	MV-600	-	12 x 24	ALUMINUM	WHITE ENAMEL	400 C.F.M.	
SG-2	ANEMOSTAT	IGSZV	-	34 x 36	ALUMINUM	WHITE ENAMEL	6,000 C.F.M.	

SUPPLY/EXHAUST FAN SCHEDULE												
EQUIPMENT TAG	MANUFACTURER	MODEL	SERVICE	FAN C.F.M.	FAN BHP	FAN R.P.M.	STATIC PRESSURE INCH H ₂ O	MOTOR			REMARKS	
								NOM. H.P.	VOLT.	PHASE HZ.		
SF-1	LOREN COOK	135 CFS	WET WELL	2,000	.32	1,192	1/2	1/2	480	3	60	
EF-1	LOREN COOK	150 CPA	WET WELL	2,000	.38	1,217	1/2	1/2	480	3	60	
SF-2	LOREN COOK	30EWA28B	DRY WELL	10,800 / 5,400	1.8	1,159	1/4	2	480	3	60	SUPPLY SERVICE, ALUMINUM CONSTRUCTION, 2 SPEED MOTOR
EF-2	LOREN COOK	30EWA28B	DRY WELL	10,800 / 5,400	2.2	1,230	3/8	3	480	3	60	EXHAUST SERVICE, ALUMINUM CONSTRUCTION, 2 SPEED MOTOR

HVAC ABBREVIATIONS

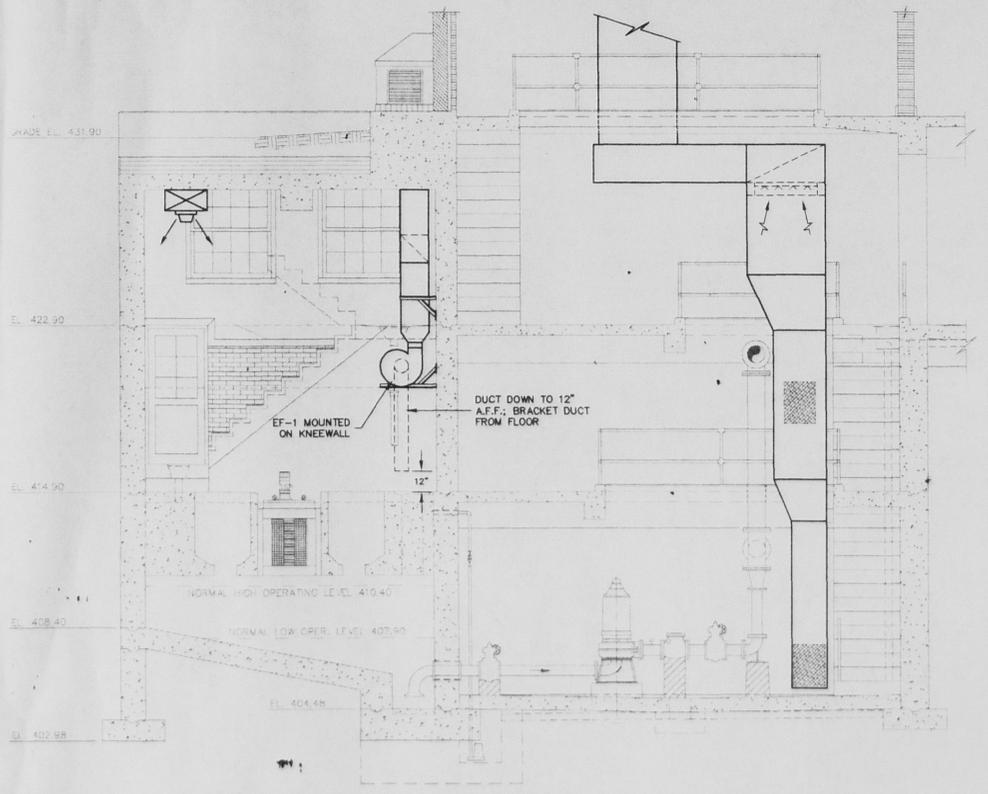
- | | |
|---|--|
| AD - ACCESS DOOR | CW - QTY WATER (COLD) SUPPLY |
| AFF - ABOVE FINISHED FLOOR | (E) - EXISTING |
| BHP - BRAKE HORSEPOWER | EF-1 - EXHAUST FAN NO. 1 |
| BTUH - BRITISH THERMAL UNIT PER HOUR | ESP - EXTERNAL STATIC PRESSURE |
| CA - COMBUSTION AIR | HWR - HOT WATER RETURN |
| CC - COOLING COIL | HWS - HOT WATER SUPPLY |
| CD - CEILING DIFFUSER | MD - MOTORIZED DAMPER |
| CFM - CUBIC FEET PER MINUTE | (N) - NEW |
| CP - CIRCULATOR PUMP | OAE - OR ACCEPTABLE EQUAL |
| CJ - CONDENSING UNIT | OBD - OPPOSED BLADE DAMPER |
| DB - DRY BULB | P - PRESSURE GAUGE |
| DX - DIRECT EXPANSION | PBD - PARALLEL BLADE DAMPER |
| EAT - ENTERING AIR TEMPERATURE | PTD - PIPE TO DRAIN |
| EDB - ENTERING DRY BULB | PS - POUNDS PER SQUARE INCH |
| EF - EXHAUST FAN | PSIA - POUNDS PER SQUARE INCH ABSOLUTE |
| EWB - ENTERING WET BULB | PSIG - POUNDS PER SQUARE INCH GAUGE |
| F - FRESH AIR | PVC - POLYVINYL CHLORIDE |
| FA - FIRE DAMPER WITH ACCESS DOOR | RA - RETURN AIR |
| FD - FEET PER MINUTE | RG - RETURN GRILLE |
| FPS - FEET PER SECOND | RP - REVOLUTION PER MINUTE |
| GA - GAUGE | SA - SUPPLY AIR |
| GPM - GALLONS PER MINUTE | SP - STATIC PRESSURE |
| HC - HEATING COIL | SS - STAINLESS STEEL |
| HP - HORSE POWER | TDH - TOTAL DYNAMIC HEAD |
| ID - INSIDE DIAMETER | TR, TG - TOP REGISTER, TOP GRILLE |
| IPS - IRON PIPE SIZE | UH-1 - UNIT HEATER NO. 1 |
| KW - KILOWATT | UN - UNLESS OTHERWISE NOTED |
| LBS - POUNDS | VD - VOLUME DAMPER |
| LED - LEAVING DRY BULB | VTR - VENT THROUGH ROOF |
| LWB - LEAVING WET BULB | WB - WET BULB |
| MBH - THOUSAND BTU PER HOUR | WC - WATER COLUMN |
| MD - NOT IN CONTRACT | WD - WALL DIFFUSER |
| NO - NORMALLY OPEN | WG - WATER GAUGE |
| NPSH - NET POSITIVE SUCTION HEAD | ZV - ZONE VALVE |
| NTS - NOT TO SCALE | |
| OA - OUTSIDE AIR | |
| OAI - OUTSIDE AIR INTAKE | |
| BR, BG - BOTTOM REGISTER, BOTTOM GRILLE | |
| CD - CEILING DIFFUSER | |
| CO - CLEAN OUT | |
| CR, CG - CEILING REGISTER, CEILING GRILLE | |

MECHANICAL LEGEND

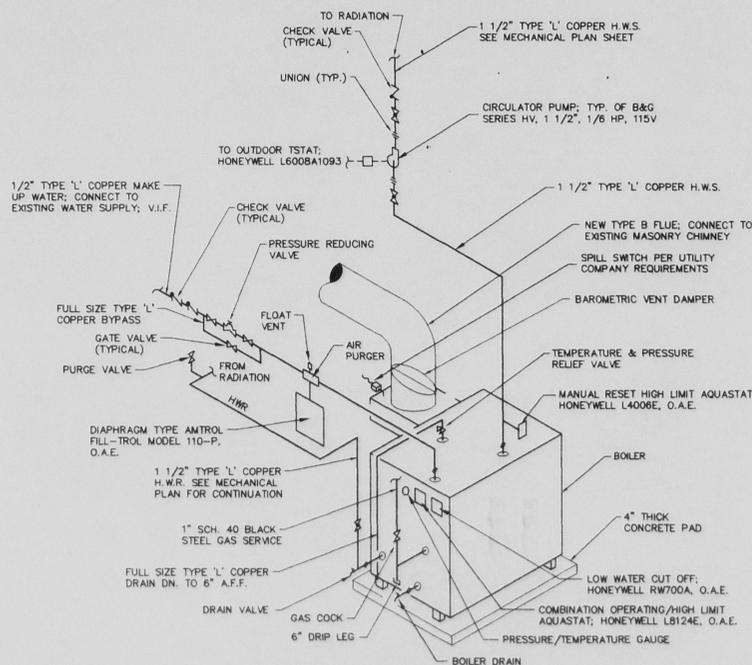


MECHANICAL NOTES:

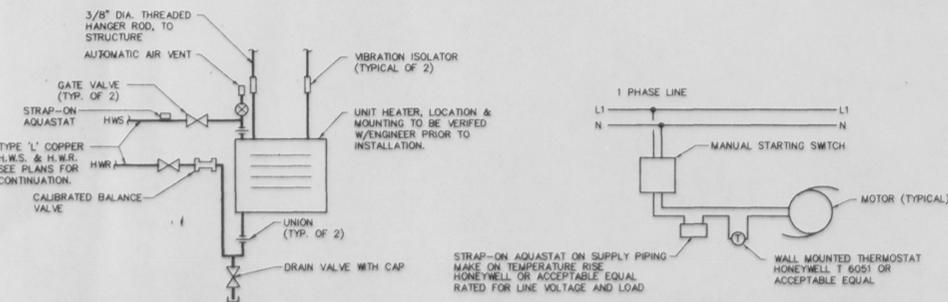
- All work and equipment shall be in accordance with all applicable local and government codes, rules and regulations including the N.Y.S. Energy Conservation Construction Code. Any work necessary due to non-compliance with applicable codes shall be furnished and installed by the Contractor at no additional cost to the Owner.
- All ductwork shall be fabricated and installed in accordance with the latest ASHRAE and SMACNA standards.
- Contractor shall furnish all components, equipment and labor necessary for complete operational systems whether specifically shown or called for on the Plans or Specifications.
- The Contractor shall submit to the Engineer for acceptance six (6) sets of the shop drawings for all system components including ductwork and equipment prior to the purchase or fabrication of the components.
- The entire system shall be balanced to within 10% of the specified volumes and tested by an acceptable Agency prior to acceptance.
- The location of all equipment, piping and ducts shall be considered approximate. Final locations and routing shall be verified with the Engineer prior to installation. Routing shall be so as not to interfere with work of other trades or the operation and maintenance of other equipment.
- All work and equipment shall be fully warranted and guaranteed to be free from defects for a minimum of one year, commencing on the date of Final Acceptance by the Owner.
- Duct work shall be offset as necessary to clear structural members.
- Duct connections to HVAC equipment shall be made using flexible canvas connections.
- Thermostats shall meet the requirements of the N.Y.S. Energy Conservation Construction Code.
- The Electrical Contractor shall be responsible for all power supply wiring, conduit and fittings for the HVAC equipment.
- Furnish and install dampers, air extractors, and transition fittings where shown and/or as required for balancing and proper connections and operation. Furnish and install dampers at all branch duct connections. Branch dampers shall have locking quadrant adjustments.
- Rectangular supply and exhaust air ducts shall be aluminum construction, fabricated leaktight and adequately braced. Ducts and plenums 18" and greater shall be cross braced. All necessary duct transitions and fittings shall be furnished and shall be fabricated of aluminum. See specifications for additional requirements.
- All square turns in supply, return and exhaust air ductwork shall have double thickness turning vanes.
- All hot water supply and return piping shall be insulated with preformed fiberglass pipe insulation with oil service jacket. Pipe insulation shall be 1-1/2" thick up to including 2" diameter piping. Fittings shall be covered with plastic insulation covers (fire resistant), typical of Zeston or acceptable equal. Insulation to be typical of Owens Corning, Certain Teed or acceptable equal.
- All piping to be run parallel or perpendicular to building structures. All piping to be securely supported from building structures using hangers manufactured for this purpose.
- Piping:
 - Water Supply - Type "L" Copper Tubing
 - Return - Type "L" Copper Tubing
 All with 50-50 solder joints and wrought copper fittings.
- Contractor shall test all piping to 1.5 times maximum working pressure without leakage in the presence of the Engineer prior to concealment.
- No structural member shall be drilled or cut for the installation of piping without the express written acceptance of the Engineer.
- Piping shall be run with maximum clearance above finished floors, so as not to cause a hazard to any personnel and so as not to interfere with the work of other trades or operation of other facilities or equipment.
- Furnish and install 3/4" valved drains at all low points in water piping.
- Furnish and install resilient grommets around heat piping at all pipe penetrations of finished floors and/or walls.
- All branch runouts shall be 3/4" unless otherwise noted.
- Furnish and install manual air vents on vent elbows at the inlet of each section of baseboard radiation.
- Furnish and install automatic air vents at all high points in piping.
- All air vents shall be installed in accessible locations. Verify actual locations in field.
- Fill and seal around all penetrations of fire rated floors, walls and ceilings with U.L. approved sealant.



SECTION D-D
SCALE: 1/4"=1'-0"

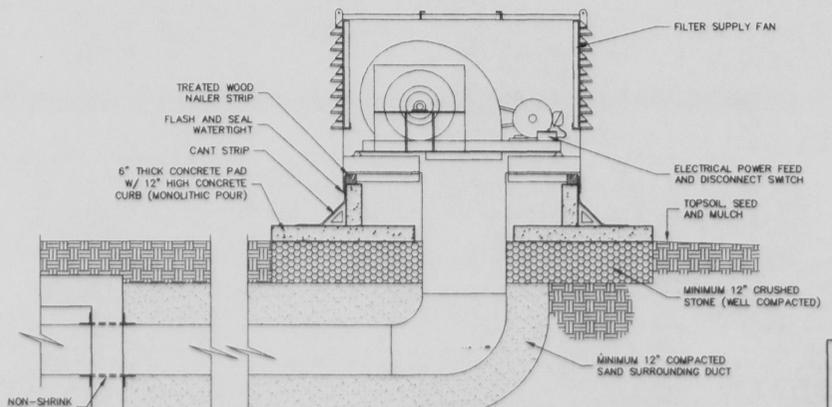


BOILER PIPING DETAIL
SCALE: NONE

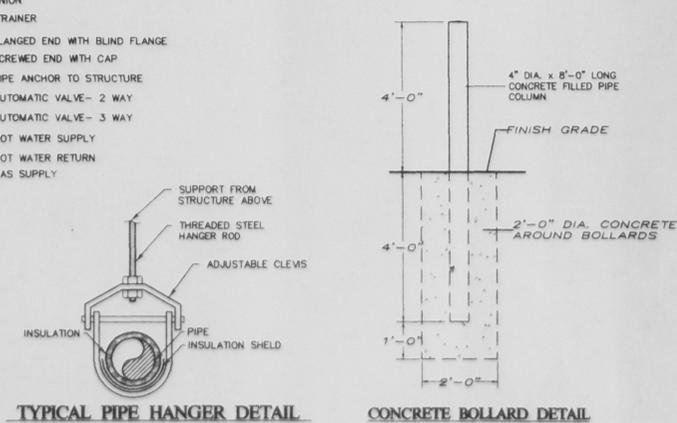


HORIZONTAL UNIT HEATER DETAIL
SCALE: NONE

UNIT HEATER WIRING DIAGRAM DETAIL
SCALE: NONE



FILTER SUPPLY FAN DETAIL
SCALE: NONE



TYPICAL PIPE HANGER DETAIL
NO SCALE

CONCRETE BOLLARD DETAIL
SCALE: NONE

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CONSULTING ENGINEERS, P.C.
40 Quaback Avenue (Rte. 9-W)
New Windsor, New York 12553
(914) 562-8640

Plan for:
STAS
SEWAGE PUMP STATION AND FORCE MAIN
Town of New Windsor Orange County, N.Y.

Revision	Date	Description
A	7/19/99	FINAL COORDINATION SET.

Design	Drawn	Checked	Scale	Date	Job No.
L.R.S.	H.P.B.	J.M.F.	AS SHOWN	5/5/99	98-198

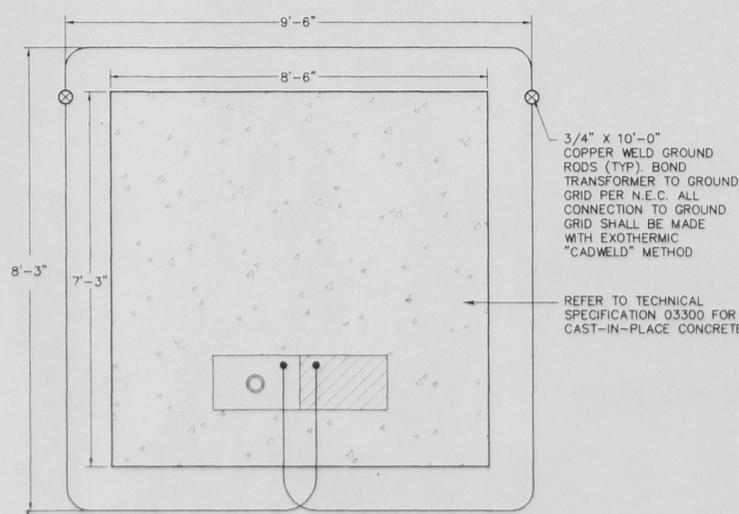
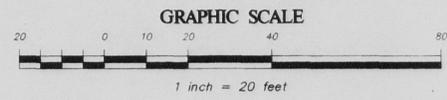
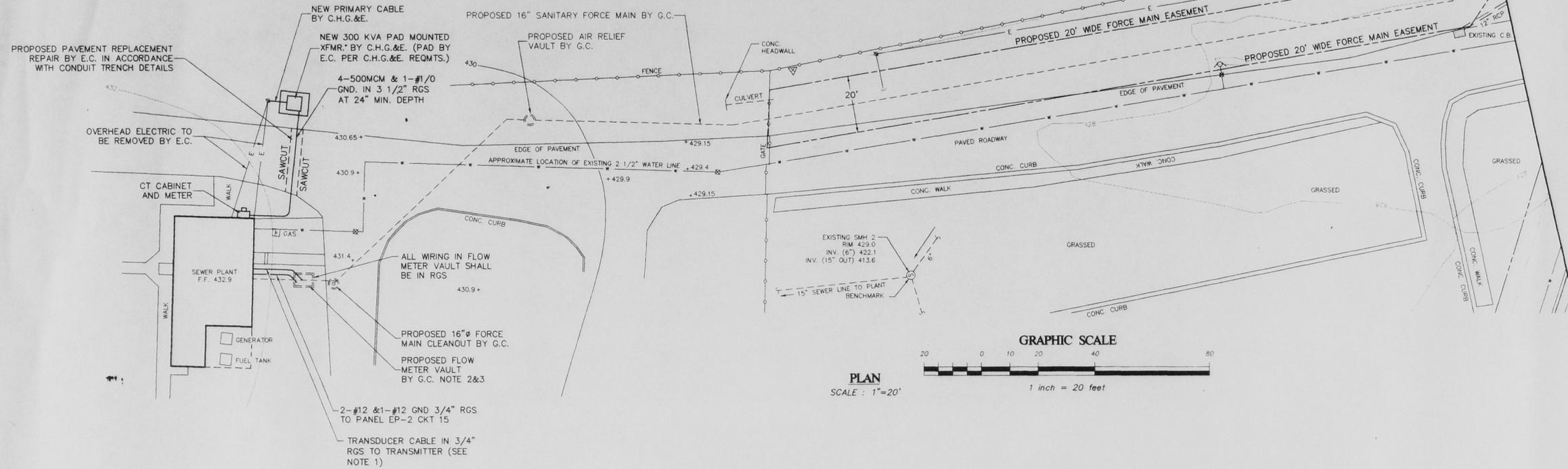
PHASE II
PUMP SYSTEM FACILITY
MECHANICAL DETAILS

Sheet:
M-2
196M(2)(48)

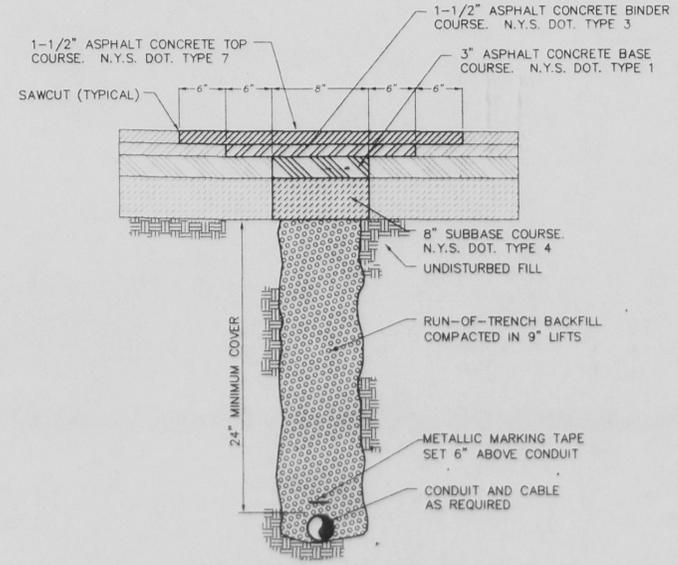
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LEGEND

- | | | | | | |
|-----|---------------------------|-------|------------------------|------|----------------------------|
| (S) | EXISTING SANITARY MANHOLE | (T) | EXISTING TREE OR SHRUB | --- | EXISTING SANITARY LINE |
| (W) | EXISTING WATER MANHOLE | (+) | LIGHT POLE | (□) | EXISTING CATCH BASIN |
| (D) | EXISTING STORM MANHOLE | (---) | EXISTING CONTOURS | (=) | EXISTING UTILITY POLE |
| (E) | EXISTING OVERHEAD WIRES | (---) | EXISTING FENCELINE | (-) | GUY ANCHOR |
| (=) | EXISTING STORM DRAINAGE | (=) | EXISTING WATER VALVE | (--- | PROPOSED EASEMENT BOUNDARY |
| | | (=) | EXISTING HYDRANT | (--- | PROPOSED SEWER FORCE MAIN |



TRANSFORMER PAD GROUND GRID DETAIL
SCALE: NONE



CONDUIT TRENCH AT PAVEMENT DETAIL
SCALE: NONE

NOTES:

1. FLOW METER TRANSMITTER TO BE TEMPORARILY MOUNTED BY G.C. IN BUILDING FOYER. E.C. TO PROVIDE TEMPORARY POWER AND CONNECTION TO TRANSMITTER FOR USE OF FLOW METER UNTIL SUCH TIME THAT THE TRANSMITTER IS PERMANENTLY INSTALLED AND INTERCONNECTED IN THE CONTROL ROOM.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL ELECTRICAL CONNECTION & NEMA 7 DISCONNECT SWITCH FOR 1/2 HP SUMP PUMP. LOCATE DISCONNECT SWITCH IN LINE OF SITE OF PUMP ON WALL.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL 2-60W EXPLOSION PROOF WALL MOUNTED LIGHT FIXTURES WITH EXPLOSION PROOF SWITCH LOCATED NEAR ACCESS HATCH & LADDER. CONTRACTOR SHALL PROVIDE & INSTALL 2-20A WATERPROOF DUPLEX RECEPTACLES LOCATED ON WALLS.

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45 Quassaick Avenue (Rte. 9-W) New Windsor, New York 12552 (914) 562-8640
507 Broad Street Milford, Pennsylvania 18337 (570) 298-2765

Revision	Date	Description
A	7/19/99	FINAL COORDINATION SET.

Plan for: **STAS**
SEWAGE PUMP STATION AND FORCE MAIN
Town of New Windsor Orange County, N.Y.

Design: J.F.
Drawn: H.P.B.
Checked: J.M.F.
Scale: As shown
Date: 12/15/98
Job No: 98-196

PUMP SYSTEM FACILITY ELECTRICAL SITE PLAN AND DETAILS

Sheet: **EP-1**
196EP(20)

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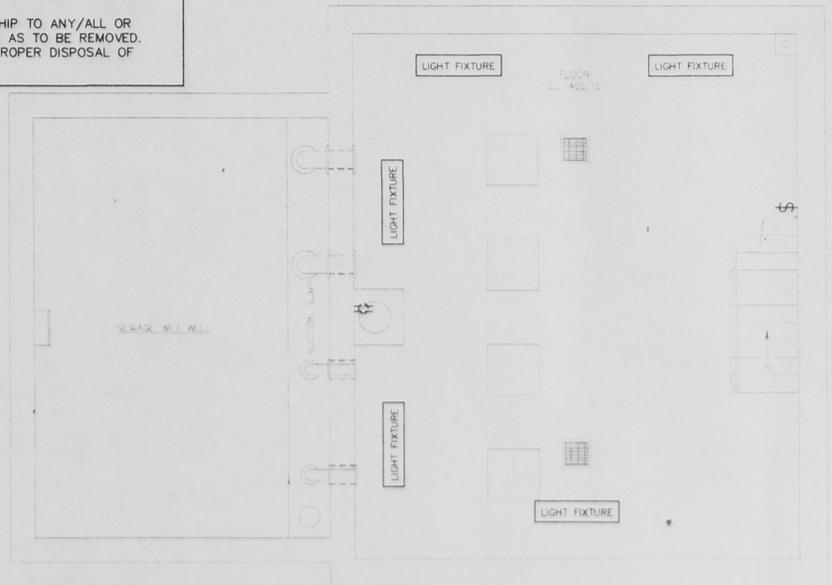
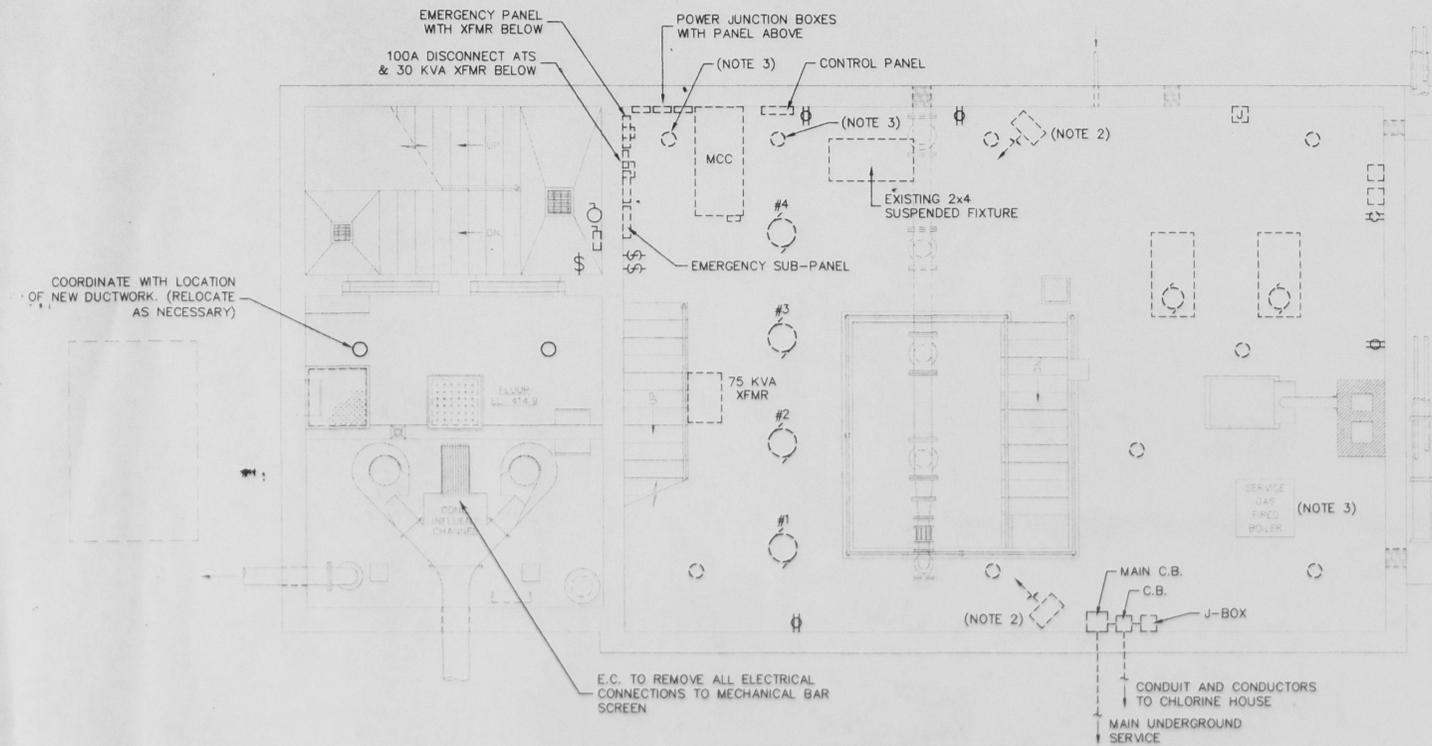
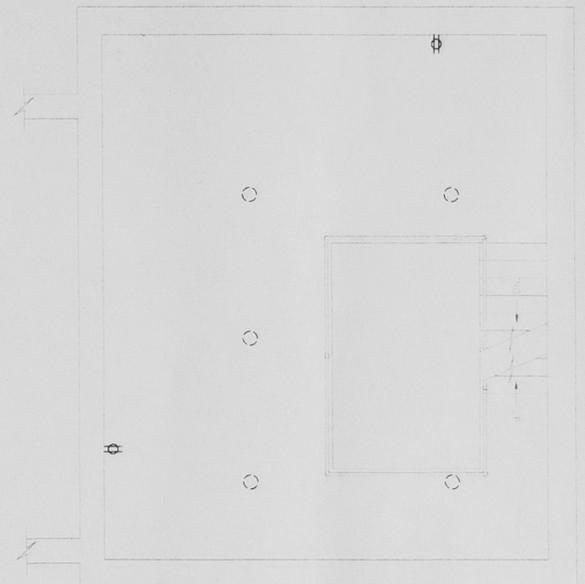
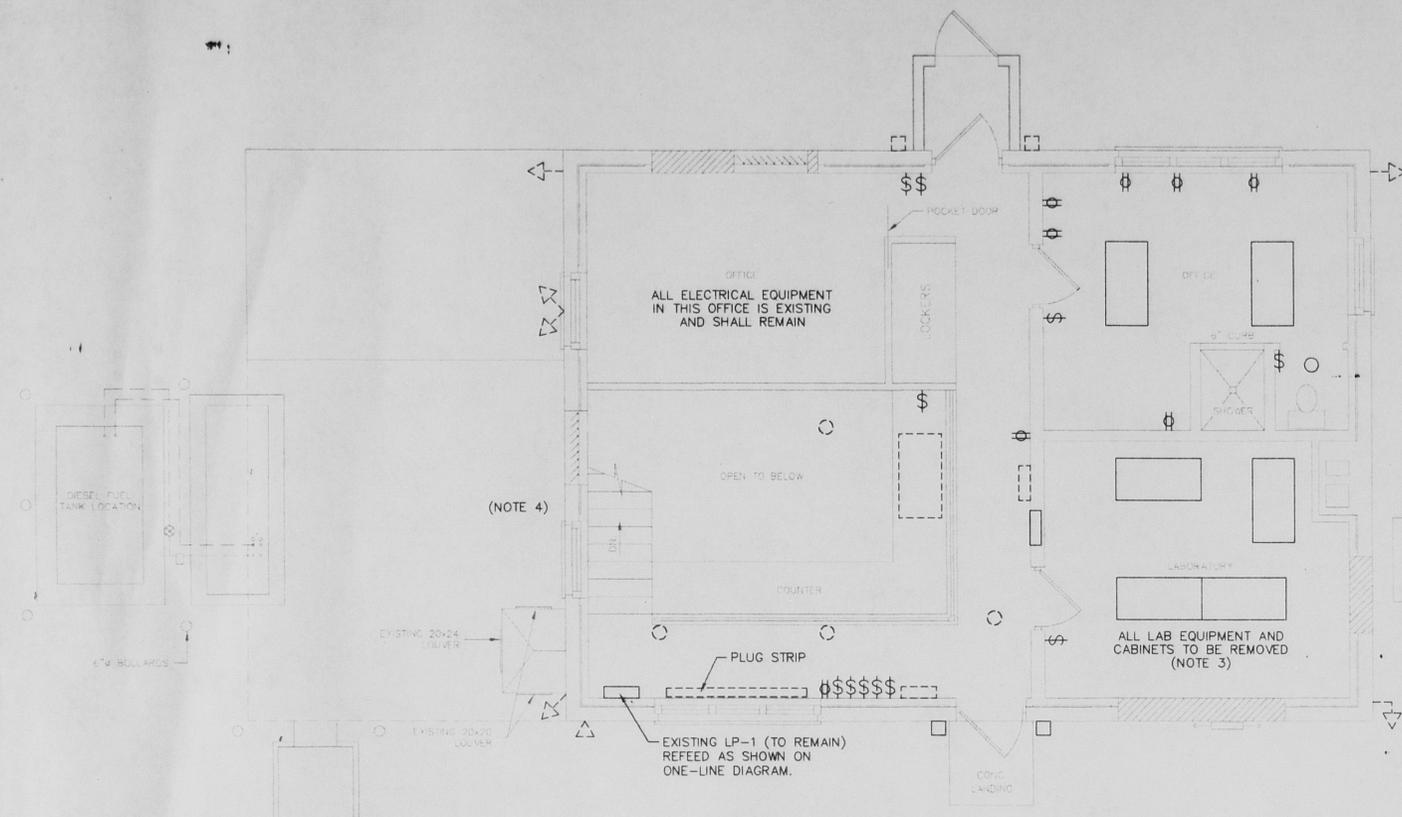
196EP(20) 12/15/98 J.M.F. 12/15/98

LEGEND AND SCHEDULE OF EQUIPMENT TO BE REMOVED:

-  MOTOR, VARIOUS HORSEPOWER
-  SUSPENDED LIGHT FIXTURE

- FIRST LEVEL NOTES:**
1. ALL EQUIPMENT SHOWN AS SOLID IS EXISTING AND SHALL REMAIN. EQUIPMENT SHOWN AS DASHED IS EXISTING AND SHALL BE REMOVED AND PROPERLY DISPOSED OF.
 2. THE REMOVAL OF ALL ELECTRICAL EQUIPMENT SHALL INCLUDE ALL CONDUITS AND CONDUCTORS. ALL CONDUITS AND CONDUCTORS SHALL BE REMOVED OR TERMINATED IN AN ACCEPTABLE MANNER.
 3. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL EQUIPMENT ASSOCIATED WITH ANY LAB EQUIPMENT. EQUIPMENT SHALL INCLUDE RECEPTACLES, LIGHTS, SWITCHES, CONDUITS AND CONDUCTORS. CONDUITS AND CONDUCTORS SHALL BE REMOVED BACK TO PANEL. LABEL BREAKERS AS SPARE.
 4. THE CONTRACTOR SHALL REMOVE CONDUIT AND CONDUCTORS FROM THE GENERATOR TO ATS. PATCH AND REPAIR ALL HOLES IN EXISTING WALL LEFT FROM REMOVAL.
 5. THE OWNER RESERVES THE RIGHT OF OWNERSHIP TO ANY/ALL OR NONE OF THE EQUIPMENT AND MATERIALS NOTED AS TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL MATERIALS.

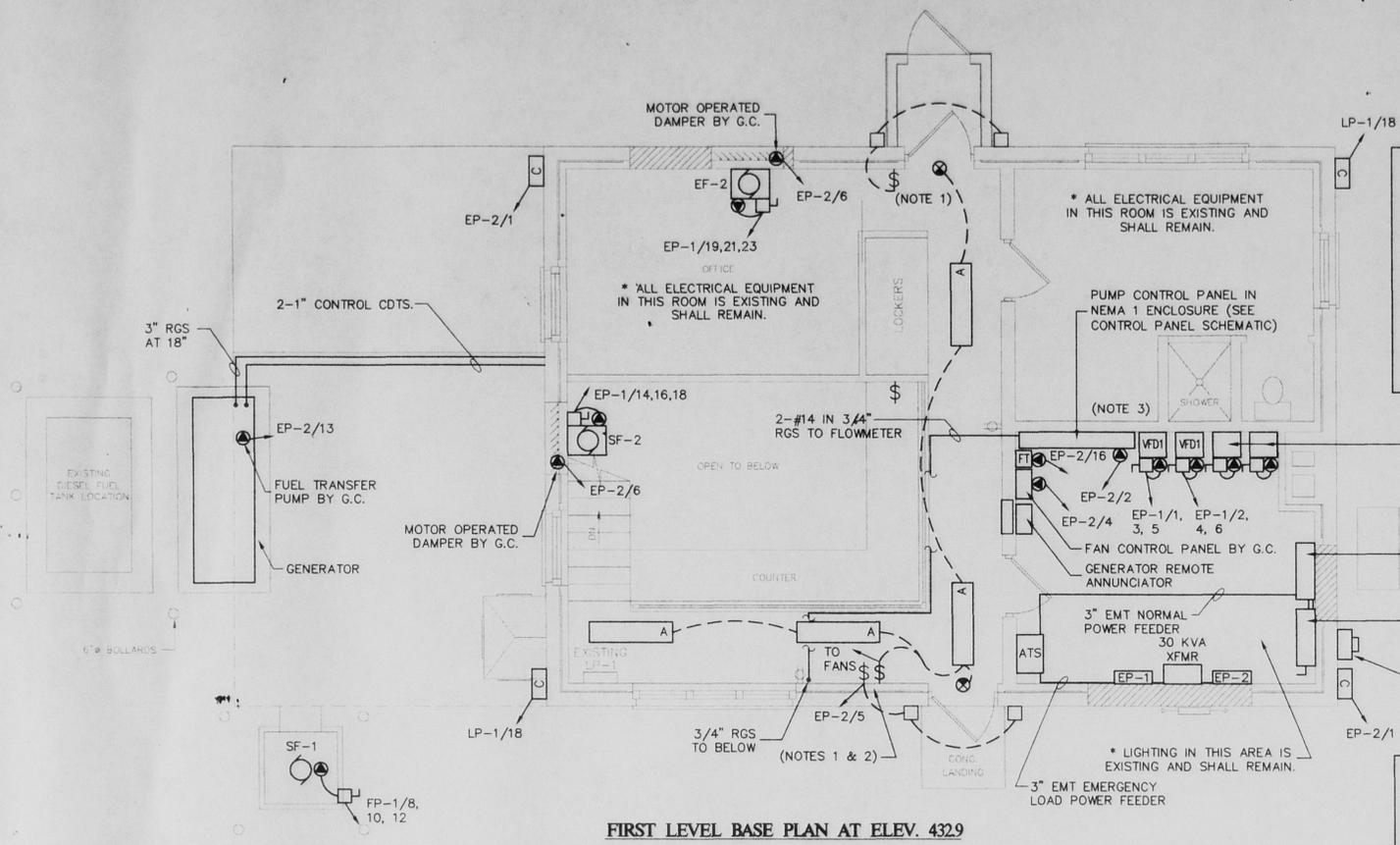
- SECOND LEVEL NOTES:**
1. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EQUIPMENT SHOWN AS DASHED. THE REMOVAL OF EQUIPMENT SHALL INCLUDE BUT NOT BE LIMITED TO DISCONNECT SWITCHES, DEVICES, MOTORS, CONDUIT, CONDUCTORS AND ALL ACCESSORIES RELATED TO THE PIECE OF EQUIPMENT BEING REMOVED. ALL CONDUIT AND CONDUCTORS SHALL BE REMOVED OR TERMINATED IN AN ACCEPTABLE MANNER.
 2. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL CONNECTIONS TO UNIT HEATERS. REMOVAL OF HEATERS SHALL BE BY GENERAL CONTRACTOR.
 3. REMOVE ALL ELECTRICAL CONNECTIONS TO EXISTING BOILER BACK TO PANEL. REMOVAL SHALL INCLUDE ALL WIRING AND CONDUIT. BOILER TO BE REMOVED BY GENERAL CONTRACTOR.
 4. THE OWNER RESERVES THE RIGHT OF OWNERSHIP TO ANY/ALL OR NONE OF THE EQUIPMENT AND MATERIALS NOTED AS TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ALL MATERIALS.



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 McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C. 45 Quabbin Avenue (Rte. 9-W) New Windsor, New York 12553 (518) 562-8640			Plan for: S T A S SEWAGE PUMP STATION AND FORCE MAIN Town of New Windsor Orange County, N.Y.	
Revision A 7/19/99 FINAL COORDINATION SET.	Design: T.F. Drawn: H.P.B. Checked: J.M.F. Scale: AS SHOWN Date: 5/5/99 Job No: 98-196	PUMP SYSTEM FACILITY ELECTRICAL DEMOLITION FLOOR PLANS		Sheet: ED-1 196ED(48)



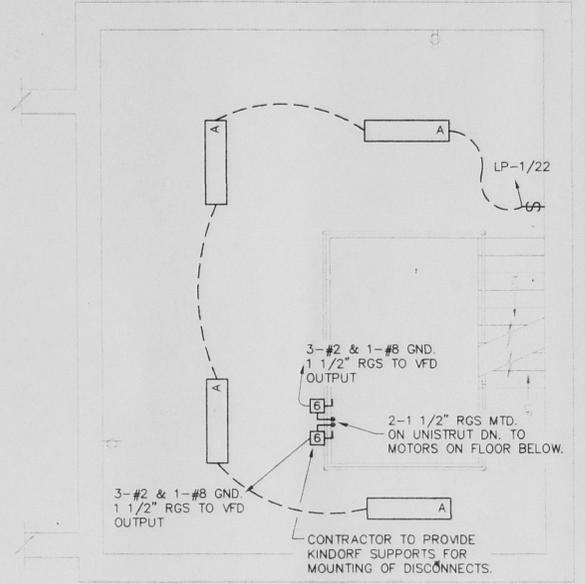
FIRST LEVEL BASE PLAN AT ELEV. 432.9
SCALE: 1/4"=1'-0"

FIRST LEVEL NOTES:

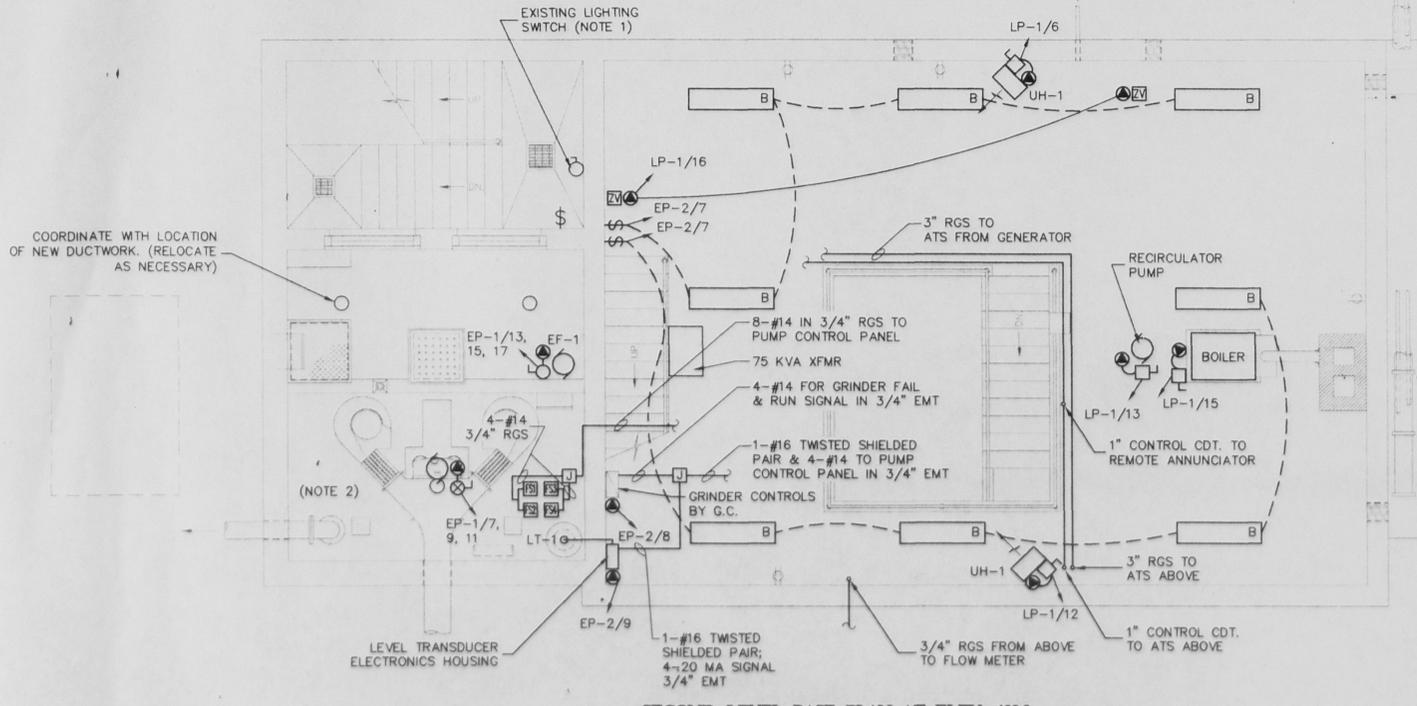
1. CONTRACTOR SHALL REVISE EXISTING WRING AT SWITCH BANKS TO ACCOMPLISH SWITCHING AS SHOWN. PROVIDE ALL ACCESSORIES NECESSARY.
2. EXHAUST FAN EF-2 AND SUPPLY FAN SF-2 SHALL BE INTERCONNECTED TO THE FIRST LEVEL LIGHTING SUCH THAT THE FANS ARE ACTIVATED WHEN THE LIGHTS ARE TURNED ON. CONTRACTOR SHALL PROVIDE CONTACTS, RELAYS, WRING, CONDUIT AND ALL APPURTENANCES NECESSARY TO ACCOMPLISH THE ABOVE. COORDINATE WITH GENERAL CONTRACTOR AND FAN CONTROL PANEL.
3. ALL CONTROL SYSTEM COMPONENTS INCLUDING CONTROLLERS, ALARMS, RELAYS AND CONTACTS SHALL BE CONTAINED IN ONE ENCLOSURE TO BE MOUNTED ON WALL.

SECOND LEVEL NOTES:

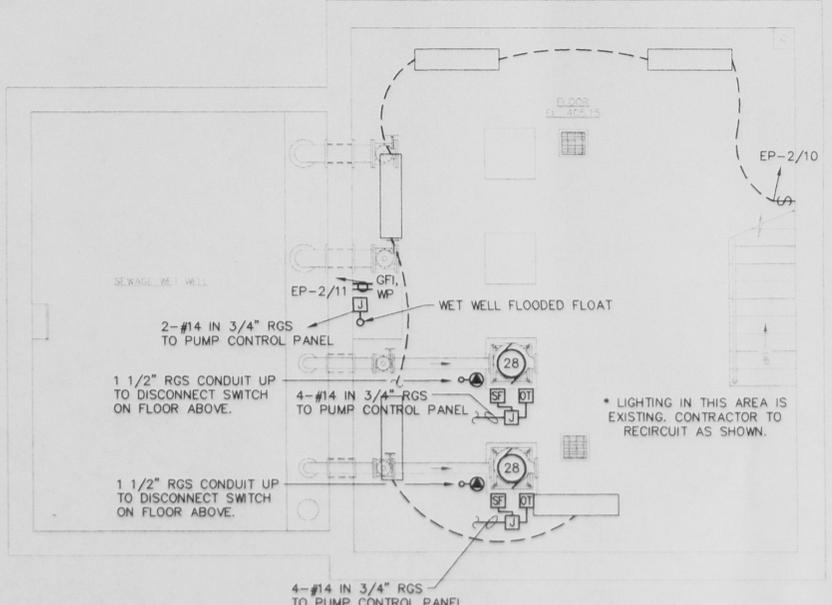
1. EXHAUST FAN EF-1 & SUPPLY FAN SF-1 SHALL BE INTERCONNECTED TO THE WET WELL LIGHTING SUCH THAT THE FANS ARE ACTIVATED WHEN THE LIGHTS ARE TURNED ON. THE CONTRACTOR SHALL PROVIDE CONTACTS, RELAYS, WRING, CONDUIT AND ALL APPURTENANCES NECESSARY TO ACCOMPLISH ABOVE. ALL EQUIPMENT INSTALLED SHALL BE EXPLOSION PROOF RATED FOR A CLASS I, GROUP D, DIVISION 2 INSTALLATION. COORDINATE WITH THE GENERAL CONTRACTOR.
2. ALL EQUIPMENT INSTALLED IN THE WET WELL SHALL BE EXPLOSION PROOF RATED FOR CLASS I, GROUP D, DIVISION 2 INSTALLATION. ALL CONDUIT SHALL BE THREADED RIGID METAL CONDUIT.



THIRD LEVEL BASE PLAN AT ELEV. 414.9
SCALE: 1/4"=1'-0"



SECOND LEVEL BASE PLAN AT ELEV. 422.9
SCALE: 1/4"=1'-0"



FOURTH LEVEL BASE PLAN AT ELEV. 405.15
SCALE: 1/4"=1'-0"

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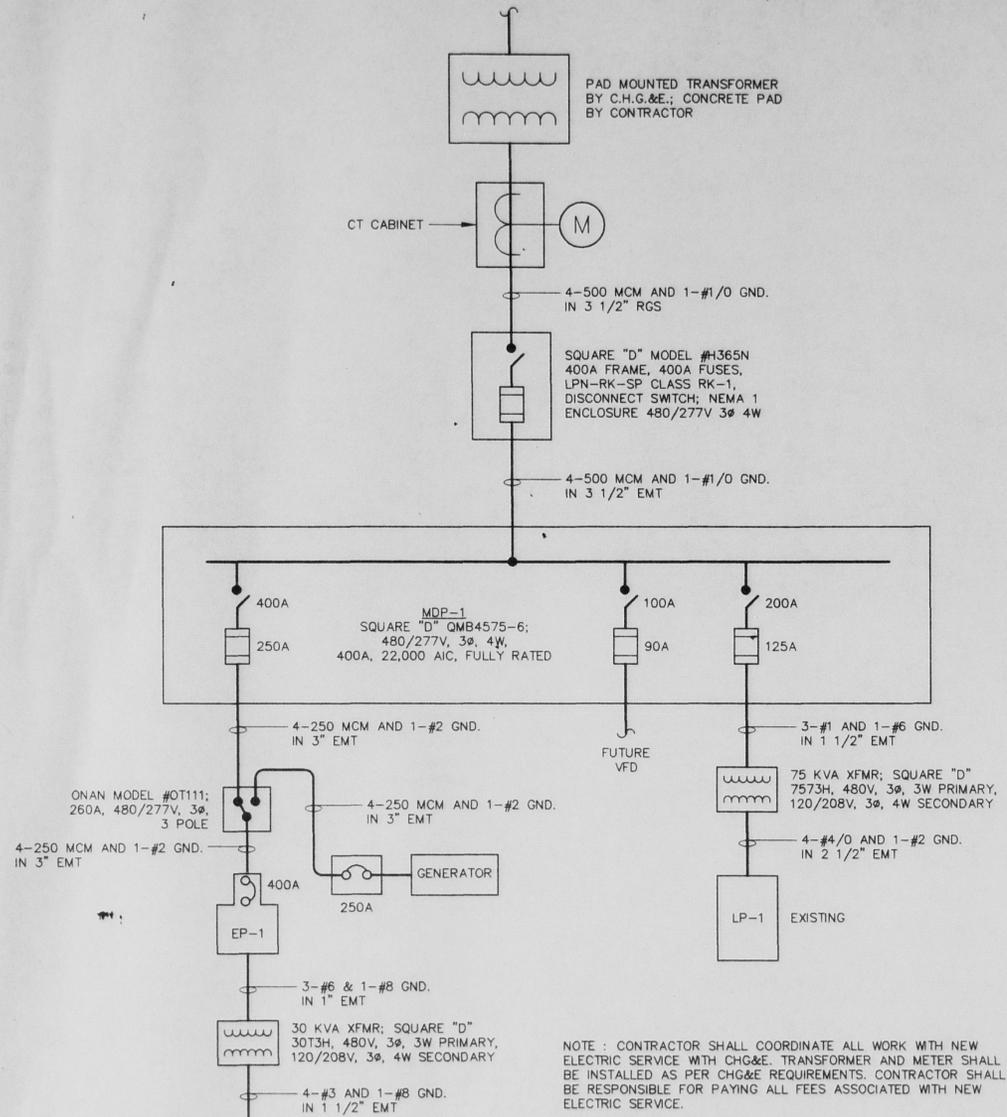
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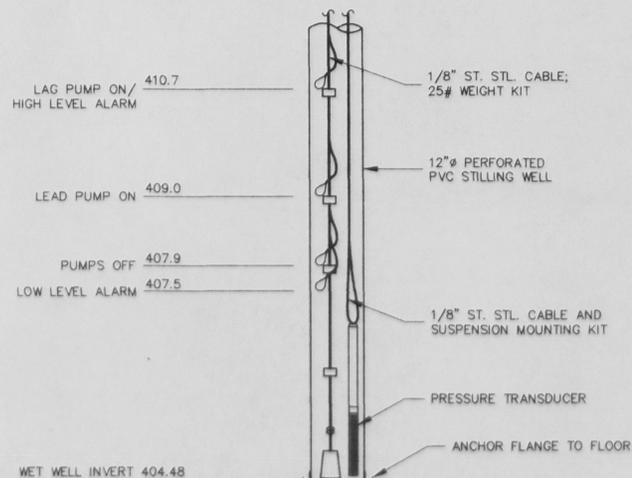
Plan for: **STAS**
SEWAGE PUMP STATION AND FORCE MAIN
Town of New Windsor Orange County, N.Y.

Revision	Date	Description
A	7/19/99	FINAL COORDINATION SET.

Design: IF	PUMP SYSTEM FACILITY ELECTRICAL PLANS	E-1 <small>198E(48)</small>
Drawn: H.P.B.		
Checked: J.M.F.		
Scale: AS SHOWN		
Date: 12/15/98		
Job No: 98-196		



ONE-LINE DIAGRAM
SCALE: NONE



CONTROL SYSTEM DETAIL
SCALE: NONE

LEGEND AND SCHEDULE OF ELECTRICAL EQUIPMENT			
SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION
A	LIGHTOLIER	STW240	SEALATRON SURFACE MOUNT FIXTURE W/ SMOOTH VIRGIN ACRYLIC LENS; U.L. LISTED FOR WET LOCATIONS; PROVIDE W/ 2-32W T-8 LAMPS & 1-2 LAMP ELECTRONIC BALLAST; 120V
B	LIGHTOLIER	STW240	SAME AS ABOVE EXCEPT TO BE PROVIDED W/ 12" CHAIN HANGERS TO SUSPEND FIXTURES FROM CEILING
C	HUBBELL	PVL-1005-128 PBT-1	PERIMALITER WALL PACK W/ POLYCARBONATE LENS; U.V. STABILIZED; 100W HPS LAMP W/ HIGH POWER FACTORY BALLAST; PROVIDE FIXTURE W/ PHOTO CONTROL; 120V
⊗	PRESCOLITE	PEXL-3R-EN	THERMOPLASTIC LED EXIT SIGN; WHITE BODY W/ RED L.E.D. LITE STRIP; PROVIDE MOUNTING ACCESSORIES AND FACES AS SHOWN ON PLANS
VFD1	ROBICON	454GT	PWM 30 HP VARIABLE FREQUENCY DRIVE W/ DOOR MOUNTED MEMBRANE KEYPAD, AUTOMATIC BYPASS AND FEATURES AS DESCRIBED IN THE SPECIFICATIONS
30 KVA	SQUARE "D"	---	30 KVA DRY TYPE TRANSFORMER; 3Ø; 3W PRIMARY; 120/208V; 3Ø; 4W SECONDARY
\$	LEVITON	1221-2	TOGGLE SWITCH; 20A; 120V
□	---	---	DISCONNECT SWITCH; FUSED OR INFUSED AS PER N.E.C.
○	---	---	EXPLOSION PROOF DISCONNECT SWITCH AS PER N.E.C.; NEMA 7 ENCLOSURE RATED FOR CLASS I, GROUP D
⊗	SQUARE "D"	---	CLASS 8539 COMBINATION DISCONNECT AND STARTER W/ THERMAL MAGNETIC CIRCUIT BREAKER; NEMA SIZE 1 STARTER W/ NEMA TYPE 7 ENCLOSURE RATED FOR CLASS I, GROUP D HAZARDOUS LOCATIONS
⊗	---	---	SPECIAL PURPOSE CONNECTION
⊗	---	---	DISCONNECT SWITCH; NEMA 6 ENCLOSURE AS PER N.E.C.
○LT-1	CONSOLIDATED ELECTRIC	241GSCI	SUBMERSIBLE LEVEL TRANSDUCER TO OPERATE ON 120V AC POWER AND PRODUCE A 4-20 MA DC SIGNAL. PROVIDE TRANSDUCER WITH NEMA 3X ELECTRONICS; HOUSING TO BE MOUNTED WHERE SHOWN. PROVIDE CABLE LENGTH AS REQUIRED. MOUNT TRANSDUCER PER MANUFACTURER'S RECOMMENDATIONS.
FS	CONSOLIDATED ELECTRIC	LSM	DIRECT ACTING FLOAT SWITCH WITH MERCURY SWITCH. SUPPLY ONE FLOAT FOR EACH CONTROL LEVEL (TOTAL OF 4) THE FLOATS SHALL BE SUSPENSION MOUNTED WITH A WEIGHT KIT. PROVIDE PROPER CABLE LENGTHS FROM THE FLOATS TO THE CONTROLLER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
SF	---	---	SEAL FAILURE ALARM CONTACT FOR MOTOR; PROVIDE NECESSARY CONTACTS, RELAYS AND ACCESSORIES.
OT	---	---	OVER TEMPERATURE ALARM CONTACT FOR MOTOR; PROVIDE NECESSARY CONTACTS, RELAYS AND ACCESSORIES.
→	---	---	HOMERUN BACK TO DESIGNATED PANEL
J	---	---	JUNCTION BOX (SIZED PER N.E.C. REQUIREMENTS)
D620	CONSOLIDATED ELECTRIC	D620	PROGRAMMABLE SPECIAL PURPOSE CONTROLLER; PROVIDE IN NEMA 1 ENCLOSURE. PROVIDE ALL ALARM MODULES, CONTROL RELAYS AND ACCESSORIES NECESSARY TO ACCOMPLISH CONTROL AS PER THE SEQUENCE OF OPERATION.
ATS	ONAN	OTIII	AUTOMATIC TRANSFER SWITCH; 260A; 480/277V; 3Ø; 3 POLE; 6 SECOND TRANSFER TIME BREAK BEFORE MAKE ACTION; NEMA TYPE 12 ENCLOSURE; 200,000 RMS SYMMETRICAL AMPS WITH STAND AND CLOSING RATING.
AD	PHONETICS	EXPRESS	AUTO DIALER ENVIRONMENTAL MONITORING SYSTEM; DIALER SHALL MONITOR UP TO 16 DRY CONTACTS AND DIAL UP TO 8 - 32 DIGIT PHONE NUMBERS. CONNECT TO PHONE LINE. SURFACE MOUNTED IN PUMP CONTROL PANEL.
GENERATOR	ONAN	150DGFA	150KW DIESEL GENERATOR; 3Ø; 4W; UNIT MOUNTED CONTROL PANEL WITH RUN-STOP-REMOTE SWITCH; REMOTE STARTING; 7 LIGHT ENGINE MONITOR; COOLANT AND OIL PRESSURE GAUGE. PROVIDE UNIT WITH WEATHERPROOF ENCLOSURE, 50 GAL. SUBBASE TANK, 1/3 HP, 120V TRANSFER PUMP AND REMOTE ANNUNCIATOR PANEL.
CR	HONEYWELL	DR4500A	CHART RECORDER FOR MONITORING OF WET WELL AND PUMP STATION FLOW. SURFACE MOUNTED IN PUMP CONTROL PANEL.
FT	DYNASONICS	D601-A11A-NN	FLOW METER TRANSMITTER PROVIDED BY THE GENERAL CONTRACTOR

NORMAL OPERATION - AUTOMATIC

- THE PRESSURE TRANSDUCER SENSES THE LEVEL IN THE WET WELL AND SENDS A 4-20 MA SIGNAL TO THE D620 CONTROLLER.
- THE D620 CONTROLLER INTERPRETS THE 4-20 MA SIGNAL AND SENDS A 4-20 MA SIGNAL TO THE VFDS.
- THE D620 CONTROLLER SHALL DETERMINE WHICH VFD AND WHAT SPEED EACH WILL RUN TO HANDLE THE RESPECTIVE LEVELS IN THE WET WELL.

BYPASS MODE OF OPERATION

- IN THE EVENT OF FAILURE OF THE PRESSURE TRANSDUCER, D620 CONTROLLER OR ANY OF THE VFDS, THE LEVEL IN THE WET WELL SHALL RISE TO THE HIGHEST FLOAT LEVEL AND ACTIVATE THE BYPASS MODE. BYPASS MODE SHALL ALSO BE ACTIVATED BY A MANUAL SELECTOR SWITCH.
- BYPASS MODE SHALL DEACTIVATE ALL VFDS AND AUTOMATIC CONTROLS. PUMPS 1 AND 2 SHALL ACTIVATE AND RUN AT FULL SPEED UNTIL THE LEVEL IN THE WET WELL GOES DOWN IN ORDER TO TRIP THE APPROPRIATE FLOAT LEVEL SWITCH AND DEACTIVATE THE RESPECTIVE PUMP.
- THE SYSTEM SHALL REMAIN IN BYPASS MODE UNTIL THE SYSTEM IS MANUALLY RESET BY PUSH BUTTON. ONCE THE MANUAL RESET BUTTON IS PRESSED, THE SYSTEM SHALL OPERATE IN AUTOMATIC MODE.
- MERCURY FLOAT SWITCHES SHALL BE PROVIDED FOR HIGH LEVEL/LAG PUMP ON, LEAD PUMP ON, PUMPS OFF AND LOW LEVEL ALARM.

ALARMS/INDICATIONS

- THE FOLLOWING ALARMS/INDICATIONS SHALL BE DISPLAYED ON THE PUMP CONTROL PANEL.

NORMAL OPERATION	ALARMS
1. PUMP 1 RUNNING	1. GRINDER FAILURE
2. PUMP 2 RUNNING	2. PUMP 1 SEAL FAILURE
3. VFD 1 RUNNING	3. PUMP 1 OVERTEMP
4. VFD 2 RUNNING	4. VFD 1 FAILURE
5. GRINDER RUNNING	5. PUMP 2 SEAL FAILURE
	6. PUMP 2 OVERTEMP
	7. VFD 2 FAILURE
	8. HIGH LEVEL ALARM
	9. LOW LEVEL ALARM
	10. MANUAL/BYPASS MODE ACTIVATED

- CONTRACTOR SHALL SUPPLY ALL CONTACTS, RELAYS, CONDUIT, WIRING, DEVICES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE ABOVE SEQUENCE.

GENERATOR, ATS AND POWER SYSTEM SEQUENCE OF OPERATION

THIS ENTIRE SEQUENCE SHALL REFER TO ALL LOADS ON PANEL EP-1.

NORMAL OPERATION:

UTILITY POWER ACTIVE

- EACH 30 HP VFD, THE FUTURE 60 HP VFD, THE GRINDER MOTOR, THE SUPPLY AND EXHAUST FANS AND THE 30 KVA TRANSFORMER ALL HAVE UTILITY POWER AND ARE OPERATING.

EMERGENCY OPERATION:

UTILITY POWER OUT, GENERATOR ON-LINE

- THE ATS SHALL SENSE NO UTILITY POWER AND SEND A START SIGNAL TO THE GENERATOR. THE GENERATOR SHALL COME UP TO SPEED AND FREQUENCY. ONCE THE UTILITY POWER GOES OUT, A SIGNAL SHALL BE SENT TO OPEN NORMALLY CLOSED CONTACTS IN THE POWER FEEDS TO EACH FAN, INCLUDING SF-1, SF-2, EF-1, EF-2. THIS CONTACT SHALL INHIBIT EACH FAN FROM BEING POWERED BY THE GENERATOR FOR APPROXIMATELY 1 MINUTE. ONCE THE GENERATOR IS AT SPEED AND FREQUENCY THE TRANSFER SWITCH SHALL TRANSFER TO EMERGENCY AND INSTANTANEOUSLY POWER UP BOTH 30 HP VFDS, THE FUTURE 60 HP VFD, THE GRINDER MOTOR AND THE 30 KVA TRANSFORMER. AFTER THE GENERATOR HAS POWERED THE ABOVE LOADS AND COMES BACK UP TO SPEED AND FREQUENCY, APPROXIMATELY 1 MINUTE, EACH OPEN FAN CONTACT SHALL CLOSE AND THE GENERATOR SHALL NOW POWER THE FANS AS WELL AS THE ABOVE LOADS.

- BY IMPLEMENTING THE ABOVE SEQUENCE ON A TRANSFER TO EMERGENCY POWER THE GENERATOR SHALL BE LOADED IN TWO STEPS. THE FIRST STEP SHALL BE THE VFDS, GRINDER MOTOR AND THE 30 KVA TRANSFORMER. THE SECOND STEP SHALL BE THE EXHAUST AND SUPPLY FANS.

RETURN TO NORMAL OPERATION:

UTILITY POWER RETURNS, GENERATOR SHUTDOWN

- THE ATS SHALL SENSE THE RETURN OF UTILITY POWER, TRANSFER TO UTILITY AND ALLOW THE GENERATOR TO COOL DOWN BY RUNNING UNLOADED. THE NORMALLY CLOSED FAN CONTACTS SHALL REMAIN CLOSED.

- CONTRACTOR SHALL SUPPLY ALL CONTACTS, RELAYS, CONDUIT, WIRING, DEVICES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE ABOVE SEQUENCE.

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Plan for: **STAS**
SEWAGE PUMP STATION AND FORCE MAIN
Town of New Windsor Orange County, N.Y.

Revision	Date	Description	Design: T.F.	Drawn: H.P.B.	Checked: J.M.F.	Scale: As shown	Date: 4/22/99	Job No: 98-196
A	7/19/99	FINAL COORDINATION SET.						

PUMP STATION FACILITY ELECTRICAL DETAILS

Sheet: **E-2**

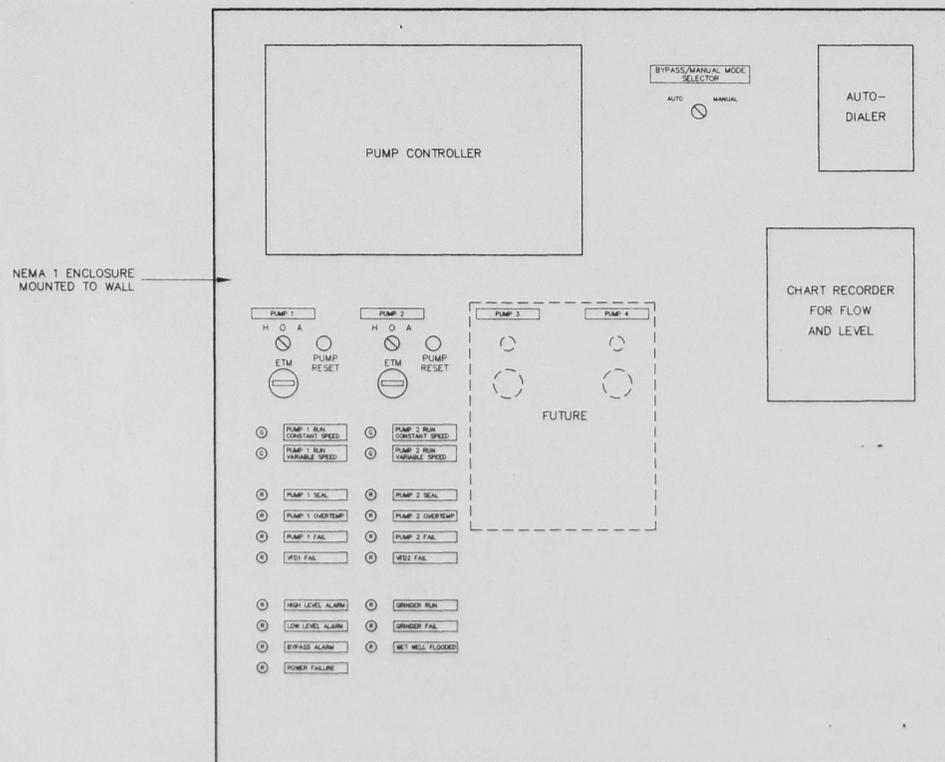
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DISTRIBUTION PANEL EP-1					
LOAD	CONDUCTORS	C.B.		C.B.	LOAD
VFD 1	3-#4 & 1-#8 GND. IN 1" EMT	60	1	60	VFD 1
			2		
			3		
			4		
			5		
			6		
GRINDER MOTOR	3-#12 & 1-#12 GND. IN 3/4" RGS	20	7	20	SF-1
			8		
			9		
			10		
			11		
			12		
EF-1	3-#12 & 1-#12 GND. IN 3/4" RGS	20	13	20	SF-2
			14		
			15		
			16		
			17		
			18		
EF-2	3-#12 & 1-#12 GND. IN 3/4" EMT	20	19	45	30 KVA TRANSFORMER
			20		
			21		
			22		
			23		
			24		
BLANK			25		BLANK
			26		
			27		
			28		
			29		
			30		
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			42		

SQUARE 'D' TYPE NEHB 480/277V, 3Ø, 4W. MAINS: 400A M.C.B. BRACING:
22,000 A.I.C. ENCLOSURE: NEMA TYPE 1, POLES: 42

DISTRIBUTION PANEL EP-2					
LOAD	CONDUCTORS	C.B.		C.B.	LOAD
EXTERIOR LIGHTS	2-#12 & 1-#12 GND. IN 3/4" EMT	20	1	40	PUMP CONTROL PANEL
SPARE		20	2		FAN CONTROL PANEL
			3		
			4		
1ST LEVEL LIGHTING	2-#12 & 1-#12 GND. IN 3/4" EMT	20	5	20	MOTOR OPERATED DAMPER
			6		
2ND LEVEL LIGHTING	2-#12 & 1-#12 GND. IN 3/4" EMT	20	7	20	GRINDER CONTROL PANEL
			8		
TRANSDUCER CONTROLS	2-#12 & 1-#12 GND. IN 3/4" EMT	20	9	20	SPARE
			10		
SUMP PUMP RECEPTACLE	2-#12 & 1-#12 GND. IN 3/4" RGS	20	11	20	SPARE
			12		
TRANSFER PUMP	2-#12 & 1-#12 GND. IN 3/4" RGS	20	13	20	FLOWMETER CHART RECORDER
			14		
FLOW METER VAULT	2-#12 & 1-#12 GND. IN 3/4" RGS	20	15	20	SPARE
			16		
SPARE		20	17	20	SPARE
			18		
			19	20	SPARE
			20		
BLANK			21		BLANK
			22		
			23		
			24		
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			29		
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SQUARE 'D' TYPE NODD 120/208V, 3Ø, 4W. MAINS: 100A M.C.B. BRACING:
22,000 A.I.C. ENCLOSURE: NEMA TYPE 1, POLES: 42



PUMP CONTROL PANEL SCHEMATIC
SCALE: NONE

EXISTING DISTRIBUTION PANEL LP-1					
LOAD	CONDUCTORS	C.B.		C.B.	LOAD
AHU	EXISTING	40	1	30	COMPRESSOR
			2		
			3		
			4		
		20	5	20	2-#12 & 1-#12 GND. IN 3/4" EMT
			6		UNIT HEATER
			7	30	
			8		
		30	9	30	
			10		
			11		
			12		2-#12 & 1-#12 GND. IN 3/4" EMT
RECIRCULATION PUMP	2-#12 & 1-#12 GND. IN 3/4" EMT	20	13	20	EXISTING
			14		OPERATIONS ROOM LIGHTING
BOILER	2-#12 & 1-#12 GND. IN 3/4" EMT	20	15	20	2-#12 & 1-#12 GND. IN 3/4" EMT
			16		ZONE VALVES
PREHEAT AH	EXISTING	30	17	20	2-#12 & 1-#12 GND. IN 3/4" EMT
			18		EXTERIOR LIGHTING
			19	20	EXISTING
			20		OPERATIONS ROOM
LAB LIGHTS	EXISTING	20	21	20	2-#12 & 1-#12 GND. IN 3/4" EMT
			22		3RD LEVEL LIGHTING
			23		
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120/208V, 3Ø, 4W. MAINS, POLES: 42

* ALL BREAKERS SHOWN ARE EXISTING. CONTRACTOR SHALL PROVIDE WIRING TO EQUIPMENT AS SHOWN.

Unauthorized addition or alteration of this plan is a violation of Section 7209(2) of the New York State Education Law.

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MHE McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS, P.C. 45 Quansbach Avenue (Rte. 9-W) New Windsor, New York 12553 (845) 562-8640			Plan for: STAS SEWAGE PUMP STATION AND FORCE MAIN Town of New Windsor Orange County, N.Y.	
Revision A Date 7/19/99 Description FINAL COORDINATION SET.	Design: T.F. Drawn: H.P.B. Checked: J.M.F. Scale: As shown Date: 4/22/99 Job No: 98-196	PUMP STATION FACILITY ELECTRICAL DETAILS		Sheet: E-3 198E3(1)