

PB# 03-19

**Pandarang Prabhu
(SP)**

17-4-14.2

PB # **03-19** PANDARANG PRABHU S.P
RT. 9W - OFFICE ADDITION

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY

DATE: 9-8-03

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/12/2003

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 3-19

NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | MEETING-PURPOSE----- | ACTION-TAKEN----- |
|------------|----------------------|-------------------|
| 09/08/2003 | PLANS STAMPED | APPROVED |
| 07/09/2003 | P.B. APPEARANCE | LA:ND WVE PH APPR |
| 07/02/2003 | WORK SHOP APPEARANCE | SUBMIT |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/12/2003

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LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 3-19

NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| DATE-SENT | ACTION----- | DATE-RECD | RESPONSE----- |
|-----------------|--------------------------------|------------|---------------|
| ORIG 07/07/2003 | EAF SUBMITTED | 07/03/2003 | WITH APPLIC |
| ORIG 07/07/2003 | CIRCULATE TO INVOLVED AGENCIES | / / | |
| ORIG 07/07/2003 | LEAD AGENCY DECLARED | 07/09/2003 | TOOK LA |
| ORIG 07/07/2003 | DECLARATION (POS/NEG) | 07/09/2003 | DECL NEG DEC |
| ORIG 07/07/2003 | SCHEDULE PUBLIC HEARING | / / | |
| ORIG 07/07/2003 | PUBLIC HEARING HELD | / / | |
| ORIG 07/07/2003 | WAIVE PUBLIC HEARING | 07/09/2003 | WAIVED PH |
| ORIG 07/07/2003 | PRELIMINARY APPROVAL | / / | |
| ORIG 07/07/2003 | | / / | |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/12/2003

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 3-19

NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| | DATE-SENT | AGENCY----- | DATE-RECD | RESPONSE----- |
|------|------------|-------------------|------------|---------------|
| ORIG | 07/07/2003 | MUNICIPAL HIGHWAY | 07/09/2003 | APPROVED |
| ORIG | 07/07/2003 | MUNICIPAL WATER | / / | |
| ORIG | 07/07/2003 | MUNICIPAL SEWER | 07/30/2003 | APPROVED |
| ORIG | 07/07/2003 | MUNICIPAL FIRE | 07/07/2003 | APPROVED |
| ORIG | 07/07/2003 | NYS DOT | / / | |

**Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611**

**RECEIPT
#853-2003**

09/08/2003

**Prabhu, M. P.
3131 Nys Route 9w
New Windsor, NY 12553**

**Received \$ 100.00 for Planning Board Fees, on 09/08/2003. Thank you for
stopping by the Town Clerk's office.**

As always, it is our pleasure to serve you.

03-19 *Appraisal Fee*

**Deborah Green
Town Clerk**

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/08/2003

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 08/25/2003 | APPROVAL FEE | CHG | 100.00 | | |
| 09/03/2003 | REC. CK #7420 | PAID | | 100.00 | |
| | | TOTAL: | 100.00 | 100.00 | 0.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/08/2003

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|--------------------------|--------|-----------|-----------|-----------|
| 08/25/2003 | 2% OF 20,164. INSPEC FEE | CHG | 403.28 | | |
| 09/03/2003 | REC. CK. #7421 | PAID | | 403.28 | |
| | | TOTAL: | 403.28 | 403.28 | 0.00 |

Jay Heis
9/8/02



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4695

OFFICE OF THE PLANNING BOARD

August 25, 2003

Shaw Engineering
P.O. Box 2569
Newburgh, NY 12550

ATTN: GREGORY SHAW, P.E.

SUBJECT: PANDARANG PRABHU SITE PLAN

Dear Greg:

Please find attached printouts of fees due for subject project. There is a balance remaining in the escrow account that will be returned to the applicant.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

| | | |
|--|----|--------|
| Check #1 - Approval Fee..... | \$ | 100.00 |
| Check #2 - 2% of \$20,164.00 Inspection fee..... | \$ | 403.28 |

Upon receipt of these checks I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,



Myra L. Mason, Secretary To The
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/25/2003

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|-------------------|--------|-----------|-----------|-----------|
| 07/03/2003 | REC. CK. #7366 | PAID | | 750.00 | |
| 07/09/2003 | P.B. ATTY. FEE | CHG | 35.00 | | |
| 07/09/2003 | P.B. MINUTES | CHG | 27.00 | | |
| 08/20/2003 | P.B. ENGINEER | CHG | 178.50 | | |
| 08/25/2003 | RET. TO APPLICANT | CHG | 509.50 | | |
| | | TOTAL: | 750.00 | 750.00 | 0.00 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/25/2003

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|--------------------------|--------|-----------|-----------|-----------|
| 08/25/2003 | 2% OF 20,164. INSPEC FEE | CHG | 403.28 | | |
| | | TOTAL: | 403.28 | 0.00 | 403.28 |

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/25/2003

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 08/25/2003 | APPROVAL FEE | CHG | 100.00 | | |
| | | | ----- | ----- | ----- |
| | | TOTAL: | 100.00 | 0.00 | 100.00 |

**TOWN OF NEW WINDSOR
PLANNING BOARD OFFICE
845-563-4615**

MEMORANDUM

TO: LARRY REIS, COMPTROLLER
FROM: MYRA MASON, SECRETARY TO THE PLANNING BOARD
DATE: AUGUST 25, 2003
SUBJECT: DR. PRABHU ESCROW REFUND

**PLEASE ISSUE A CHECK IN THE AMOUNT OF \$ 509.50 TO CLOSE OUT
ESCROW FOR:**

PB FILE #03-19
NAME: DR. PANDARANG PRABHU
ADDRESS: 3131 RT. 9W
NEW WINDSOR, NY 12553

THANK YOU,
MYRA

8/26/03
L.R.

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
(845) 561-3695

July 11, 2003

Chairman James R. Petro, Jr. and
Members of the Planning Board
TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, New York 12553

Re: New Office Building Addition For
Pandarang Prabhu, M.D. & Pushpa Prabhu, M.D.
Route 9W

Gentlemen:

Enclosed please find the following drawings for the above referenced project which are being submitted to your Board for its Approval Stamp and Signature:

- 9 copies of the drawings entitled "Site Plan- New Office Building Addition For Pandarang Prabhu, M.D. & Pushpa Prabhu, M.D" that contains an issue date of July 1, 2003 and a laterst revision date of July 10, 2003

Thank you for your attention to this matter.

Respectfully submitted,

SHAW ENGINEERING



Gregory J. Shaw, P.E.
Principal

GJS:mmv
Enclosure

cc: M.E. 7/16/03

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
(845) 561-3695

July 11, 2003

Chairman James R. Petro, Jr. and
Members of the Planning Board
TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, New York 12553

Re: New Office Building Addition For
Pandarang Prabhu, M.D. & Pushpa Prabhu, M.D.
Route 9W

Gentlemen:

We have presented below for your consideration our Construction Estimate for the site improvements for the New Office Building Addition For Pandarang Prabhu.. Our Estimate is as follows: .

CONSTRUCTION ESTIMATE

| <u>ITEM</u> | <u>QUANTITY</u> | <u>UNIT PRICE</u> | <u>AMOUNT</u> |
|------------------------|-----------------|-------------------|---------------|
| Pavement Removal | L.S. | \$ 3,000 | \$ 3,000 |
| Macadam Pavement | 310 S.Y. | \$ 14 | \$ 4,340 |
| Pavement Markings | 210 L.F. | \$.40 | \$ 84 |
| Handicap Sign/Striping | 1 | \$ 125 | \$ 125 |
| Concrete Curbing | 244 L.F. | \$ 10 | \$ 2,440 |
| Concrete Sidewalks | 45 S.Y. | \$ 35 | \$ 1,575 |
| Catch Basins | 2 | \$ 1,000 | \$ 2,000 |
| 12" Storm Drain Piping | 100 L.F. | \$ 18 | \$ 1,800 |
| 15" Storm Drain Piping | 10 L.F. | \$ 20 | \$ 200 |

Chairman James Petro and
Members of the Planning Board (Cont'd)

-2-

July 11, 2003

| <u>ITEM</u> | <u>QUANTITY</u> | <u>UNIT PRICE</u> | <u>AMOUNT</u> |
|----------------------------|-----------------|-------------------|---------------|
| Pole With Single Luminaire | 2 | \$ 900 | \$ 1,800 |
| Trees | 12 | \$ 125 | \$ 1,500 |
| Shrubs | 52 | \$ 25 | \$ 1,300 |
| Total | | | \$ 20,164 |

Should this Estimate be acceptable, my client will pay the 2% inspection fee of \$ 403.28.

Respectfully submitted,

SHAW ENGINEERING


Gregory Shaw, P.E.
Principal

GJS:mmv

cc: Pandarang Prabhu, M.D.

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 3- 19

FOR WORK DONE PRIOR TO: 08/20/2003

| TASK-NO | REC | --DATE-- | TRAN | EMPL | ACT DESCRIPTION----- | RATE | HRS. | -----DOLLARS----- | | | | |
|-------------|--------|----------|------|------|----------------------|-------|------|-------------------|------|--------|---------|--|
| | | | | | | | | TIME | EXP. | BILLED | BALANCE | |
| 3-19 | 230482 | 06/18/03 | TIME | MJE | WS PRABHU 9W | 95.00 | 0.40 | 38.00 | | | | |
| 3-19 | 231813 | 07/02/03 | TIME | MJE | WS PRABHU S/P AM | 95.00 | 0.40 | 38.00 | | | | |
| 3-19 | 233132 | 07/08/03 | TIME | MJE | MC PRABHU SITE PLAN | 95.00 | 0.70 | 66.50 | | | | |
| 3-19 | 233052 | 07/09/03 | TIME | MJE | MM Prabhu Cond APPL | 95.00 | 0.10 | 9.50 | | | | |
| TASK TOTAL | | | | | | | | 152.00 | 0.00 | 0.00 | 152.00 | |
| GRAND TOTAL | | | | | | | | 152.00 | 0.00 | 0.00 | 152.00 | |

9/24 check + 28.50
9 178.50



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE

33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100

fax: (845) 567-3232

e-mail: mheny@mhepc.com

Writer's e-mail address:

mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: PRABHU SITE PLAN AMENDMENT
PROJECT LOCATION: NYS ROUTE 9W
SECTION 17 – BLOCK 4 – LOT 14.2
PROJECT NUMBER: 03-19
DATE: 9 JULY 2003
DESCRIPTION: THE APPLICANT PROPOSES A 920 S.F. ADDITION TO THE EXISTING MEDICAL OFFICE, AND SITE IMPROVEMENTS. THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The property is located in the NC zoning district of the Town. The use is use by right A-7. The “required” bulk information on the plan is correct, and the table indicates compliance in all criteria, with the exception of front yard setback, which is a pre-existing, non-conforming condition. (the table should provide an asterisk on this value and note it as such).

One of the benefits of this application and amendment is the reorientation of the parking area, which is a *significant* improvement. This, with the proposed landscaping and sidewalks, etc., will bring the site into conformance with current standards.

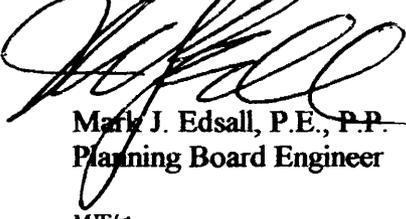
2. I have made my initial review of the plans and note the following required corrections and/or additions:
 - The handicapped detail on sheet 2 must include the additional sign for the cross-hatched area noting “No Parking – Any Time”.
 - The landscaping within the State right-of-way is subject to the action of the State DOT to permit same to remain with the sign.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process.

REGIONAL OFFICES

• 507 Broad Street • Milford, Pennsylvania 18337 • 570-296-2765 •
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA, and make a determination regarding environmental significance.
5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan amendment, per its discretionary judgment under Paragraph 48-19.C of the Town Zoning Local Law.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Planning Board Engineer

MJE/st
NW03-19-09Jul03.doc

DR. PRABHU (03-19)

Mr. Gregory Shaw of Shaw Engineering appeared before the board for this proposal.

MR. PETRO: Dr. Prabhu on Route 9W, Mr. Shaw, proposed addition to existing doctor's office. NC zone, use by right, bulk information on the plan is correct.

MR. LANDER: Where's the new pavement you're putting in there? Where is all the water going?

MR. PETRO: You're not using his drainage, I'll tell you that, that's for damn sure.

MR. SHAW: We have our own drainage, thank you very much. Very simply, Dr. Prabhu wants to put an addition on his office building, it's going to be 920 square feet, very small. Since the Town has upgraded the zoning ordinance over the years, he's now deficient in parking so because of that, we've added four more spaces in the rear, the additional pavement is that shaded area. What we have also tried to do is upgrade the site plan. Presently there's pavement and if you look on the left side of the drawing that extends into the State right-of-way, we're not only removing that but we're removing it in front of his office building. We're actually reducing the amount of pavement that's presently there right now. What has been incorporated into this plan is a landscaping plan and a site lighting plan so we have also taken the opportunity to upgrade this site considerably also. So very simply, a 920 square foot addition, four parking spaces, removal of pavement, installation of landscaping and site lighting.

MR. PETRO: And the water from the new pavement is going where?

MR. SHAW: Going to be draining into two catch basins which are installed at the point where the new pavement meets the existing and there's an 18 inch storm drain

that presently exists that brings it into an existing catch basin in the State right-of-way.

MR. ARGENIO: Eighteen inch storm drain big enough to accommodate the additional pavement?

MR. SHAW: Yes, it is.

MR. ARGENIO: Looks like he's taking great pains to contain his water, great, great pains.

MR. PETRO: Lighting?

MR. SHAW: Yes, there's a lighting plan that was prepared.

MR. LANDER: We'll have Mr. Edsall review the lighting.

MR. LANDER: He took care of the water with the catch basin.

MR. EDSALL: Sheet 4 is the lighting plan.

MR. PETRO: Motion for lead agency.

MR. ARGENIO: So moved.

MR. KARNAVEZOS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency for the Prabhu site plan amendment on New York State Route 9W. Is there any further discussion? If not, roll call.

ROLL CALL

| | |
|----------------|-----|
| MR. LANDER | AYE |
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. KARNAVEZOS | AYE |
| MR. PETRO | AYE |

MR. PETRO: We have Highway approval on 7/9/2003 and 7/7/2003 was Fire. The board should determine for the record if a public hearing will be required for this site plan amendment, what do you think, Mr. Shaw?

MR. SHAW: I think absolutely not and you want it in three minutes or less, 920 square feet, gentlemen, that's hardly, 920, it's a little bigger than a hot dog stand.

MR. LANDER: Is that 30 percent?

MR. PETRO: You're saying very small, Greg, you're saying that's very small? When GMH came in, you're telling us 900 square foot apartments were very large, so who's right and who's wrong?

MR. LANDER: Now, do you have to go to DOT for the new curb cuts?

MR. SHAW: No, there are no new curb cuts, we're utilizing the existing.

MR. LANDER: I thought we were changing the whole thing.

MR. SHAW: Just removing the excess blacktop, we do not want to go to the DOT.

MR. LANDER: Putting curbed sidewalks, okay.

MR. LANDER: Where is the handicapped ramp in front of the building?

MR. BABCOCK: Right in the very front.

MR. SHAW: There's an existing handicapped ramp right here, that's existing, that's going to be replaced by another handicapped ramp in the same location right by the handicapped spaces?

MR. MASON: With wood or--

MR. SHAW: Not sure, that's a building permit issue.

MR. LANDER: I see it there.

MR. ARGENIO: Well, I was going to ask two things. One, I think I know the answer, are people going to hit the building on the one side?

MR. LANDER: Just lightly.

MR. SHAW: No because we're using the pre-cast masonry bumpers.

MR. ARGENIO: What's up with the catch basin with the stone around it, is that a permanent condition or temporary?

MR. SHAW: That's just temporary for erosion control, that gets removed after construction.

MR. PETRO: Motion to--

MR. KARNAVEZOS: Make a motion to waive the public hearing.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board waive the public hearing under its discretionary judgment and the orders of Mr. Shaw for the Prabhu site plan amendment. Any further discussion? If not, roll call.

ROLL CALL

| | |
|----------------|-----|
| MR. LANDER | AYE |
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. KARNAVEZOS | AYE |
| MR. PETRO | AYE |

MR. PETRO: Motion for negative dec.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec for the Prabhu site plan amendment on Route 9W. Is there any further discussion? If not, roll call.

ROLL CALL

| | |
|----------------|-----|
| MR. LANDER | AYE |
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. KARNAVEZOS | AYE |
| MR. PETRO | AYE |

MR. LANDER: Mr. Shaw, you're curbing all the front area here?

MR. SHAW: Yes.

MR. ARGENIO: That's nice.

MR. PETRO: We can read paragraph 2 and number 1 which Mr. Edsall wrote one of the benefits of this application amendment is the reorientation of the parking area which is a significant improvement with the proposed landscaping and sidewalks, et cetera, will bring the site into conformance and current standards.

MR. EDSALL: Just as big as a hot dog stand.

MR. PETRO: Motion for final approval.

MR. ARGENIO: So moved.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the

July 9, 2003

47

New Windsor Planning Board grant final approval to the Prabhu site plan amendment subject to the bond estimate. Any further discussion from the board members? If not, roll call.

MR. EDSALL: Subject to the bond estimate.

MR. PETRO: Thank you.

ROLL CALL

| | |
|----------------|-----|
| MR. LANDER | AYE |
| MR. MASON | AYE |
| MR. ARGENIO | AYE |
| MR. KARNAVEZOS | AYE |
| MR. PETRO | AYE |

MR. SHAW: Thank you.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 07/07/2003

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 3-19
NAME: PANDURANG & PUSHPA PRABHU PA2003-0645
APPLICANT: PRABHU, PANDURANG & PUSHPA

| --DATE-- | DESCRIPTION----- | TRANS | --AMT-CHG | -AMT-PAID | --BAL-DUE |
|------------|------------------|--------|-----------|-----------|-----------|
| 07/03/2003 | REC. CK. #7366 | PAID | | 750.00 | |
| | | TOTAL: | 0.00 | 750.00 | -750.00 |

h
7/7/03

**Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611**

**RECEIPT
#670-2003**

07/07/2003

Prabhu, Dr. M.

Received \$ 100.00 for Planning Board Fees, on 07/07/2003. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

**Deborah Green
Town Clerk**

PB# 03-19 application fee



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

1-3

TOWN/VILLAGE OF: New Windsor P/B APP. NO.: _____
WORK SESSION DATE: 6 Nov 02 PROJECT: NEW OLD _____
REAPPEARANCE AT W/S REQUESTED: Maybe RESUB. REQ'D: Maybe
PROJECT NAME: R. Pashu Addition
REPRESENTATIVES PRESENT: Jim Palmer

MUNICIPAL REPS PRESENT: BLDG INSP. _____ FIRE INSP. Pat
ENGINEER PLANNER _____
P/B CHMN _____ OTHER _____

ITEMS DISCUSSED: NC
1 space / 175
30x48x
20x45 = 12.8 (13)
50x45

see plan

My add as discussion item

STND CHECKLIST: PROJECT TYPE
DRAINAGE _____
DUMPSTER _____
SCREENING _____
LIGHTING _____
(Streetlights)
LANDSCAPING _____
BLACKTOP _____
ROADWAYS _____
APPROVAL BOX _____
OTHER _____

SITE PLAN

PROJECT STATUS:
ZBA Referral: _____ Y _____ N
Ready For Meeting: _____ Y _____ N
Recommended Mtg Date _____



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: WATER DEPARTMENT

P.B. FILE #03-19 DATE RECEIVED: 07-03-03

PLEASE RETURN COMPLETED FORM TO MYRA BY: 07-08-03

THE MAPS AND/OR PLANS FOR:

DR. PANDARANG PRABHU

Applicant or Project Name

SITE PLAN XX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

Signature: 7/30/03
Reviewed by: _____ Date

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board
FROM: Thomas Lucchesi Asst. Fire Inspector
SUBJECT: Dr. Pandarang Prabhu
DATE: July 7, 2003

Planning Board Reference Number: PB-03-19
Date Received: 7-3-03
Fire Prevention Reference Number: FPS-03-32

An inspection of the above referenced site plan was conducted on July 7, 2003.

This site plan is acceptable.

Plans Dated: July 1, 2003


Thomas R. Lucchesi
Asst. Fire Inspector

TRL/dh



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4615
Fax: (845) 563-4693

OFFICE OF THE PLANNING BOARD

PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #03-19 DATE RECEIVED: 07-03-03

PLEASE RETURN COMPLETED FORM TO MYRA BY: 07-08-03

THE MAPS AND/OR PLANS FOR:

DR. PANDARANG PRABHU
Applicant or Project Name

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JUL 07 2003
N.W. HIGHWAY DEPT.

SITE PLAN XX, SUBDIVISION _____, LOT LINE CHANGE _____,
SPECIAL PERMIT _____

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: _____

DISAPPROVED:

Notes: _____

Signature: *[Handwritten Signature]*
Reviewed by: _____ Date _____



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mhenry@mhepc.com

Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhempa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

1-3

TOWN/VILLAGE OF: New Windsor P/B APP. NO.: _____

WORK SESSION DATE: 18 June 03 PROJECT: NEW OLD _____

REAPPEARANCE AT W/S REQUESTED: Yes RESUB. REQ'D: Yes

PROJECT NAME: Prabhu s/p

REPRESENTATIVES PRESENT: Greg Shaw + Jim

| | | |
|--------------------------------|--|-------------------------|
| <u>MUNICIPAL REPS PRESENT:</u> | BLDG INSP. _____ | FIRE INSP. <u>Frank</u> |
| | ENGINEER <input checked="" type="checkbox"/> | PLANNER _____ |
| | P/B CHMN _____ | OTHER _____ |

ITEMS DISCUSSED:
- try to avoid DOT - no need
no new work proposed
- various letters for pkg.

| | |
|------------------------|---------------------|
| <u>STND CHECKLIST:</u> | <u>PROJECT TYPE</u> |
| DRAINAGE _____ | SITE PLAN |
| DUMPSTER _____ | SPEC PERMIT |
| SCREENING _____ | L L CHG. |
| LIGHTING _____ | SUBDIVISION |
| (Streetlights) | OTHER |
| LANDSCAPING _____ | |
| BLACKTOP _____ | |
| ROADWAYS _____ | |
| APPROVAL BOX _____ | |

PROJECT STATUS:
ZBA Referral: Y N
Ready For Meeting Y N
Recommended Mtg Date: _____



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Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

1-1

TOWN/VILLAGE OF: New Windsor P/B APP. NO.: _____

WORK SESSION DATE: 2 July 2003 PROJECT: NEW OLD

REAPPEARANCE AT W/S REQUESTED: No RESUB. REQ'D: Feb 04

PROJECT NAME: Proshu

REPRESENTATIVES PRESENT: Gre

MUNICIPAL REPS PRESENT:
BLDG INSP. _____
ENGINEER _____
P/B CHMN _____
FIRE INSP. Bo L
PLANNER _____
OTHER _____

ITEMS DISCUSSED:

non-DOT referral
looker good

STND CHECKLIST:
DRAINAGE
DUMPSTER _____
SCREENING
LIGHTING
(Streetlights)
LANDSCAPING
BLACKTOP
ROADWAYS _____
APPROVAL BOX

PROJECT TYPE
SITE PLAN
SPEC PERMIT
L L CHG.
SUBDIVISION
OTHER

PROJECT STATUS:
ZBA Referral: _____ Y _____ N
Ready For Meeting Y _____ N
Recommended Mtg Date next avail

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision ___ Lot Line Change ___ Site Plan x Special Permit ___

Tax Map Designation: Sec. 17 Block 4 Lot 14.2

BUILDING DEPARTMENT REFERRAL NUMBER 2003 - 0645

1. Name of Project New Office Building Addition For Pandurang Prabhu And Pushpa Prabhu

2. Owner of Record Pandurang & Pushpa Prabhu Phone 561-2040

Address: 3131 Route 9W, New Windsor, NY 12553
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Same As Owner Phone _____

Address: _____
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Gregory J. Shaw, P.E. Phone 561-3695

Address: 744 Broadway, Newburgh, NY 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Gregory J. Shaw, P.E. 561-3695
(Name) (Phone)

7. Project Location: On the west side of Route 9W 700 feet
(Direction) (Street) (No.)
north of Broad Street
(Direction) (Street)

8. Project Data: Acreage 0.6 Ac Zone NC School Dist. Newburgh Consolida

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9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No X

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Description of Project: (Use, Size, Number of Lots, etc.) The construction of a 920 SF addition along with the creation of 4 additional parking spaces

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

2 DAY OF July 2003

obi

Sharon L. Stumpf

APPLICANT'S SIGNATURE
PANDURANG PRABHU

NOTARY PUBLIC

Please Print Applicant's Name as Signed

Sharon L. Stumpf
Notary Public, State of New York
Registration #01ST6021247
Qualified in Orange County
My Commission Expires Mar. 8, 2008

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DATE APPLICATION RECEIVED
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APPLICATION NUMBER: _____

TOWN OF NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

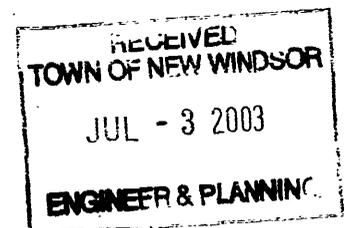
1. x Site Plan Title
2. x Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



3. x Applicant's Name(s)
4. x Applicant's Address
5. x Site Plan Preparer's Name
6. x Site Plan Preparer's Address
7. x Drawing Date
8. x Revision Dates
9. x Area Map Inset and Site Designation
10. x Properties within 500' of site
11. x Property Owners (Item #10)
12. x Plot Plan
13. x Scale (1" = 50' or lesser)
14. x Metes and Bounds
15. x Zoning Designation
16. x North Arrow
17. x Abutting Property Owners
18. x Existing Building Locations
19. x Existing Paved Areas
20. x Existing Vegetation
21. x Existing Access & Egress

03-19



PROPOSED IMPROVEMENTS

- 22. X Landscaping
- 23. X Exterior Lighting
- 24. X Screening
- 25. NA Access & Egress
- 26. X Parking Areas
- 27. NA Loading Areas
- 28. X Paving Details (Items 25 - 27)
- 29. X Curbing Locations
- 30. X Curbing through section
- 31. X Catch Basin Locations
- 32. X Catch Basin Through Section
- 33. X Storm Drainage
- 34. NA Refuse Storage
- 35. NA Other Outdoor Storage
- 36. NA Water Supply
- 37. NA Sanitary Disposal System
- 38. NA Fire Hydrants
- 39. x Building Locations
- 40. x Building Setbacks
- 41. NA Front Building Elevations
- 42. X Divisions of Occupancy
- 43. NA Sign Details
- 44. X Bulk Table Inset
- 45. X Property Area (Nearest 100 sq. ft.)
- 46. X Building Coverage (sq. ft.)
- 47. X Building Coverage (% of total area)
- 48. X Pavement Coverage (sq. ft.)
- 49. X Pavement Coverage (% of total area)
- 50. X Open Space (sq. ft.)
- 51. X Open Space (% of total area)
- 52. X No. of parking spaces proposed
- 53. x No. of parking spaces required

03-19



REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. NA Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.

55. NA A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

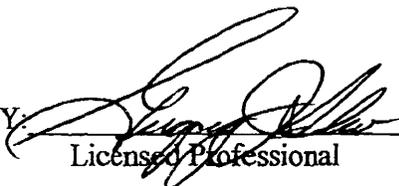
APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY:  _____
Licensed Professional Date 6-25-2003



PROJECT ID NUMBER

617.20
APPENDIX C

SEQR

STATE ENVIRONMENTAL QUALITY REVIEW

SHORT ENVIRONMENTAL ASSESSMENT FORM

for UNLISTED ACTIONS Only

PART 1 - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

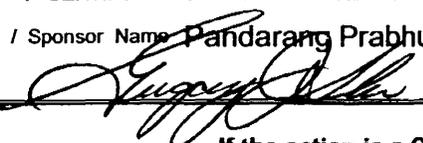
| | |
|---|---|
| 1. APPLICANT / SPONSOR Pandarang Prabhu, MD | 2. PROJECT NAME New Office Addition For Pandarang Prabhu |
| 3. PROJECT LOCATION: Town Of New Windsor Municipality | Orange County |
| 4. PRECISE LOCATION: Street Address and Road Intersections, Prominent landmarks etc - or provide map 3131 Route 9W, New Windsor | |
| 5. IS PROPOSED ACTION : <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification / alteration | |
| 6. DESCRIBE PROJECT BRIEFLY: The construction of a 920 SF addition along with creating 4 additional parking spaces | |
| 7. AMOUNT OF LAND AFFECTED: Initially 0.6 acres Ultimately 0.6 acres | |
| 8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, describe briefly: | |
| 9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? (Choose as many as apply.) <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park / Forest / Open Space <input type="checkbox"/> Other (describe) | |
| 10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (Federal, State or Local) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit / approval: | |
| 11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit / approval: | |
| 12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT / APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE

Applicant / Sponsor Name Pandarang Prabhu, MD

Date: June 25, 2003

Signature



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JUN - 3 2003
ENGINEER & PLANNING

If the action is a Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

03-19

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
 No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
 No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
 No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
 No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:
 No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:
 No

C7. Other impacts (including changes in use of either quantity or type of energy? Explain briefly:
 No

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)? (If yes, explain briefly:
 Yes No

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? If yes explain:
 Yes No

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question d of part ii was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Town Of New Windsor Planning Board
 Name of Lead Agency

James R. Petro, Jr.
 Print or Type Name of Responsible Officer in Lead Agency

Signature of Responsible Officer in Lead Agency

Date

Chairman
 Title of Responsible Officer

Signature of Preparer (if different from responsible officer)

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