

**PB# 74-45**

**Blooming Grove Oper. Co.  
(Never Materialized)**

Blooming Grove Operating Co 74-45  
(Youngblood)

never materialized  
given to P.C. office  
9/22/76  
JH.



Oxford

STOCK No. 753 $\frac{1}{3}$

MADE IN U. S. A.

Date December 30, 1974

Application No. 74-45

APPLICATION FOR SUBDIVISION APPROVAL

Town of New Windsor, 555 Union Avenue, Orange County, N.Y.

Tel: 565-8808

Application is hereby made for subdivision of lands situated in the Town of New Windsor and described as follows:

1. Name of subdivision Lands of Blooming Grove Operating Co.
2. Location Easterly side of Little Brook Ct.
3. Acreage 2.81 4. Number of lots 3 5. Zone RA
6. Name & address of subdivider Blooming Grove Operating Co.  
P. O. Box 188, Washingtonville, N. Y. 10992
7. Name & address of record owner of land \_\_\_\_\_  
Same as above
8. Present and intended uses Present: Vacant Land  
Proposed: Residential

The undersigned applies for subdivision approval of the above described lands under the rules and procedure of the "Land Subdivision Regulations of the Town of New Windsor" as duly authorized by the Town Board of New Windsor, New York. Upon approval of the Preliminary Layout of said subdivision the applicant agrees to install such utilities as are required and to complete the streets as finally approved by the Planning Board or in lieu of this to post a performance bond as set forth and provided in the "Land Subdivision Regulations". Copies of the Preliminary Layout are hereby attached.

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Subdivision Regulations be obtained to avoid rejection of the plans. Seven (7) copies of the plans are required.

Fees are due and payable upon submission of the preliminary plans. All checks are to be made payable to the Town of New Windsor.

Signature of applicant

*Geraldine M. Sherman*  
President  
*Blooming Grove Operating Co., Inc.*

WILLIAM YOUNGBLOOD ASSOCIATES  
ENGINEERS - SURVEYORS - LAND PLANNERS  
ENVIRONMENTAL DESIGNERS  
ROUTE 208  
MONROE, NEW YORK 10950  
(914) 783-3733

RECEIVED  
NOV 11 1974

NEW WINDSOR PLANNING BOARD

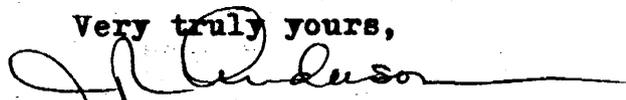
WILLIAM YOUNGBLOOD, L.E., P.E.  
JOHN R. ANDERSON, P.E.

Planning Board  
Town Hall  
555 Union Ave.  
Town of New Windsor, N. Y. 12550  
Attention of Shirley Hassdenteuffel  
Dear Ms Hassdenteuffel:

As discussed with you by phone on November 6, 1974,  
enclosed please find our Application for Subdivision  
Approval for a 3 Lot Minor Subdivision adjoining the  
southwesterly corner of Little Brook Court in the Town  
of New Windsor.

We would appreciate the opportunity to present a  
Rough Sketch Plan of the proposed Subdivision to the  
Planning Board at your Earliest convenience.

Very truly yours,

  
John R. Anderson

cc Blooming Grove Operating Co.

*Memo* FROM:

OFFICE OF THE TOWN ENGINEER

TOWN OF NEW WINDSOR

555 UNION AVENUE

NEW WINDSOR, NEW YORK 12550

PHONE 565-8802

TO:

Joseph Loscalzo, Chairman  
Planning Board

DATE: February 26, 1975

SUBJECT: Blooming Grove Operating Co.

—FOLD HERE—

I have reviewed revised plan of Blooming Grove Operating Co., and I have found it to be satisfactory as far as engineering requirements except for comments of Sanitation Department.

Respectfully,



Paul V. Cuomo, P. E.  
Town Engineer

PVC/mfb

by \_\_\_\_\_



**WATER, SEWER, HIGHWAY REVIEW FORM:**

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision XXXXXX as submitted by William Youngblood Associates  
for the ~~building~~ or subdivision of Blooming Grove Operating Co.  
has been reviewed by me and is approved \_\_\_\_\_ disapproved XXXXX

**If disapproved, please list reason.**

1. No percolation for each building lot
2. Leaching fields located too close to relocated street
3. No septic tank size indicate.  
Septic tank size determined by number of bedrooms
4. No leaching area determined.  
Leaching area determined according to percolation of ground.
5. Should be checked with soil conservation map.
6. Entire area in drainage area.

\_\_\_\_\_  
**HIGHWAY SUPERINTENDENT**

\_\_\_\_\_  
**WATER SUPERINTENDENT**

*Lyman H. Mastenfe*  
\_\_\_\_\_  
**SANITARY SUPERINTENDENT**

\_\_\_\_\_  
DATE January 14, 1975

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval \_\_\_\_\_  
Subdivision Minor as submitted by William Youngblood Associates  
for the building or subdivision of Blooming Grove Operating Co.  
has been reviewed by me and is approved <sup>Conditional</sup> XXXX d: approved

If disapproved, please list reason.

A minimum requirement of:

- 100 ft. of drain tile pipe for 2-Bedroom House
- 150 ft. of drain tile pipe for 3-Bedroom House

Submitted map indicates 90 L.F for 2-A.

\_\_\_\_\_  
HIGHWAY SUPERINTENDENT

\_\_\_\_\_  
WATER SUPERINTENDENT

*Lyman D. Masten*  
\_\_\_\_\_  
SANITARY SUPERINTENDENT

*February 26, 1975*  
\_\_\_\_\_  
DATE

*Reviewed with Town Engineer*



1763

OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

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555 Union Avenue  
New Windsor, New York 12550  
(914) 565-8808

March 5, 1975

Orange County Planning Department  
County Center  
Goshen, New York

RE: Blooming Grove Operating Co.

Gentlemen:

The Planning Board of the Town of New Windsor would appreciate a general review by your Board and also the County Health Department of the plans for a 3 lot Subdivision presented to us by the Blooming Grove Holding Co.

Attached please find copy of the 3 lot Rough Sketch Minor Subdivision of Blooming Grove Holding Co. and also the original Subdivision plan known as Toleman Estates which was approved on February 14, 1973.

Yours truly,

JOSEPH LOSCALZO  
Chairman

JL:sh

Enc.

CC: Blooming Grove Holding Co.  
(William Youngblood Associates)



OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

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555 Union Avenue  
New Windsor, New York 12550  
(914) 565-8808

March 5, 1975

New York State Department of Environmental Conservation  
21 South Putt Corners Road  
New Paltz, New York 12561

Gentlemen:

The Town of New Windsor Planning Board would like appreciate a reading on whether or not you have jurisdiction over a stream.

Attached is a rough sketch map of the Blooming Grove Operating Co. proposed 3 lot subdivision located in New Windsor.

Yours truly,

A handwritten signature in cursive script that reads "Joseph Loscalzo".

JOSEPH LOSCALZO  
Chairman

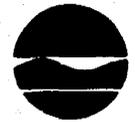
JL:sh

Enc.

cc: Blooming Grove Holding Co.  
(Wm. Youngblood Associates)

**New York State Department of Environmental Conservation**

21 South Platt Corners Road, New Paltz, N.Y. 12561



Ogden Reid  
James L. Biggs, Jr.,  
Commissioner

Warren H. McKeon,  
Regional Director

March 12, 1975

MAR 24 1975

NEW WINDSOR PLANNING BOARD

Office of the Planning Board  
Town of New Windsor  
555 Union Avenue  
New Windsor, New York 12550

Attention: Mr. Joseph Loscalzo, Chairman

Re: Blooming Grove Operating Company

Dear Mr. Loscalzo:

I refer to your letter dated March 5, 1975 in which you inquired if this Department has jurisdiction over a stream running through the above referenced property. The stream shown on the plans which accompanied your correspondence is a sub-tributary of the Moodna Creek (H-89-12-1-1) and is classified "D". Under Article 15, Title 5 of the Environmental Conservation Law no permit is required for the proposed alteration of the beds and banks of this stream. For your use I am enclosing the Rules and Regulations for the Protection of Waters.

If you require further information or assistance, please do not hesitate to call. Telephone number (914) 255-5453.

Sincerely,

William E. Steidle  
Environmental Analysis  
Region 3

Enclosure

WES/mdw

EDWARD KESLER, P.E.  
Consulting Engineer  
6 FLEETWOOD AVENUE  
Spring Valley, N.Y. 10977

(914) 356-0217

January 1, 1975

Town of New Windsor Planning Board

Subject: Subdivision of Lands of Blooming Grove Operating Co.

Since this subdivision is the remaining piece of a prior major subdivision which was subject to RA zoning, I believe reference Note 2 of Zoning Section 48-14A, which allows a minor subdivision in an RA district to correspond with RB bulk regulations, does not apply. Therefore at least one lot requires an area variance from the Zoning Board of Appeals.

If the variance is granted, other items should be reviewed as follows.

1. Review by the Soil Conservation Service with respect to the stream relocation. Proposed contours and restoration method for the cut area should be added to the plan for this relocation.
2. Percolation tests and approval from the Department of Environmental Conservation. With respect to this, it should be noted exactly where the leach fields are to be placed. The present plan shows parts of two fields in the existing stream bed. The soils in such a bed are generally unsuitable for fields.

*Bernard Kesler*

M E M O R A N D U M

TO: Chairman--Planning Board  
FROM: Town Attorney  
DATE: January 20, 1975  
SUBJECT: Extension of Preliminary Approval To Toleman Estates II

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I have reviewed the above referenced matter which was set forth in a letter from Robert Devitt, Esq. dated January 2, 1975. I have also examined N.Y.S. Town Law, Section 276, and Local Law #2 of the Town of New Windsor, and the pertinent subdivision regulations of the Town.

In my opinion the Planning Board should issue a letter of extension of the preliminary approval granted to Toleman Estates. It might be considered discriminatory to do otherwise, since the Planning Board has established a number of precedents by extending preliminary approvals for other subdivisions during the moratorium.

I feel, however, that the letter should include a word of caution that the Planning Board will take the position that final approval will be conditioned on a subdivision's compliance with zoning regulations in force at the time the final approval is given. It should be pointed out that in the case of Toleman Estates, the zoning code will probably require a two acre lot size as opposed to the one and a half acre lot size in effect when the preliminary approval was originally granted.

It remains to be seen whether the position advanced in the foregoing paragraph will be the position that the Town Board and the Planning Board want to adopt; but in the event that is the position desired, the base should be covered at this point. As a matter of fact, the base should have been covered since the moratorium originally went into effect.

Application No. \_\_\_\_\_

APPLICATION FOR SUBDIVISION APPROVAL

ROUGH SKETCH  
PLAN

Town of New Windsor, 555 Union Avenue, Orange County, N.Y.  
Tel. 583-8886

Application is hereby made for subdivision of lands situated in the  
Town of New Windsor and described as follows:

1. Kind of subdivision Mined Subdivision -- Lands of  
Blooming Grove Operating Co.
2. Location Adjoining southwesterly corner of Little Brook  
Conrt -- Town of New Windsor, Orange Co., N. Y.
3. Acres 2.7 4. Number of lots 3 5. Zone RA
6. Name & address of subdivider Blooming Grove Operating Co.  
P. O. Box 188, Washingtonville, N. Y. 10992
7. Name & address of record owner of land Blooming Grove  
Operating Co., P. O. Box 188, Washingtonville, N. Y. 10992
8. Present and intended uses Presently vacant land  
Proposed--Single family residences

The undersigned applies for subdivision approval of the above described lands under the rules and procedure of the "Land Subdivision Regulations of the Town of New Windsor" as duly authorized by the Town Board of New Windsor, New York. Upon approval of the Preliminary layout of said subdivision the applicant agrees to install such utilities as are required and to complete the streets as finally approved by the Planning Board or in lieu of this to post a performance bond as set forth and provided in the "Land Subdivision Regulations". Copies of the Preliminary Layout are hereby attached.

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Subdivision Regulations be obtained to avoid rejection of the plans. Seven (7) copies of the plans are required.

Fees are due and payable upon submission of the preliminary plans. All checks are to be made payable to the Town of New Windsor.

Signature of applicant Gerald W. Sherman

**PREVIOUS  
DOCUMENT  
IN POOR  
ORIGINAL  
CONDITION**

WILLIAM YOUNGBLOOD ASSOCIATES  
ENGINEERS - SURVEYORS - LAND PLANNERS  
ENVIRONMENTAL DESIGNERS  
ROUTE 208  
MONROE, NEW YORK 10950  
(914) 783-3733

WILLIAM YOUNGBLOOD, L.S., P.E.  
JOHN R. ANDERSON, P.E.

December 30, 1974  
(File No. 0-1771)

New Windsor Planning Board  
Town Hall  
555 Union Avenue  
New Windsor, N. Y. 12550

Attn.: -Shirley Hassdenteuffel

Subject: Rough Sketch Plan - Proposed Minor Subdivision - Little  
Brook Court, Town of New Windsor, Orange County, N. Y..

Reference: Discussion of subject Sketch Plan at Dec. 11, 1974  
Planning Board Meeting.

As the result of reference discussion, we have contacted both the N. Y. S. Dept. of Environmental Conservation at New Paltz and the U. S. D. A. Soil Conservation Service at Middletown.

With respect to the N. Y. S. D. E. C., the stream that flows through the proposed subdivision (Designation H89-12) is a Class D stream and no regulations are involved in stream re-location.

The Soil Conservation people did have some re-commendation, namely:

- a) Minimize the extent of stream re-routing
- b) Provide 1 on 3 slopes for sides of new channel
- c) In the middle Lot (Lot #2), move the proposed house location to the west side of the existing stream and provide a culvert for driveway access.
- d) With respect to stream re-location insure that no structures are placed in the old stream bed.

The enclosed Sketch Plan has been revised accordingly (rev. date 12/26/74) and seven (7) copies are provided herewith.

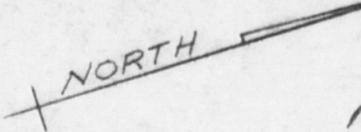
Also enclosed is another "Application for Subdivision Approval" to replace the previous submittal which was apparently lost in the mails.

As requested at the 12/11/74 meeting, we will plan on being at your 1/22/75 meeting for further review as required.

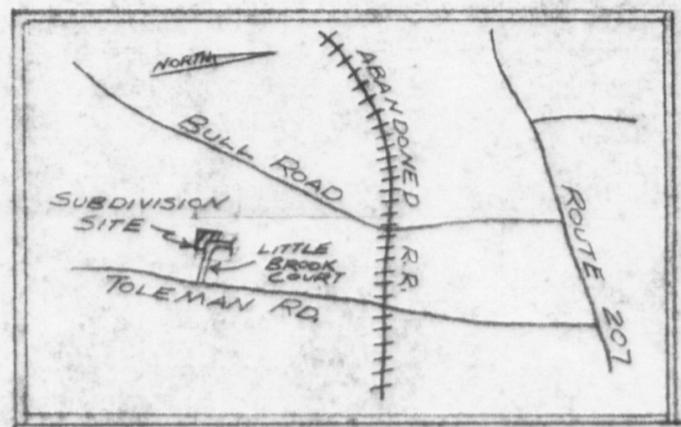
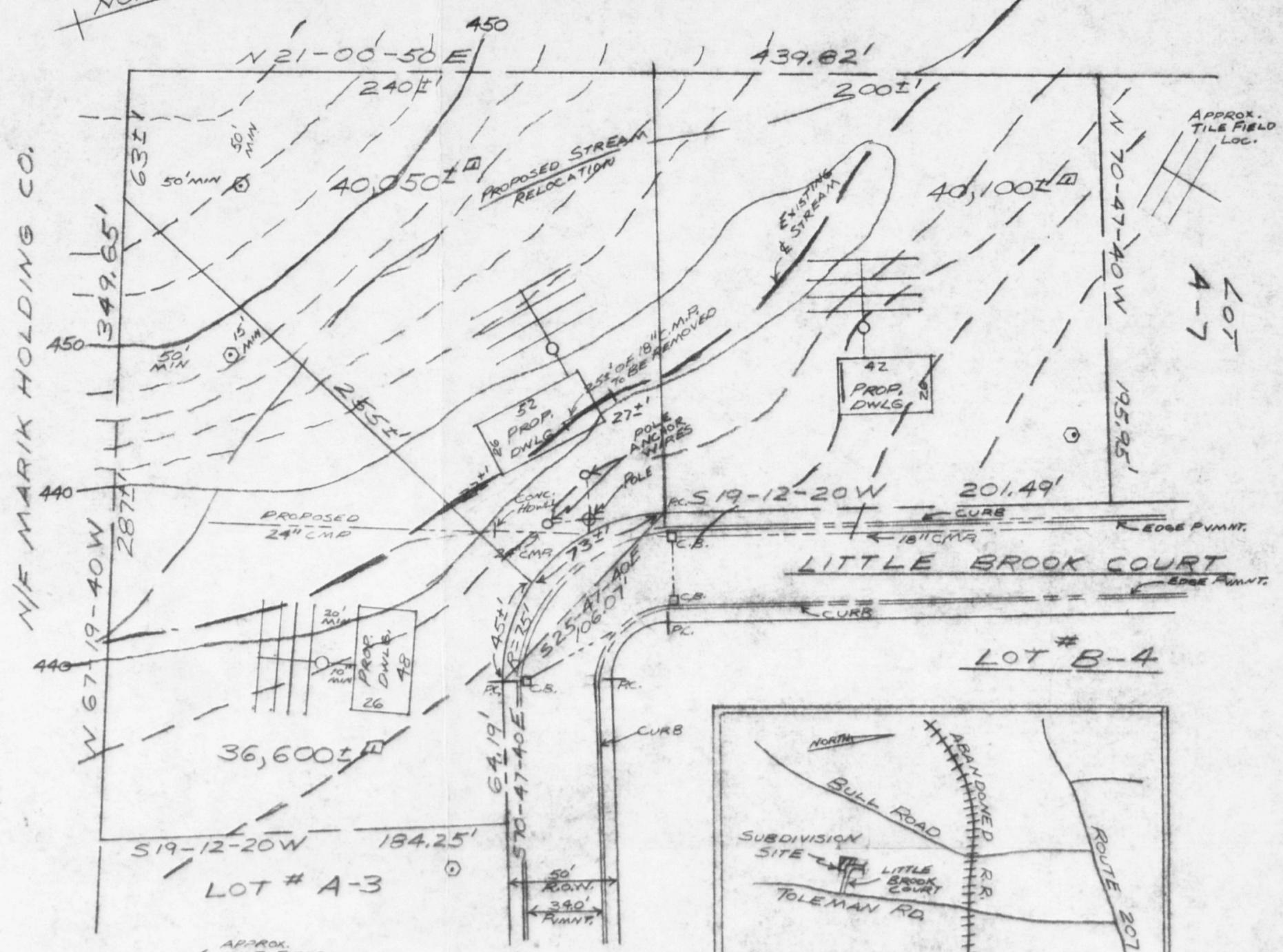
Very truly yours,



John R. Anderson



N/F LANDS OF ANDERS



NOTE: BOUNDARY INFORMATION TAKEN FROM FILED MAP # 2939, DATED 11/70, LAST REVISED 7/12/71 & FILED IN ORANGE CO. CLERKS OFFICE 2/22/73.  
 ○ PROPOSED WELL

NOTE: CONTOURS BASED ON TOPOGRAPHIC SURVEY PERFORMED 10/17/74.

BULK TABLES			
	ZONE "R.A." GROUP A (CURRENT ZONING)	ZONE "R.B." GROUP A (REF. NOTE 2-48-A)	PROPOSED ZONING
LOT AREA	40000 S.F.	20000 S.F.	36000 S.F.
LOT WIDTH	125 FT.	100 FT.	105 FT.
LOT DEPTH	200 FT.	150 FT.	180 FT.
FRONT YARD	45 FT.	40 FT.	45 FT.
ONE SIDE YARD	20 FT.	18 FT.	20 FT.
BOTH SIDE YARDS	40 FT.	40 FT.	40 FT.
REAR YARD	50 FT.	45 FT.	50 FT.

ROUGH SKETCH PLAN  
 MINOR SUBDIVISION  
 LANDS OF

TOTAL AREA - 116790 SF - 2.68 AC  
 PLANNED STRUCTURES:  
 DUTCH COLONIAL OR HI-RANCH  
 PRICE RANGE: \$45,000 TO \$50,000

BLOOMING GROVE OPERATING CO.  
 TOWN OF NEW WINDSOR ORANGE CO., N.Y.

*William H. Youngblood*  
 WILLIAM H. YOUNGBLOOD, L.S. & P.E. # 40178

<b>William Youngblood Associates</b> Consulting Engineers and Surveyors 244 Route 59, Monsey, N.Y. 10952 Route 208, Monroe, N.Y. 10950	DATE: 11-5-74
	SCALE: 1" = 50'
	FILE #: 0-1771