

PB# 94-11

S.G. Kimball, Inc.

9-1-23.1

94- 11

S.G. Kimball, Inc. Site P
Windsor Hwy. (Shaw)

Approved 8/18/94

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

13975

April 22 19 94

Received of K.W.G. Realty Corporation \$ 150.⁰⁰

One Hundred fifty ⁰⁰/₁₀₀ DOLLARS

For Planning Board Application Fee # 94-11

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>ck# 4779</u>		<u>150.00</u>

By Dorothy N. Hansen
sh

Town Clerk
Title

© WILLIAMSON LAW BOOK CO., VICTOR, N.Y. 14564

Planning Board
Town Hall
555 Union Ave.

NO. 94-11

New Windsor, N.Y. 12553

April 22, 19 94

RECEIVED FROM K.W.G. Realty Corp.

Seven Hundred Fifty ⁰⁰/₁₀₀ DOLLARS

Site Plan Minimum Escrow

Account Total \$ 750.00

Amount Paid \$ 750.00

Balance Due \$ -0-

Myra Mason, Secy to the P.B.

THE EFFICIENCY LINE AN AMPAD PRODUCT

Planning Board
Town Hall
555 Union Ave.

NO. 94-11

New Windsor, N.Y. 12553

August 11, 19 94

RECEIVED FROM K.W.G. Realty Corp.

Two Thousand Three Hundred Forty ⁸²/₁₀₀ DOLLARS

4% of \$59,000.00 = \$2,342.82 - 2% of \$17,141.00 inspection fee

Account Total \$ 2,342.82

Amount Paid \$ 2,342.82

Balance Due \$ -0-

Myra L. Mason, Secy to the P.B.

THE EFFICIENCY LINE AN AMPAD PRODUCT

Town Clerk

Title

Planning Board

Town Hall

555 Union Ave.

New Windsor, N.Y. 12553

RECEIVED FROM K.W.G. Realty Corp.

NO. 94-11

April 22, 1994

Seven Hundred Fifty 00/100 DOLLARS

Site Plan Minimum Escrow

Account Total \$ 750.00

Amount Paid \$ 750.00

Balance Due \$ -0-

Myra Mason, Secy to the P.B.

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

M.

Planning Board

Town Hall

555 Union Ave.

New Windsor, N.Y. 12553

RECEIVED FROM K.W.G. Realty Corp.

NO. 94-11

August 11, 1994

Two Thousand Three Hundred Forty Two 82/100 DOLLARS

4% of \$59,000.00 = \$2,000.00 - 2% of \$17,141.00 inspection fee

Account Total \$ 2,342.82

Amount Paid \$ 2,342.82

Balance Due \$ -0-

Myra L. Mason, Secy to the P.B.

"THE EFFICIENCY LINE" AN AMPAD PRODUCT

B.

TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, NY 12550

GENERAL RECEIPT

14224

August 12 1994

Received of K.W.G. Realty Corp \$ 150.00

One Hundred Fifty and 00/100 DOLLARS

For Planning Board Approval Fee #94-11

DISTRIBUTION:

FUND	CODE	AMOUNT
<u>CH # 4809</u>		<u>150.00</u>

By Dorothy H. Haysen

Town Clerk

Title

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/18/94

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 94-11

NAME: S.G. KIMBALL INC. - NEW FACILITY
APPLICANT: K.W.G. REALTY CORP.

--DATE--	DESCRIPTION-----	TRANS	AMT-CHG	AMT-PAID	BAL-DUE
04/22/94	S.P. MINIMUM	PAID		750.00	
04/27/94	P.B. ATTY. FEE	CHG	35.00		
04/27/94	P.B. MINUTES	CHG	36.00		
06/08/94	P.B. ATTY. FEE	CHG	35.00		
06/08/94	P.B. MINUTES	CHG	31.50		
06/22/94	P.B. ENGINEER FEE	CHG	382.00		
08/18/94	RET. TO APPLICANT	CHG	230.50		
		TOTAL:	750.00	750.00	0.00

Please issue a check in the
amount of \$230.50 to:

K W G Realty Corp.
P.O. Box 2628
Newburgh, N.Y. 12550

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/18/94

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 94-11

NAME: S.G. KIMBALL INC. - NEW FACILITY
APPLICANT: K.W.G. REALTY CORP.

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
08/18/94	PLANS STAMPED	APPROVED
06/08/94	P.B. APPEARANCE	ND:APPROVED
05/25/94	P.B. APPEARANCE . CAME TOO LATE FOR MEETING	NO SHOW
04/27/94	P.B. APPEARANCE . MARK'S COMMENT #3- NEXT AGENDA	LA:WAIVE P.H.
04/20/94	WORKSHOP APPOINTMENT	SUBMIT
04/20/94	WORKSHOP APPOINTMENT	REVISE AND SUBMIT
04/06/94	WORKSHOP APPOINTMENT	REVISE & RETURN

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/18/94

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 94-11

NAME: S.G. KIMBALL INC. - NEW FACILITY

APPLICANT: K.W.G. REALTY CORP.

DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG 04/22/94	MUNICIPAL HIGHWAY	05/10/94	APPROVED
ORIG 04/22/94	MUNICIPAL WATER	04/25/94	APPROVED
ORIG 04/22/94	MUNICIPAL SEWER	04/26/94	APPROVED
ORIG 04/22/94	MUNICIPAL SANITARY	05/20/94	SUPERSEDED BY REV1
ORIG 04/22/94	MUNICIPAL FIRE	04/27/94	APPROVED
ORIG 04/22/94	PLANNING BOARD ENGINEER	05/20/94	SUPERSEDED BY REV1
REV1 05/20/94	MUNICIPAL HIGHWAY	/ /	
REV1 05/20/94	MUNICIPAL WATER	05/24/94	APPROVED
REV1 05/20/94	MUNICIPAL SEWER	/ /	
REV1 05/20/94	MUNICIPAL FIRE	05/23/94	APPROVED
REV1 05/20/94		/ /	
REV1 05/20/94		/ /	



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office**
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

24 June 1994

MEMORANDUM

TO: Myra Mason, Planning Board Secretary

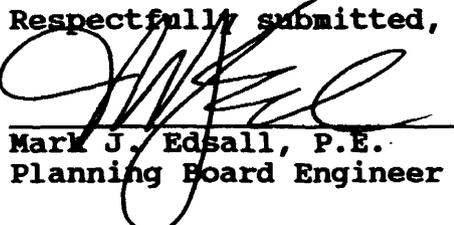
FROM: Mark J. Edsall, P.E., Planning Board Engineer

SUBJECT: S.G. KIMBALL SITE PLAN
NEW WINDSOR PLANNING BOARD NO. 94-11

With regard to your note concerning the status of the subject project, please be advised of the following:

1. To my understanding, this project was approved without conditions at the 8 June 1994 Planning Board meeting. As such, if you have sufficient copies of the plan that was approved, I believe no further action is necessary.
2. Attached hereto please find a printout of the engineering review fees for the project.

Respectfully submitted,


Mark J. Edsall, P.E.
Planning Board Engineer

MJesh
Encl.as
a:sgkimb.sh

AS OF: 06/22/94

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 94- 11

FOR WORK DONE PRIOR TO: 06/22/94

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	-----DOLLARS-----			
								TIME	EXP.	BILLED	BALANCE
94-11	72977	03/16/94	TIME	MJE	WS GALLAGHER	70.00	0.40	28.00			
94-11	75235	04/06/94	TIME	MJE	WS GALLAGHER	70.00	0.10	7.00			
94-11	75631	04/20/94	TIME	MJE	WS GALLAGHER	70.00	0.40	28.00			
94-11	75407	04/26/94	TIME	MCK	CL S/RVW COMMENTS	25.00	0.50	12.50			
94-11	75609	04/26/94	TIME	MJE	MC KIMBALL S/P	70.00	0.50	35.00			
94-11	75612	04/27/94	TIME	MJE	MC KIMBALL S/P	70.00	0.20	14.00			
94-11	78266	05/10/94	TIME	MJE	MC KIMBALL	70.00	0.30	21.00			
94-11	78434	05/16/94	TIME	KRV	MC LIGHTS	70.00	0.50	35.00			
94-11	78257	05/17/94	TIME	MJE	PM KIMBALL W/SHAW	70.00	1.50	105.00			
94-11	78435	05/17/94	TIME	KRV	MC LIGHTS-REVIEW LAYOUT	70.00	1.00	70.00			
94-11	78094	05/25/94	TIME	MCK	CL S/RVW COMMENTS	25.00	0.50	12.50			
94-11	78511	06/08/94	TIME	MJE	MM KIMBALL S/P APPL	70.00	0.10	7.00			
94-11	79736	06/08/94	TIME	MJE	MC SG KIMBALL	70.00	0.10	7.00			
TASK TOTAL								382.00	0.00	0.00	382.00
GRAND TOTAL								382.00	0.00	0.00	382.00

APPLICATION FEE (DUE AT TIME OF SUBMITTAL) \$ 150.00

PLAN REVIEW FEE: (APPROVAL) 150.00

PLAN REVIEW FEE (MULTI-FAMILY): A. ~~\$150.00~~
PLUS \$25.00/UNIT B.

TOTAL OF A & B: 150.00 ①

SITE IMPROVEMENT COST ESTIMATE: \$ 67,141.00

A. 4% OF FIRST \$50,000.00 A. 2000.00
B. 2% OF REMAINDER B. 342.82

TOTAL OF A & B: \$ 2,342.82 ②

7/15/94 Spoke to Frank Gallagher
and he said he would be
in in about a week or so
to pay fees.

(m)

RESULTS OF P.B. MEETING

DATE: June 8, 1994

PROJECT NAME: S.G. Kimball S.P. PROJECT NUMBER 94-11

LEAD AGENCY: _____ NEGATIVE DEC: _____
M) S) VOTE: A N M) ✓ S) ○ VOTE: A 5 N 0

CARRIED: YES _____ NO _____ CARRIED: YES: ✓ NO _____

PUBLIC HEARING: M) S) VOTE: A N

WAIVED: YES _____ NO _____

SEND TO OR. CO. PLANNING: M) S) VOTE: A N YES NO

SEND TO DEPT. OF TRANSPORT: M) S) VOTE: A N YES NO

DISAPP: REFER TO Z.B.A.: M) S) VOTE: A N YES NO

RETURN TO WORK SHOP: YES _____ NO _____

APPROVAL:

M) L S) S VOTE: A 5 N 0 APPROVED: 6-8-94

M) S) VOTE: A N APPR. CONDITIONALLY: _____

NEED NEW PLANS: YES _____ NO _____

DISCUSSION/APPROVAL CONDITIONS: _____

office / retail / Warehouse space

S. G. KIMBALL SITE PLAN (94-11) RT. 32

Gregory Shaw, P.E. of Shaw Engineering appeared before the board for this proposal.

MR. SHAW: Let me begin, for the record, my name is Greg Shaw. With me tonight is Frank Gallagher, also representing S. G. Kimball, Inc. Our proposal before the board tonight is to construct an 7,980 square foot building which will be the newer facility for S.G. Kimball, Inc. which is an auto parts distribution center. The building will be located on the site of the Gallagher Trucking which hopefully will be adopting the name Gallagher Transportation Park. Our proposal before the board is really twofold. One is construction of the building itself and two is a new macadam drive which will not only services the new building but also the two existing facilities which exist on the site, that being Gallagher Trucking and the passenger truck sales. With respect to the new building, there will be three uses within the facility. There will be approximately 1,155 square feet of office space, 2,080 square feet of retail space and 4,745 square feet of warehouse space. We're complying with all aspects of the zoning ordinance and by your zoning ordinance we're required to provide total of 25 parking spaces and we've provided 25 parking spaces. The building will be serviced by municipal water and sewer systems. Presently there's a 6 inch main which extends from Windsor Highway to the passenger truck sales building who will be picking up from that point and extending the 6 inch main within the new macadam drive to the new building. Also we'll be installing an 8 inch sewer line within the macadam drive, which will interconnect to the sewer district 24, which is presently under construction on Windsor Highway. So, once again, the new building will be serviced with municipal facilities. This is the second time we have been before you, the initial presentation I believe was probably made about six weeks ago. We received review comments by Mark Edsall, the plans have been revised and resubmitted back to Mark with hopefully his final determination tonight so with that, that is a brief overview. If you have any questions?

MR. PETRO: Municipal highway approval on 5/10/94 and municipal fire approval on 5/23/94.

MR. LANDER: Mark's first comment 3, separate parcels for this property?

MR. SHAW: There was one originally, if you look into, I think it's on the second drawing in the bottom right-hand corner, you'll see that at one point in time, the site consisted of three different parcels. Not tax maps, just parcels referred to in the deed. I believe Mark is satisfied in that there has been a deed filed previously before this application which incorporated all of the parcels. That is why we're referring to that sketch as the former parcel.

MR. EDSALL: I believe two of the three have been combined, three remains as a separate piece, one way in the back, and that is really not involved and obviously it might be worthwhile for the board to suggest that you add that in at your earliest convenience but it doesn't effect the site plan.

MR. LANDER: Can I ask why that wasn't added?

MR. SHAW: Was there a reason why that piece was not reflected in the deed?

MR. GALLAGHER: We can't remember why they actually conveyed it back and forth twice, we're not too sure about this stuff.

MR. LANDER: Now, you have existing sewer up to this point, right?

MR. VAN LEEUWEN: They'll have--

MR. SHAW: There's no existing sewer, the existing buildings are serviced by subsurface systems.

MR. LANDER: So, what you're suggesting is service them with municipal sewer?

MR. SHAW: Correct. Once the sewer line and pump station is in operation.

MR. VAN LEEUWEN: Should be in operation about another 30 days.

MR. SHAW: That is considered a lateral servicing one piece of property.

MR. LANDER: That is my question. We got a lateral here that is how many feet long?

MR. VAN LEEUWEN: Well, if the pipe is big enough, it ain't going to make any difference.

MR. EDSALL: This is set up as a regular equivalent of a sewer line, they've put in manholes.

MR. LANDER: Sewer main?

MR. EDSALL: Yeah, one of the things about sewer district 24 is that the sewer district and its construction is not subject to the sewer moratorium because this project was approved, meaning the sewer district 24 project was approved before the moratorium went into effect. That is why the construction is ongoing.

MR. LANDER: Why didn't you say that?

MR. SHAW: Cause you didn't ask that question to me.

MR. DUBALDI: Does this have to go in front of the City of Newburgh?

MR. VAN LEEUWEN: Why?

MR. BABCOCK: They just put a large addition on the ice place in the City of Newburgh and it didn't come in front of us.

MR. VAN LEEUWEN: No, they don't, the City of Newburgh has never done that.

MR. LANDER: I think we're looking at this whole thing now, aren't we?

MR. BABCOCK: Right behind Height's lumberyard.

MR. LANDER: City line runs through this property.

MR. VAN LEEUWEN: No. Runs between McDonald and Miron, that wall, that is the City line right there.

MR. LANDER: What's this line here?

MR. GALLAGHER: All the way in the back it does.

MR. LANDER: Go to sheet 2, right-hand corner.

MR. PETRO: I see it there.

MR. LANDER: We have Town of New Windsor, City of Newburgh and God knows what else.

MR. SHAW: I can assure you, it's not the Town of Newburgh.

MR. PETRO: The new facility doesn't encumber on the City property at all, does it?

MR. SHAW: Not at all.

MR. PETRO: Anyone have a problem with that?

MR. VAN LEEUWEN: If you send it to the City of Newburgh, you're not going to get it back for six months, believe me when I tell you.

MR. PETRO: I don't think it has an impact.

MR. GALLAGHER: When we built the showroom five years ago, City wasn't involved.

MR. PETRO: Probably just sent it back to the lead agency anyway.

MR. EDSALL: Greg just confirming no matter which line you look at, as far as where the City and the Town line is located, none of the improvements are in the City?

MR. SHAW: Correct.

MR. PETRO: Okay, how about number 4? Did we take lead agency?

MR. VAN LEEUWEN: Yes, we did.

MR. VAN LEEUWEN: I make a motion to declare negative dec.

MR. DUBALDI: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec on the S.G. Kimball Site Plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. PETRO	AYE
MR. DUBALDI	AYE

MR. PETRO: Planning Board should require that bond estimate be submitted for this site plan in accordance with paragraph A1G, Chapter 19 of the Town Code.

MR. EDSALL: We've since received that.

MR. SHAW: That was done, Mr. Chairman.

MR. PETRO: Lighting plan Mark found acceptable?

MR. EDSALL: Yes.

MR. PETRO: I don't see anything else.

MR. SCHIEFER: I just have a question. Why the gravel cul-de-sac with all that macadam back there?

MR. SHAW: We don't feel at this time it's going to be a high use area. It's just going to be for a random truck trailer possibly to turn around and park in this fashion pointing towards Windsor Highway to unload into

the side of the vehicle. So again, it's not been a high traffic area we thought maybe would warrant a gravel surface. Plus the fact if you put an impervious surface, it may create more storm drainage, we didn't feel it was necessary.

MR. VAN LEEUWEN: The parking lot is going to be macadam?

MR. SHAW: Absolutely.

MR. PETRO: One last point, I see planting areas, is there any type of schedule for landscaping at all?

MR. SHAW: Absolutely, we have a landscaping plan that was prepared by Devitt's, all right, we got their input from the very beginning as to what type of shrubbery would be appropriate, not only in the front, but along the macadam drive and that was again prepared by Devitt's.

MR. VAN LEEUWEN: It's going to look nice.

MR. PETRO: They've had some experience in shrubbery and things like that.

MR. SHAW: I think is so. I feel confident.

MR. PETRO: Anything else?

MR. DUBALDI: No.

MR. LANDER: Just going to need a bond estimate.

MR. PETRO: It's already done.

MR. SHAW: And approved.

MR. VAN LEEUWEN: Nothing else.

MR. SCHIEFER: No.

MR. LANDER: Make a motion, Mr. Chairman, that we approve the S. G. Kimball Site Plan.

MR. SCHIEFER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the S. G. Kimball site plan on Route 32. Is there any further discussion from the board members? If not, roll call. I also want to state that is nice to have a plan where there's no subject-tos for once.

ROLL CALL

MR. VAN LEEUWEN	AYE
MR. SCHIEFER	AYE
MR. LANDER	AYE
MR. PETRO	AYE
MR. DUBALDI	AYE



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
507 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

REISSUED
8 JUNE '94

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: S.G. KIMBALL (GALLAGHER) SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 23.1
PROJECT NUMBER: 94-11
DATE: 25 MAY 1994
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A NEW FACILITY ON THE EXISTING GALLAGHER TRUCKING PROPERTY ON THE WEST SIDE OF WINDSOR HIGHWAY (NYS ROUTE 32). THE PLAN WAS PREVIOUSLY REVIEWED AT THE 27 APRIL 1994 PLANNING BOARD MEETING.

1. One item of concern from the previous meeting was the potential existence of three (3) separate parcels for the overall property. Based on my review of the deed information submitted and based on a discussion I had with the project land surveyor, it is my understanding that the property, as it currently exists, is now two (2) parcels. Parcel One and Two (the great majority of the property) were combined and the small parcel (.3 acres) remains as a separate deed parcel. This is clarified on Sheet 2 of the drawings.
2. Pursuant to my discussions with the Applicant's engineer, the lighting plan provided for the project has been expanded and detailed to indicate the levels of the proposed lighting. I believe the proposed lighting configuration is acceptable for the proposed use.
3. Other than the above changes, I am aware of no other revisions, other than detail changes as part of the preparation of these final plans.
4. The Planning Board may wish to make a determination regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.

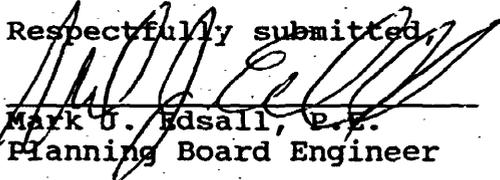
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: S.G. KIMBALL (GALLAGHER) SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 23.1
PROJECT NUMBER: 94-11
DATE: 25 MAY 1994

5. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Paragraph A(1)(g) of Chapter 19 of the Town Code.
6. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark U. Edsall, P.E.
Planning Board Engineer

MJEmk

A:KIMBALL2.mk

RESULTS OF P.B. MEETING

DATE: May 25, 1994

PROJECT NAME: S.G. Kimball S.P. PROJECT NUMBER 94-11

LEAD AGENCY: _____ NEGATIVE DEC: _____

M) ___ S) ___ VOTE: A ___ N ___ M) ___ S) ___ VOTE: A ___ N ___

CARRIED: YES _____ NO _____ CARRIED: YES: _____ NO _____

PUBLIC HEARING: M) ___ S) ___ VOTE: A ___ N ___

WAIVED: YES _____ NO _____

SEND TO OR. CO. PLANNING: M) ___ S) ___ VOTE: A ___ N ___ YES ___ NO ___

SEND TO DEPT. OF TRANSPORT: M) ___ S) ___ VOTE: A ___ N ___ YES ___ NO ___

DISAPP: REFER TO Z.B.A.: M) ___ S) ___ VOTE: A ___ N ___ YES ___ NO ___

RETURN TO WORK SHOP: YES _____ NO _____

APPROVAL:

M) ___ S) ___ VOTE: A ___ N ___ APPROVED: _____

M) ___ S) ___ VOTE: A ___ N ___ APPR. CONDITIONALLY: _____

NEED NEW PLANS: YES _____ NO _____

DISCUSSION/APPROVAL CONDITIONS: _____

No Show

Came too late for meeting

Shaw Engineering

Consulting Engineers

744 Broadway
 P.O. Box 2569
 Newburgh, New York 12550
 (914) 561-3695

May 20, 1994

Post-It™ brand fax transmittal memo 7671 # of pages **2**

To <i>Mark Edsell</i>	From <i>G. Shaw</i>
Co.	Co.
Dept.	Phone #
Fax #	Fax #

Chairman James R. Petro and
 Members of the Planning Board
 TOWN OF NEW WINDSOR
 555 Union Avenue
 New Windsor, New York 12550

Re: Construction Estimate For S.G. Kimball, Inc.

Gentlemen:

We have presented below for your consideration our construction estimate for the site improvements for S.G. Kimball, Inc. Our estimate is as follows:

CONSTRUCTION ESTIMATE

ITEM	QUANTITY	UNIT PRICE	AMOUNT
Macadam Pavement	1,875 S.Y.	✓ \$ 10	\$ 18,750
Shale Parking Area	1,250 S.Y.	✓ \$ 5	\$ 6,250
Pavement Markings	540 L.F.	✓ \$.40	\$ 216
Curb Bumpers	15	✓ \$ 15	\$ 225
Concrete Curbing	1,500 L.F.	✓ \$ 9	\$ 13,500
Handicap Sign/Striping	2	✓ \$ 100	\$ 200
Concrete Sidewalk	50 S.Y.	\$ 15 ³⁵	\$ 750 ¹⁷⁵⁰
6" Water Mains	210 L.F.	\$ 20	\$ 4,200
8" Water Valves	3	\$ 300	\$ 900
Hydrants	2	\$ 1,000	\$ 2,000 ^{OK}
Sanitary Manhole	3	\$ 1,000	\$ 3,000
8" Sanitary Sewer Pipe	625 L.F.	\$ 20	\$ 12,500

New Windsor Planning Board (Cont'd)

-2-

May 10, 1994

Catch Basins	3	\$ 900	\$ 2,700
15" Pipe	410 L.F.	\$ 15	\$ 6,150
Flared End Sections	3	\$ 50	\$ 150
Outlet Velocity Dissipator	1	\$2,000	\$ 2,000
Lampposts	7	\$ 900	\$ 6,300
Shrubs	276	\$ 25	\$ 6,900
Seeding	100 S.Y.	\$.50	\$ 50
Total			\$ 86,741

\$ 67,141

We trust your Board will find this estimate satisfactory.

Respectfully submitted,

SHAW ENGINEERING



Gregory J. Shaw, P.E.
Principal

GJS:mrny
Enclosure

cc: Mark Edsall, P.E., Planning Board Engineer
Ed Gaffagher, S.G. Kimball, Inc.

insp. fee \$ 342.82

[Signature]
6/1/94

Shaw Engineering

94- 11
RECEIVED MAY 20 1994
Consulting Engineers

744 Broadway
P.O. Box 2569
Newburgh, New York 12550
(914) 561-3695

May 20, 1994

**Chairman James R. Petro and
Members of the Planning Board
TOWN OF NEW WINDSOR
555 Union Avenue
New Windsor, New York 12550**

Re: Construction Estimate For S.G. Kimball, Inc.

Gentlemen:

We have presented below for your consideration our construction estimate for the site improvements for S.G. Kimball, Inc. Our estimate is as follows:

CONSTRUCTION ESTIMATE

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
Macadam Pavement	1,875 S.Y.	\$ 10	\$ 18,750
Shale Parking Area	1,250 S.Y.	\$ 5	\$ 6,250
Pavement Markings	540 L..F.	\$.40	\$ 216
Curb Bumpers	15	\$ 15	\$ 225
Concrete Curbing	1,500 L.F.	\$ 9	\$ 13,500
Handicap Sign/Striping	2	\$ 100	\$ 200
Concrete Sidewalk	50 S.Y.	\$ 15	\$ 750
6" Water Mains	210 L.F.	\$ 20	\$ 4,200
6" Water Valves	3	\$ 300	\$ 900
Hydrants	2	\$ 1,000	\$ 2,000
Sanitary Manhole	3	\$ 1,000	\$ 3,000
8" Sanitary Sewer Pipe	625 L.F.	\$ 20	\$ 12,500

New Windsor Planning Board (Cont'd)

-2-

May 10, 1994

Catch Basins	3	\$ 900	\$ 2,700
15" Pipe	410 L.F.	\$ 15	\$ 6,150
Flared End Sections	3	\$ 50	\$ 150
Outlet Velocity Dissipator	1	\$2,000	\$ 2,000
Lampposts	7	\$ 900	\$ 6,300
Shrubs	276	\$ 25	\$ 6,900
Seeding	100 S.Y.	\$.50	\$ 50
Total			\$ 86,741

We trust your Board will find this estimate satisfactory.

Respectfully submitted,

SHAW ENGINEERING



Gregory J. Shaw, P.E.
Principal

GJS:mmv
Enclosure

cc: Mark Edsall, P.E., Planning Board Engineer
Ed Gallagher, S.G. Kimball, Inc.

RESULTS OF P.B. MEETING

DATE: April 27, 1994

PROJECT NAME: S.G. Kimball, Inc. S.P. PROJECT NUMBER 94-11

LEAD AGENCY:

* NEGATIVE DEC:

M) S) VOTE: A 3 N 0

* M) S) VOTE: A N

CARRIED: YES NO

* CARRIED: YES: NO

PUBLIC HEARING: M) S) VOTE: A 3 N 0

WAIVED: YES NO

SEND TO OR. CO. PLANNING: M) S) VOTE: A N YES NO

SEND TO DEPT. OF TRANSPORT: M) S) VOTE: A N YES NO

DISAPP: REFER TO Z.B.A.: M) S) VOTE: A N YES NO

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) S) VOTE: A N APPROVED: _____

M) S) VOTE: A N APPR. CONDITIONALLY: _____

NEED NEW PLANS: YES NO

DISCUSSION/APPROVAL CONDITIONS: _____

Work out Mark's Comment #3 of 4/27/94

Straighten out for 911

Next agenda

REGULAR ITEMS:

S. G. KIMBALL, INC. SITE PLAN (94-11) ROUTE 32

Gregory Shaw, P.E. of Shaw Engineering appeared before the board for this proposal.

MR. SHAW: I'm here tonight representing Gallagher Transportation with respect to a proposed building known as S. G. Kimball, Inc. S. G. Kimball, Inc. is an auto parts distribution center which is owned by the Gallagher's, presently renting space outside the Town of New Windsor and they'd like to bring this business and this operation onto their property and into the Town. The subject parcel is on the west side of Windsor Highway, very close to the City of Newburgh line. It's approximately 11 acres and presently houses Gallagher Trucking and also Gallagher Passenger truck Sales. The passenger truck sales was present before this board I believe in 1988 for site plan approval so it's a relatively recent building. Proposal is to construct an 8,000 square foot building which would combine office space for the operation, retail space for the auto parts distribution center and also warehouse space, respective square footages approximately 1,200 square feet of office, 2,000 square feet of retail and approximately 4,800 square feet of warehouse space. The new building will be serviced by a new 30 foot wide macadam drive, on each side of the macadam drive we're proposing eight foot wide planting area which will have appropriate site lighting and appropriate landscaping on it. What we're trying to do is create a transportation park and again that is noted at the title block of the drawings. There are presently two uses of the Gallagher operation, the trucking center and truck sales and this would be the third component with the potential in the future to add possibly an additional building to the northwest corner of the project. The 30 foot wide macadam driveway would terminate with a 60 foot radius cul-de-sac where tractor trailers would pull along the macadam drive, turn around the 180 degrees in the cul-de-sac and position themselves along the northerly side of the building. You can see there's an overhead door where deliveries would be received. Within this boulevard,

we would be installing an 8 inch sanitary sewer system which would service not only the S. G. Kimball building but also the two existing buildings. This would be serviced by Sewer District number 24 which is presently under construction. Just to the south of this site will be a new pump station which will convey the waste water to another sewer district ultimately New Windsor Sewage Treatment. The site will be serviced by water from the Town of New Windsor. We'll be installing a water main along the length of the roadway and bringing it into the new facility for their water uses. With respect to the setbacks, we're in compliance in each and every setback ran by zoning, we're required to provide 25 spaces and the site plan indicates 25 spaces. So with that, that concludes my presentation. With me is Frank Gallagher. If you have any specific questions about the operation, what I'd like to do is pass around to the board a colored rendering of the front elevation of the building.

MR. VAN LEEUWEN: What is it going to be, simple steel building?

MR. GALLAGHER: Pre-engineered steel.

MR. SHAW: Consistent with the architecture of the truck sales.

MR. PETRO: You realize being over 5,000 feet it's going to be sprinklered, I know you know that.

MR. SHAW: It's an 8 inch main.

MR. EDSALL: You show a 6.

MR. EDSALL: 8 inch main with 6 inch services for the sprinkler.

MR. SHAW: Designated at 8 inch which is 8 inch water main.

MR. PETRO: Do they need a dedicated line for that?

MR. EDSALL: They have to have a dedicated line as it's connected to the, in the system, but you can tap off

the 6 inch feeder and run the domestic off that. Obviously, for the record, when they do the sprinkler calculations, the size of the main may vary but that would be something that would go up. Depending upon the sprinkler design but that will be something that is reviewed by the fire and building inspectors.

MR. LANDER: These islands are going to be concrete?

MR. SHAW: Yes, concrete curbing.

MR. GALLAGHER: With 6 inch rise.

MR. SHAW: Seven and a half inch reveal on the curb itself in case in the future that they want to add inch and a half and still maintain 6 inch reveal we're looking down the road a few years.

MR. LANDER: I see you have velocity dissipater over there.

MR. SHAW: What we tried to do is eliminate the existing drainage patterns presently storm water discharges and follow the existing contours into the area of the velocity dissipater because we put in a couple catch basins and some piping. We've tried to take the storm water and let it go sheet flow over our property in the same drainage pattern, we're not taking anymore water directly into 32, we're letting it go in the direction it is presently flowing.

MR. VAN LEEUWEN: It all flows to the back anyway.

MR. SHAW: Portions of it.

MR. VAN LEEUWEN: It's minor.

MR. SHAW: We don't want to add anymore.

MR. PETRO: Once again, for me, how are you going to access the property, is it a new curb cut or existing?

MR. GALLAGHER: Existing.

MR. SHAW: It's an existing curb cut and we'll not be

going out on to the state highway making any improvements but once we reach our properties, we'll begin installing the concrete curbing and landscaping and lighting.

MR. PETRO: You're not going to need DOT permit?

MR. SHAW: Correct. It's a private drive, correct.

MR. VAN LEEUWEN: It's part of the complex just like in your place.

MR. PETRO: If I disturb anything that touches the right-of-way, I have to get DOT, we found that out the hard way.

MR. PETRO: Even if you are really not doing anything.

MR. EDSALL: We're just somewhat entertained by the existence of a trailer, apparently lands of Manns have trailer that is encroaching on this property.

MR. GALLAGHER: You know which Manns?

MR. EDSALL: We might be familiar with him.

MR. VAN LEEUWEN: It's not Casey, he wouldn't do that.

MR. PETRO: Number 3, the parcel easement plan on sheet 2 indicates existance of 3 parcels off a roadway right-of-way within the property parcel lines or right-of-way lines are not consistent with the development. As such, I suggest that the board recommend to the applicant that they add just these parcel lines and right-of-way line concurrent with this application or at sometime in the future correct the situation. I guess you can work that out with Mark.

MR. SHAW: Yes.

MR. PETRO: Do you have anything to add to that?

MR. KRIEGER: Get it straightened out except to say that what I would like to do though is that after looking at the deeds to make sure that we're, the

applicant actually owns the property that is being improved, I mean that seems like a small point but there are--

MR. PETRO: Get that information to Andy.

MR. SHAW: Yes.

MR. LANDER: Mr. Shaw, are there any residences at the end of this parking lot right here where the headlights would shine into anybody's windows at this end of this property?

MR. VAN LEEUWEN: No, they are lower.

MR. GALLAGHER: There aren't any houses up here and this land is higher than here.

MR. PETRO: Why do we need a 911 name for a drive?

MR. EDSALL: I think that was the policy of the Town and the fire inspector is that any road be it commercial or otherwise is brought into the Town system so I'm sure that if Bob decides that he just wants to have street numbers that are A, B, C, relative to this interior or if he wants to provide numbers and create a name we talked about that at workshop and Bob was going to reach a conclusion.

MR. SHAW: We defer to Bob. Bob is in charge of the 911 system. We'll work out with him whatever he feels is appropriate.

MR. EDSALL: There may be a need to establish a name for the commercial drive and just assign numbers and if that is what Bob's determination is based on the guidelines that are adopted by the Town that is just what's going to have to be done.

MR. PETRO: For the future this to me is a driveway on a commercial site and now we're talking about 911.

MR. EDSALL: If more than one business or user is located internal to a commercial park, even though it may be a shared right-of-way or a shared access, and

from the town's standpoint is a single curb cut, it still is a commercial entity that they have to have address the 911 program requires road name, same as a private road.

MR. PETRO: Drive and the road are one in the same thing?

MR. EDSALL: Especially when you create it as fixed as this is being created it's much easier.

MR. PETRO: You're building a road so we'll see.

MR. EDSALL: My impression Jim from the workshop was that for this one the way we're setting it up, he prefers this type of layout, it works better for the Gallagher's and for emergency access, he'd rather have a road name than a number.

MR. SHAW: Allow me to repeat myself. While there's going to be three separate businesses each and every one is owned and operated by the Gallagher family.

MR. KRIEGER: Even though it's three businesses going to be one parcel?

MR. SHAW: Correct.

MR. KRIEGER: I have to look at the deeds to make sure that Mark will check the descriptions we're going to make sure that it's actually owned by one entity. I don't care what the entity is. What we care about is the Planning Board is not approving a defacto subdivision.

MR. VAN LEEUWEN: We have had some people try to pull it on us, I can tell you stories. I make a motion we declare ourselves lead agency.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare itself lead agency on the S.G. Kimball site plan on Route 32. Any further discussion? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN AYE
MR. LANDER AYE
MR. PETRO AYE

MR. VAN LEEUWEN: I'd like to make a motion we waive public hearing.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and second that the New Windsor Planning Board waive the public hearing under its discretionary judgment under Paragraph 4819 C of the Town Zoning Law. Is there any further discussion? If not, roll call.

ROLL CALL

MR. VAN LEEUWEN AYE
MR. LANDER AYE
MR. PETRO AYE

MR. VAN LEEUWEN: I'm going to do it.

MR. PETRO: Submittal to New York State DOT will be required.

MR. EDSALL: Just a clarification. I was under the impression that the new curb line was going to be extended out?

MR. PETRO: It won't be required, we're not disturbing what you're doing. It's already there. It's all internal, right?

MR. GALLAGHER: Yes.

MR. SHAW: Our proposal is not to do any improvements on the State highway.

MR. PETRO: I'll subtract that. It is not required.

MR. EDSALL: If they do not intend to go off their

property and they propose no improvements to the curb cut other than maybe maintenance, then I rescind that comment.

MR. VAN LEEUWEN: Get the 911 done.

MR. KRIEGER: Send me recorded deeds.

MR. PETRO: Just drainage. Have we touched on that at all?

MR. VAN LEEUWEN: Yes, we did, it all goes to the back.

MR. EDSALL: Just one clarification they'll need a permit for any work relative to the roadway construction but as Mike points out, since they'll be going to the right-of-way for sewer connections and water connections, they'd need a permit for the utility connections.

MR. PETRO: Street opening permits.

MR. EDSALL: DOT permit but that would be relative to the utilities.

MR. SHAW: Do we need those in place before we get final approval.

MR. EDSALL: No, I don't think so. When you're ready to tie in you have a valid permit.

MR. BABCOCK: Actually before you do the work in this case because it's an existing facility so it doesn't have any problems.

MR. PETRO: Take a copy of Mark's comments and digest a couple of housekeeping ones and we'll put you on the next agenda. You're well on your way, thank you. On this application, we have fire approval on 4/2/94.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office**
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office**
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: S.G. KIMBALL (GALLAGHER) SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 23.1
PROJECT NUMBER: 94-11
DATE: 27 APRIL 1994
DESCRIPTION: THE APPLICATION INVOLVES THE DEVELOPMENT OF A NEW FACILITY ON THE EXISTING GALLAGHER TRUCKING PROPERTY ON THE WEST SIDE OF WINDSOR HIGHWAY (NYS ROUTE 32). THE PLAN WAS REVIEWED ON A CONCEPT BASIS ONLY.

1. The existing site includes two (2) existing uses, which include the truck sales and truck service facilities. For this application, a new auto parts warehouse and sales center is proposed. As a result, the site will include three (3) uses (all permitted in the "C" Zone), as indicated on the zoning schedule on the plan.

Based on the design shopping (C) zoning district requirements, the site currently exists with at least one (1) existing non-conformance, which was created by the Town's rezoning of the area. The proposed auto parts facility meets all the applicable requirements of the "C" Zoning District.

2. Although the plan does not require application to the NYSDEC for a General Permit for the site grading and disturbance, it is essential that erosion and sedimentation be prevented and controlled on-site. The plans include a typical detail for a silt fence and detailed notes regarding such measures; however, the grading plan does not delineate minimum locations for such protective measures. I recommend that the partial site plan on Drawing 2 include minimum locations for the silt fence installation.
3. The parcel/easement plan on Sheet 2 indicates the existence of three (3) parcels and a roadway right-of-way within the property. The parcel lines and right-of-way lines are not consistent with the development. As such, I suggest that the Board recommend to the Applicant that they adjust these parcel lines and right-of-way line concurrent with this application, or at some time in the future, to correct this situation.

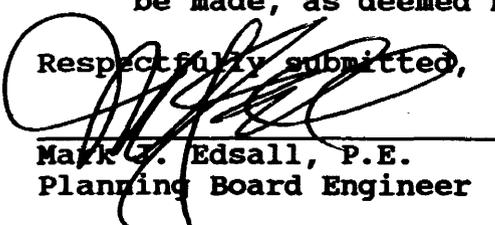
TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

-2-

PROJECT NAME: S.G. KIMBALL (GALLAGHER) SITE PLAN
PROJECT LOCATION: NYS ROUTE 32
SECTION 9-BLOCK 1-LOT 23.1
PROJECT NUMBER: 94-11
DATE: 27 APRIL 1994

4. The plans on Sheet 3 indicate that same are intended as landscaping and lighting plans; lighting information is only shown on the left plan. Insufficient information is provided to determine whether the lighting is adequate. The Board should determine if additional information is necessary.
5. The Planning Board may wish to assume the position of Lead Agency under the SEQRA process.
6. The Planning Board should determine, for the record, if a Public Hearing will be necessary for this Site Plan, per its discretionary judgement under Paragraph 48-19.C of the Town Zoning Local Law.
7. Submittal of this plan/application to the New York State Department of Transportation will be required.
8. The Planning Board should require that a bond estimate be submitted for this Site Plan in accordance with Paragraph A(1)(g) of Chapter 19 of the Town Code.
9. As per the 911 policy/procedures adopted by the Town, this project will require assignment of a street name and numbering sequence as part of the Planning Board review process.
10. At such time that the Planning Board has made further review of this application, further engineering reviews and comments will be made, as deemed necessary by the Board.

Respectfully submitted,


Mark G. Edsall, P.E.
Planning Board Engineer

MJEmk

A:KIMBALL.mk

**PREVIOUS
DOCUMENT
IN POOR
ORIGINAL
CONDITION**



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
400 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

1-3

TOWN/VILLAGE OF New Windsor P/B # 94 - 11

WORK SESSION DATE: 20 APR 94 APPLICANT RESUB. REQUIRED: Full App

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Gallagher - (Kirkall)

PROJECT STATUS: NEW X OLD _____

REPRESENTATIVE PRESENT: Greg Shaw

MUNIC REPS PRESENT: BLDG INSP. Wks in office
 FIRE INSP. X
 ENGINEER X
 PLANNER _____
 P/B CHMN. _____
 OTHER (Specify) _____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- add note \$ ul remain private / not fenced
- 7th curbs.
- not Town Road.
- How do 3 parcels exist now?
- talk to Andy K. - after Greg will fax use variance for



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 94- 11

DATE PLAN RECEIVED: RECEIVED MAY 20 1994 *Rev. 1*

The maps and plans for the Site Approval S.G. Kimball
Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been
reviewed by me and is approved
disapproved _____

If disapproved, please list reason _____

HIGHWAY SUPERINTENDENT DATE

[Signature]
WATER SUPERINTENDENT 5/24/94 DATE

SANITARY SUPERINTENDENT DATE

cc: M.E.

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 23 May 1994

SUBJECT: S. G. Kimball, Inc. Site Plan

Planning Board Ref. Number: PB-94-11
Dated: 20 May 1994
Fire Prevention Ref. Number: FPS-94-023

A review of the above reference subject site plan was conducted on 20 May 1994.

This site plan is acceptable.

Plans Dated: 10 May 1994; Revision 1.

Robert F. Rodgers, C.C.A. (mvz)
Robert F. Rodgers, C.C.A.

RFR/mvz



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 94- 11

DATE PLAN RECEIVED: RECEIVED APR 22 1994

The maps and plans for the Site Approval _____

Subdivision _____ as submitted by

_____ for the building or subdivision of

_____ has been

reviewed by me and is approved

disapproved

If disapproved, please list reason _____

Fred S. Mason 5/10/94
HIGHWAY SUPERINTENDENT DATE

WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 94-11

DATE PLAN RECEIVED: RECEIVED APR 22 1994

The maps and plans for the Site Approval St. Er. Kimball Inc.

Subdivision _____ as submitted by
_____ for the building or subdivision of
_____ has been

reviewed by me and is approved ✓
disapproved _____

If disapproved, please list reason _____

_____	HIGHWAY SUPERINTENDENT	DATE
<i>[Signature]</i>		<u>4/2/94</u>
_____	WATER SUPERINTENDENT	DATE
_____	SANITARY SUPERINTENDENT	DATE

INTER-OFFICE CORRESPONDENCE

TO: Town Planning Board

FROM: Town Fire Inspector

DATE: 27 April 1994

SUBJECT: S. G. Kimball, Inc.

Planning Board Reference Number: PB-94-11

Dated: 22 April 1994

Fire Prevention Reference Number: FPS-94-015

A review of the above referenced subject site plan was conducted on 26 April 1994.

This site plan is acceptable.

Plans Dated: 15 April 1994

Robert F. Rodgers, C.C.A. (mvz)
Robert F. Rodgers, C.C.A.

RFR/mvz

RECEIVED APR 22 1994

Planning Board
Town of New Windsor
555 Union Avenue
New Windsor, NY 12553

(This is a two-sided form)

APPLICATION FOR SITE PLAN, SUBDIVISION PLAN,
OR LOT LINE CHANGE APPROVAL

1. Name of Project New Facility for S. G. Kimball Inc.
2. Name of Applicant K.W.G. Realty Corp. Phone 565-7700
Address Windsor Highway, New Windsor, N.Y. 12553
(Street No. & Name) (Post Office) (State) (Zip)
3. Owner of Record Same as Applicant Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
4. Person Preparing Plan Gregory J. Shaw, P.E. Phone 561-3695
Address 744 Broadway, Newburgh, N.Y. 12550
(Street No. & Name) (Post Office) (State) (Zip)
5. Attorney _____ Phone _____
Address _____
(Street No. & Name) (Post Office) (State) (Zip)
6. Person to be notified to represent applicant at Planning Board Meeting Gregory J. Shaw, P.E. Phone 561-3695
(Name)
7. Location: On the west side of Windsor Highway
(Street)
800 feet south of New Windsor Town Line
(Direction) (Street)
8. Acreage of Parcel 11.36 9. Zone C, 9A. School Dist Newburgh
Consolidated
- 9B. If this property is within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District, please complete the attached Agricultural Data Statement.
10. Tax Map Designation: Section 9 Block 1 Lot 23.1
11. This application is for construction of a 7,980 S.F. building
for S. G. Kimball Inc.

12. Has the Zoning Board of Appeals granted any variance or a Special Permit concerning this property? No

If so, list Case No. and Name _____

13. List all contiguous holdings in the same ownership
Section _____ Block _____ Lot(s) _____

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the liber and page of each conveyance into the present owner as recorded in the Orange County Clerk's Office. This affidavit shall indicate the legal owner of the property, the contract owner of the property and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

OWNER'S ENDORSEMENT
(Completion required ONLY if applicable)

COUNTY OF ORANGE
SS.:
STATE OF NEW YORK

Edward X. Gallagher being duly sworn, deposes and says that he resides at 24 Balmville Road, Newburgh, N.Y. in the County of Orange and State of New York and that he is ~~(the owner in fee)~~ of _____

(Official Title)
of the Corporation which is the Owner in fee of the premises described in the foregoing application and that he has authorized Gregory J. Shaw, P.E. to make the foregoing application as described herein.

I HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND INFORMATION, AND ALL STATEMENTS AND INFORMATION CONTAINED IN THE SUPPORTING DOCUMENTS AND DRAWINGS ATTACHED HERETO ARE TRUE.

Sworn before me this

19th day of April 1994

Edward X. Gallagher
Notary Public

Comm. expires 10/31/95

Reg # 01GA4831898

(Owner's Signature)
Edward X. Gallagher
(Applicant's Signature)

(Title)

PROJECT I.D. NUMBER

94-11
RECEIVED APR 22 1994
SEQR

017.21

Appendix C

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
 For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR K. W. G. Realty Corp.	2. PROJECT NAME New Facility for S.G. Kimball Inc.
3. PROJECT LOCATION: Municipality Town of New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) West side of Windsor Highway, 800 feet south of New Windsor/City of Newburgh Boundry Line.	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Construction of a 7980 S.F. building which will be for retail and distribution uses.	
7. AMOUNT OF LAND AFFECTED: Initially <u>4.0</u> acres Ultimately <u>4.0</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>K. W. G. Realty Corp.</u>	Date: <u>4/19/94</u>
Signature: <u>[Signature]</u> Engineer	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
 No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
 No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
 No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
 No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.
 No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.
 No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.
 No

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

- Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Town of New Windsor Planning Board

Name of Lead Agency

James Petro

Print or Type Name of Responsible Officer in Lead Agency

Chairman

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

[Handwritten Signature]
 Signature of Officer (if different from responsible officer)

Date

TOWN OF NEW WINDSOR PLANNING BOARD
SITE PLAN CHECKLIST

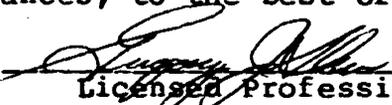
ITEM

- | | |
|--|---|
| 1. <input checked="" type="checkbox"/> Site Plan Title | 29. <input checked="" type="checkbox"/> Curbing Locations |
| 2. <input checked="" type="checkbox"/> Applicant's Name(s) | 30. <input checked="" type="checkbox"/> Curbing Through Section |
| 3. <input checked="" type="checkbox"/> Applicant's Address(es) | 31. <input checked="" type="checkbox"/> Catch Basin Locations |
| 4. <input checked="" type="checkbox"/> Site Plan Preparer's Name | 32. <input checked="" type="checkbox"/> Catch Basin Through Section |
| 5. <input checked="" type="checkbox"/> Site Plan Preparer's Address | 33. <input checked="" type="checkbox"/> Storm Drainage |
| 6. <input checked="" type="checkbox"/> Drawing Date | 34. <input checked="" type="checkbox"/> Refuse Storage |
| 7. <input checked="" type="checkbox"/> Revision Dates | 35. <input checked="" type="checkbox"/> Other Outdoor Storage |
| 8. <input checked="" type="checkbox"/> AREA MAP INSET | 36. <input checked="" type="checkbox"/> Water Supply |
| 9. <input checked="" type="checkbox"/> Site Designation | 37. <input checked="" type="checkbox"/> Sanitary Disposal Sys. |
| 10. <input checked="" type="checkbox"/> Properties Within 500 Feet of Site | 38. <input checked="" type="checkbox"/> Fire Hydrants |
| 11. <input checked="" type="checkbox"/> Property Owners (Item #10) | 39. <input checked="" type="checkbox"/> Building Locations |
| 12. <input checked="" type="checkbox"/> PLOT PLAN | 40. <input checked="" type="checkbox"/> Building Setbacks |
| 13. <input checked="" type="checkbox"/> Scale (1" = 50' or lesser) | 41. <input checked="" type="checkbox"/> Front Building Elevations |
| 14. <input checked="" type="checkbox"/> Metes and Bounds | 42. <input checked="" type="checkbox"/> Divisions of Occupancy |
| 15. <input checked="" type="checkbox"/> Zoning Designation | 43. <input checked="" type="checkbox"/> Sign Details |
| 16. <input checked="" type="checkbox"/> North Arrow | 44. <input checked="" type="checkbox"/> BULK TABLE INSET |
| 17. <input checked="" type="checkbox"/> Abutting Property Owners | 45. <input checked="" type="checkbox"/> Property Area (Nearest 100 sq. ft.) |
| 18. <input checked="" type="checkbox"/> Existing Building Locations | 46. <input checked="" type="checkbox"/> Building Coverage (sq. ft.) |
| 19. <input checked="" type="checkbox"/> Existing Paved Areas | 47. <input checked="" type="checkbox"/> Building Coverage (% of Total Area) |
| 20. <input checked="" type="checkbox"/> Existing Vegetation | 48. <input checked="" type="checkbox"/> Pavement Coverage (Sq. Ft.) |
| 21. <input checked="" type="checkbox"/> Existing Access & Egress | 49. <input checked="" type="checkbox"/> Pavement Coverage (% of Total Area) |
| | 50. <input checked="" type="checkbox"/> Open Space (Sq. Ft.) |
| <u>PROPOSED IMPROVEMENTS</u> | 51. <input checked="" type="checkbox"/> Open Space (% of Total Area) |
| 22. <input checked="" type="checkbox"/> Landscaping | 52. <input checked="" type="checkbox"/> No. of Parking Spaces Proposed. |
| 23. <input checked="" type="checkbox"/> Exterior Lighting | 53. <input checked="" type="checkbox"/> No. of Parking Required. |
| 24. <input checked="" type="checkbox"/> Screening | |
| 25. <input checked="" type="checkbox"/> Access & Egress | |
| 26. <input checked="" type="checkbox"/> Parking Areas | |
| 27. <input checked="" type="checkbox"/> Loading Areas | |
| 28. <input checked="" type="checkbox"/> Paving Details (Items 25-27) | |

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGEMENT:

The Site Plan has been prepared in accordance with this checklist and the Town of New Windsor Ordinances, to the best of my knowledge.

By: 
Licensed Professional

Date: 4/19/94

RECEIVED APR 22 1994

94-11

PROXY STATEMENT
for submittal to the
TOWN OF NEW WINDSOR PLANNING BOARD

Edward X. Gallagher, deposes and says that he
resides at 24 Balmville Road, Newburgh, N.Y. 12550
(Owner's Address)

in the County of Orange

and State of New York

and that he is the owner in fee of his corporation Tax Map Parcel
Section 9, Block 1, Lot 23.1

which is the premises described in the foregoing application and
that he has authorized Gregory J. Shaw, P.E.
to make the foregoing application as described therein.

Date: 4/19/94

[Signature]
(Owner's Signature)

[Signature]
(Witness' Signature)

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF
THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT
AND/OR OWNER AT THE MEETINGS.



N.F. LANDS OF
CENTRAL HUDSON
GAS & ELECTRIC
CORP.

N.F. LANDS OF
CENTRAL HUDSON
GAS & ELECTRIC
CORP.

N.F. LANDS OF
NEWBURGH MIRON
LUMBER CORP.

N.F. LANDS OF
MANS

N.F. LANDS OF
CONRAIL



LEGEND

EXISTING	NEW
1" CB	1" CONTOUR
5" CB	5" CONTOUR
BOUNDARY	BOUNDARY
ADJ. PROPERTY LINE	ADJ. PROPERTY LINE
CATCH BASIN	GATCH BASIN
UTILITY POLE	SANITARY MANHOLE
SAN. MANHOLE	HYDRANT W/ VALVE
HYDRANT	WATER VALVE
10" W	15" ST
8" S	4" S
4" S	6" W
WATER MAIN	WATER SERVICE
10" SAN. SEWER	GAS SERVICE LINE
4" S	GAS MAIN
SPOT ELEV. 176.4	FLARED END SECTION
UTILITY POLE W/ LIGHT	HANDICAPPED PARKING SPACE

UTILITY MATERIAL SPECIFICATIONS

SANITARY SEWER:
1. PIPING: PVC SDR-35.

WATER MAINS:
1. PIPING: 6" DUCTILE IRON PIPE, CLASS 52 WITH CEMENT MORTAR LINING.
2. BUILDING SERVICE LINE: 6" DUCTILE IRON PIPE, CLASS 52 WITH CEMENT MORTAR LINING.

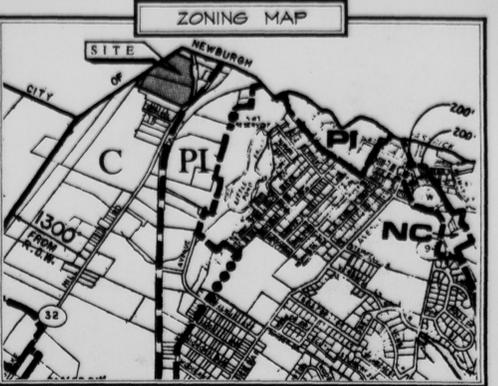
STORM SEWERS:
1. PIPING: ADVANCED DRAINAGE SYSTEMS, N-12.

SANITARY SEWER MANHOLE SCHEDULE

MANHOLE No.	RIM ELEV.	INV. IN	FROM	INV. IN	FROM	INV. OUT
MH-A	172.3	164.20	MH-B			164.20
MH-B	176.0	166.40	MH-C			166.20
MH-C	177.0		F.E.S.	171.4	CB No. 2	167.70

CATCH BASIN SCHEDULE

CATCH BASIN No.	RIM ELEV.	INV. IN	FROM	INV. IN	FROM	INV. OUT
1	176.0	173.0	F.E.S.	171.4	CB No. 2	171.4
2	176.2	173.4	CB No. 3			173.4
3	176.2	173.7	F.E.S.			173.7



ZONING SCHEDULE

ZONE: C - DESIGN SHOPPING

USE: EXISTING BUILDINGS
A-2: MOTOR VEHICLE SALES ESTABLISHMENTS FOR NEW MOTOR VEHICLES (PASSENGER TRUCK SALES)
MOTOR VEHICLE REPAIR AND STORAGE (GALLAGHER TRUCKING)

S.S. KIMBALL INC. BUILDING
A-1: RETAIL STORES
A-4: SERVICE ESTABLISHMENTS FURNISHING SERVICES OTHER THAN OF A PERSONAL NATURE.

BULK REGULATIONS	REQUIRED	PROVIDED
LOT AREA	40,000 S.F.	444,842 ± S.F.
LOT WIDTH	200 FT.	522 ± FT.
FRONT YARD DEPTH	60 FT.	49.3 FT. (GALLAGHER TRUCKING)
SIDE YARD SETBACK	30 FT.	75.6 FT. (GALLAGHER TRUCKING)
TOTAL BOTH SIDE YARDS	70 FT.	184.6 FT. (GALLAGHER TRUCKING / S.S. KIMBALL INC.)
REAR YARD DEPTH	30 FT.	144 FT. (S.S. KIMBALL INC.)
STREET FRONTAGE	50 FT.	154 FT.
BUILDING HEIGHT (4' / FT. OF MIN. DIST. TO NEAREST LOT LINE)	25'-2"	18'-0" (S.S. KIMBALL INC.)
FLOOR AREA RATIO	0.50	.06
DEVELOPMENT COVERAGE	10 %	34.6 % (SEE NOTE 4)

COVERAGES:

COVERAGES	REQUIRED	PROVIDED
BUILDING COVERAGE % OF TOTAL AREA		26,120 S.F. 5.4 %
PAVEMENT COVERAGE % OF TOTAL AREA		174,196 S.F. 39.2 %
OPEN SPACE COVERAGE % OF TOTAL AREA		248,426 S.F. 54.4 %

OFF STREET PARKING:
(S.S. KIMBALL INC.)

OFFICE	REQUIRED	PROVIDED
1 SPACE PER 200 S.F. OF OFFICE AREA (1,055 S.F. / 200 S.F. PER SPACE)	6 SPACES	
RETAIL		
1 SPACE PER 150 S.F. OF RETAIL AREA (2,080 S.F. / 150 S.F. PER SPACE)	14 SPACES	
WAREHOUSE / SHOP AREA		
1 SPACE PER 1,000 S.F. OF AREA (4,149 S.F. / 1,000 S.F. PER SPACE)	5 SPACES	25 SPACES

NOTES

- RECORD OWNER & APPLICANT: K.W.B. REALTY CORP. P.O. BOX 2629 NEWBURGH, N.Y. 12550
- REFER TO FORMER PARCEL / FORMER EASEMENT PLAN TOTAL PARCEL AREA: PARCEL I 6.29 ACRES COMBINED INTO PARCEL II 4.11 ACRES PARCEL III 0.30 ACRES 1 LOT IN 1475 11.36 ACRES
- TAX MAP DESIGNATION: SECTION 9, BLOCK 1, LOT 2B3
- BOUNDARY SURVEY INFORMATION OBTAINED FROM DRAWINGS ENTITLED "SURVEY FOR K.W.B. REALTY CORPORATION, BOUNDARY / LOCATION SURVEY" PREPARED BY GREVAS & HILDRETH P.C. AND DATED SEPT. 14, 1987 WITH A LATEST REVISION DATE OF JULY 18, 1990.
- THE LOCATIONS OF EXISTING UTILITIES ARE TO BE CONSIDERED APPROXIMATE, AND THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO EXCAVATION. NEW YORK STATE INDUSTRIAL CODE REQUIRES TWO (2) WORKING DAYS NOTICE BEFORE EXCAVATION, DRILLING, OR BLASTING. UNDERGROUND UTILITIES CENTER TELEPHONE NO. IS 1-800-245-2828.
- LOCATION OF PROPOSED SANITARY SEWER MAIN OF SEWER DISTRICT 24 WAS OBTAINED FROM DRAWINGS ENTITLED "PLAN & PROFILE, SEWER DISTRICT 24" PREPARED BY HIGSBY, HAUSER & EDGALL CONSULTING ENGINEERS, P.C. AND DESIGNATED AS 4 OF 13 AND 5 OF 13. DRAWINGS CONTAIN AN ISSUE DATE OF AUG. 24, 1990 AND A LATEST REVISION DATE OF APRIL 20, 1992. SITE DATUM = SEWER DISTRICT 24 DATUM PLUS 16.4 FEET.
- UPON INSTALLATION AND TESTING OF THE NEW 8" SANITARY SEWER LINE IN THE NEW DRIVE, THE EXISTING BUILDINGS SHALL ABANDON THEIR RESPECTIVE SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND CONNECT TO THE NEW SEWER MAIN.
- THE WATER AND SANITARY SEWER MAINS TO BE INSTALLED WITHIN THE MACADAM DRIVE WILL BE PRIVATELY OWNED AND WILL NOT BE OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR.
- IN 1989 THE SUBJECT PROPERTY WAS ZONED P1 - PLANNED INDUSTRIAL. A VARIANCE (86-12) WAS OBTAINED BY THE APPLICANT FROM THE ZONING BOARD OF APPEALS IN MARCH OF THAT YEAR TO ALLOW AN EXTENSION OF A NON-CONFORMING USE (PASSENGER TRUCK SALES) BY 30% SUBSEQUENT TO THE VARIANCE, THE TOWN OF NEW WINDSOR PLANNING BOARD GRANTED SITE PLAN APPROVAL FOR THE PASSENGER TRUCK SALES. IN THE YEARS FOLLOWING THE SITE PLAN APPROVAL, THE TOWN OF NEW WINDSOR CHANGED THE ZONE OF THE PROPERTY TO C - COMMERCIAL. THE DEVELOPMENT COVERAGE FOR MOTOR VEHICLE SALES USE (PASSENGER TRUCK SALES) IN THE C ZONE IS 10% THIS IS A PRE-EXISTING USE. THERE IS NO LIMITATION OF DEVELOPMENT COVERAGE FOR THE PROPOSED USE OF RETAIL SALES AND SERVICE ESTABLISHMENTS.
- IN COMPLIANCE WITH 411 POLICIES AND PROCEDURES THE NEW MACADAM DRIVE WILL BE ASSIGNED THE STREET NAME "LEPRECHAUN LANE".
- PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY OF WINDSOR HIGHWAY (N.Y.S. ROUTE 32) A WORK PERMIT SHALL BE OBTAINED FROM THE N.Y.S.D.O.T.

TOWN OF NEW WINDSOR PLANNING BOARD
STAMP OF APPROVAL

SITE PLAN APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON **AUG 18 1994**
BY **CARMEN R. DURACI, JR.**
SECRETARY

APPROVED BY THE
BUREAU OF FIRE PREVENTION
TOWN OF NEW WINDSOR, N. Y.
DATE: **8/18/94** SIGNATURE: *[Signature]*

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh N.Y. 12550

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ISSUE	PLANNING BOARD'S COMMENTS OF APRIL 27, 1994	DATE
1		5-10-1994
	REVISION	

Drawn By: J.R.J. Drawing: **SITE PLAN**

Checked By: G.J.S. Project: **NEW FACILITY FOR S.S. KIMBALL INC. GALLAGHER TRANSPORTATION PARK**

Scale: 1"=40'

Date: 4-15-1994

Project No. **9307**

EROSION CONTROL NOTES

Erosion Control

Objectives
 Erosion Control Objectives are first, to minimize the opportunity for the soil to be moved by the wind, precipitation and runoff, and second to contain sediment that does not move close to its place of origin and thus prevent it from reaching a waterbody or damaging other lands. The first goal is met by leaving the land that is disturbed unprotected for as short a time as possible. The second goal is met by installing appropriate control measures before land disturbing activities begin and then maintaining these measures as long as they are needed.

Measures

Land Grading
 - Finish land surfaces will be graded as indicated on the Partial Site Plan.
 - Cut slopes will be 3:1 or flatter for maintenance by mowing. The embankment slope to the south and west of the new building will be 3:1 and roughened by grooving across the slope.
 - Areas which are to be topsoiled shall be scarified to a minimum depth of three inches prior to placement of topsoil.
 - As soon as final grades are reached the graded areas will be stabilized.
 - Finish grading shall contain adequate gradients so as to prevent water from standing on the surface of lanes for more than 24 hours after the end of a rainfall.

Silt Fence
 - Silt fence shall be installed at the base of disturbed sloped areas to the south and west of the new building for S.S. Kimball, Inc.

Temporary Seeding
 - Temporary seed bare soil within 15 days of exposure unless construction will begin within 30 days. If construction is suspended, or sections completed, areas should be seeded and mulched immediately.
 - Apply temporary seeding consisting of Ryegrass (annual or perennial) at 30 lbs per acre.

Permanent Seeding
 - Adjust pH to 6.2 with lime, and fertilize with 600 lbs of 5-10-10 or equivalent per acre.
 - Apply permanent seeding consisting of:
 - Empire bromegrass (tall) or common white clover 7.5 lbs per acre
 - Plus tall fescue 7.0 lbs per acre
 - Plus Ryegrass 7.5 lbs per acre
 - Broadcasting, drilling with cultipack type seeder or hydro seeding are acceptable.

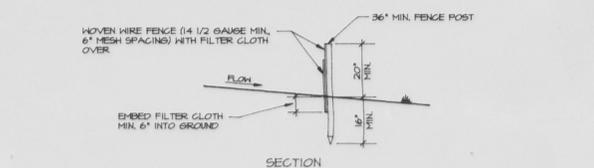
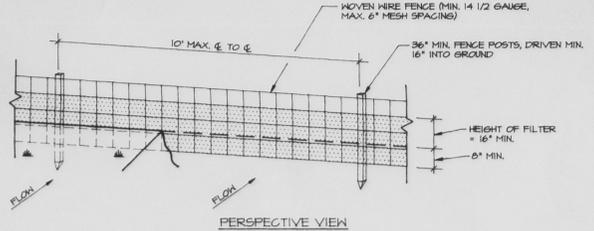
Topsoil/Matching
 - Preserve existing topsoil and friable fine textured subsoil that must be stripped from the excavated site and applied after final grading where vegetation will be established. Complete rough grading and final grades, allowing for depth of topsoil to be added. Scarify all compact, slow permeable, medium and fine textured subsoil areas. Scarify at approximately right angles to the slope direction in soil areas that are steeper than 5 percent. Remove refuse, woody plant parts, stones over 3 inches in diameter, and other litter.
 - Topsoil shall have at least 2 percent by weight of fine textured stable organic material, and no greater than 6 percent. Topsoil shall have not less than 20 percent fine textured material (passing the No. 200 sieve) and not more than 15 percent clay. Topsoil shall be relatively free of stones over 1 1/2 inches in diameter.
 - Topsoil shall be placed at a uniform depth of 2 inches for the southerly and westerly steep slopes and 4 inches for the lan areas. Topsoil shall not be placed when it is partly frozen, muddy or on frozen slopes or over ice, snow, or standing water. Topsoil placed and graded on slopes steeper than 5 percent shall be promptly fertilized, seeded, mulched and stabilized by "tracking" with suitable equipment.
 - If soil is compacted or crusted, surface should be loosened to at least two inches by diking or other suitable methods. Straw mulch (small grain) is preferred applied at 2 tons per acre, and anchored with wood fiber mulch (hydramulch) at 500-750 lbs per acre. The wood fiber mulch must be applied through a hydroseeder immediately after mulching.

Maintenance
 - All erosion and sediment control measures will be inspected for stability and operation following every rainfall producing rainfall but in no case less than once every week. Any needed repairs will be made immediately to maintain all measures as designed.
 - Sediment shall be removed from behind the silt fence when it becomes about 6 inches deep at the fence. Insure that no concentrated flows are directed towards the fence. Replace the silt fence when "bulges" develop in the fence.
 - All seeded areas will be fertilized, re-seeded as necessary, and mulched to maintain a vigorous, dense vegetative cover.
 - Sediment spilled, dropped, or washed onto existing macadam roadways must be removed immediately.
 - Maintain dust control measures through dry weather periods until all disturbed areas are stabilized.

Inspections
 - The qualified representative of the owner shall inspect at least once every 7 calendar days and within 24 hours of the end of a rainfall that is 1/2 inch or greater the disturbed areas of the construction site that have not been finally stabilized and structural control measures. Where portions of the construction area have been finally stabilized, inspection of such portions shall be conducted at least once every month until the entire site is finally stabilized.
 - The term "finally stabilized" means that all the soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 70% the cover for the area has been established, or equivalent stabilization measures (such as the use of mulches or geotextiles) have been employed.



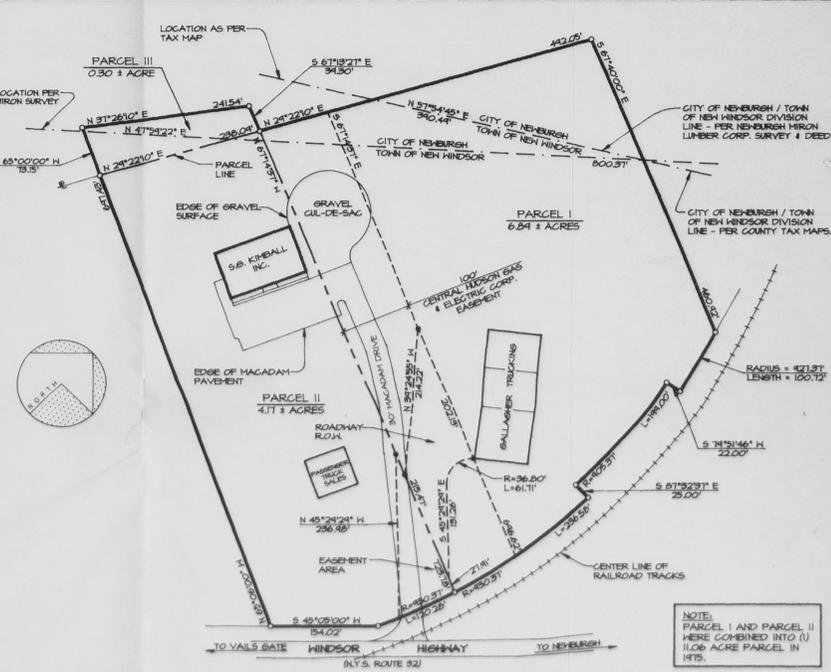
LEGEND	
EXISTING	NEW
1:60	1:10
2:00	CB
ADJ. PROPERTY LINE	MHC
	HYDRANT
	VALVE
	15" ST. STORM SEWER
	8" S. SANITARY SEWER
	8" W. WATER MAIN
	FLARED END SECTION
	7.5
	SPOT ELEV. 177.5
	SILT FENCE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- HOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO HOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS:** STEEL EITHER 1" OR 1 1/2" TYPE OR 2" HARDWOOD
- FENCE:** HOVEN WIRE, 14 1/2 GAUGE 6" MAX. MESH OPENING
- FILTER CLOTH:** FILTER X HIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
- PREFABRICATED UNIT:** SEC-FAB, ENVIROFENCE OR APPROVED EQUAL

SILT FENCE DETAIL
NOT TO SCALE

PARTIAL SITE PLAN
SCALE: 1"=20'



FORMER PARCEL / FORMER EASEMENT PLAN
SCALE: 1"=100'

Shaw Engineering
 Consulting Engineers
 744 Broadway
 Newburgh, N.Y. 12550

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SITE PLAN APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON **AUG 18 1994**

BY **GARMEN R. DUBALDI, JR.** SECRETARY

PLANNING BOARD'S COMMENTS OF APRIL 27, 1994

ISSUE REVISION DATE

Drawn By: J.R.J. Drawing: **PARTIAL SITE PLAN**

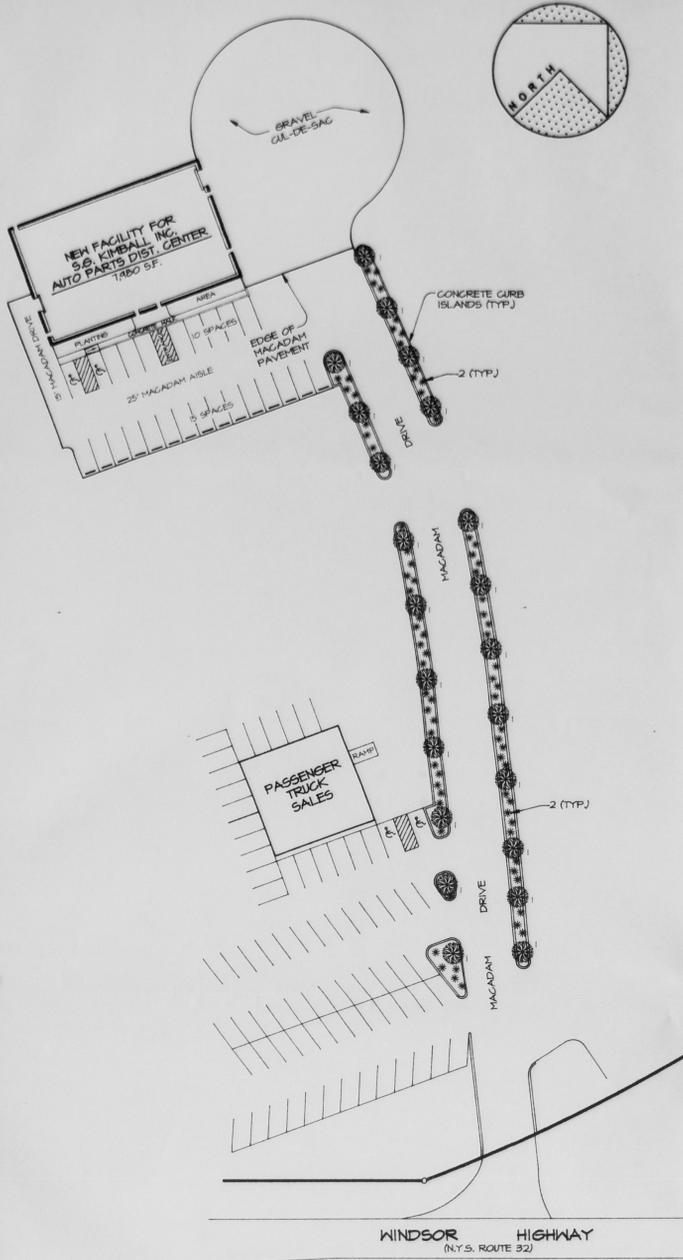
Checked By: G.J.S. Project: **NEW FACILITY FOR S.S. KIMBALL INC. GALLAGHER TRANSPORTATION PARK.**

Scale: AS SHOWN

Date: 4-15-1994

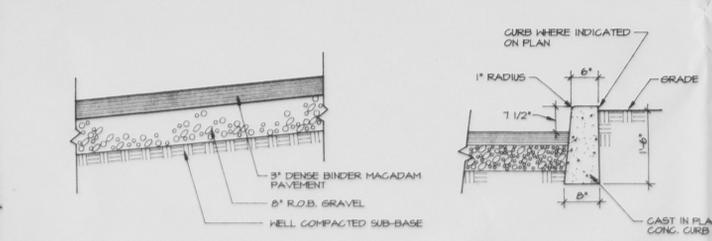
Project No. **9307**

2 OF 4

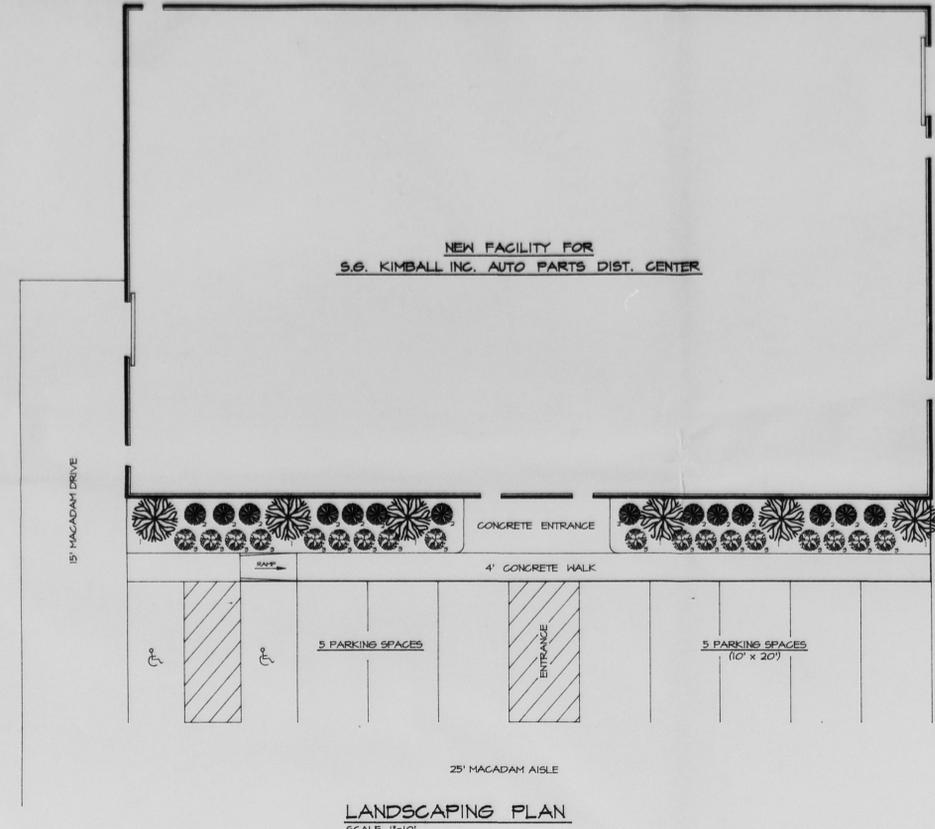


LANDSCAPING PLAN
SCALE: 1"=40'

KEY	COMMON NAME	SIZE	QUANTITY
1	CHERRY, PURPLE LEAF SAND PRUNUS X CISTENA	3'	22
2	GREEN SARGENT JUNIPER JUNIPERUS SARGENTI VIRIDIS PLANT 4' O.C. STAGGERED ROW	3 GAL. 15-18"	216



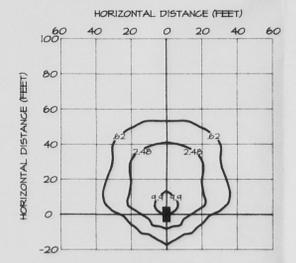
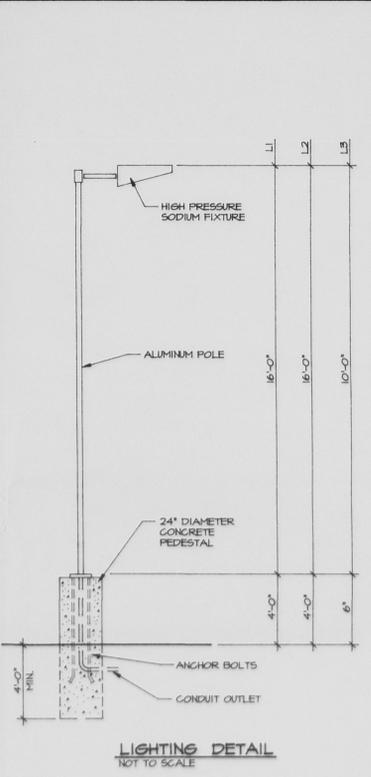
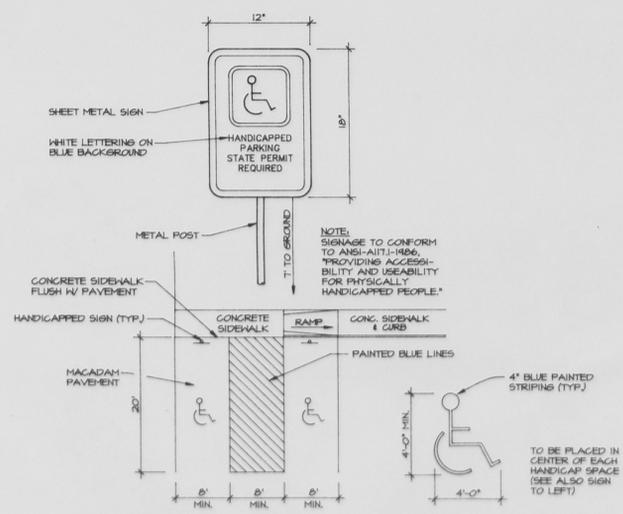
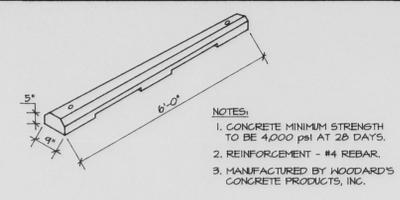
MACADAM PAVEMENT S.S. KIMBALL INC. PARKING AREA NOT TO SCALE



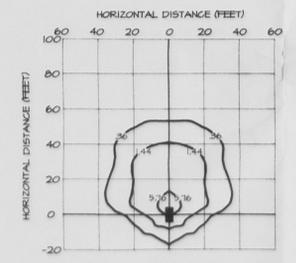
LANDSCAPING PLAN
SCALE: 1"=10'

KEY	COMMON NAME	SIZE	QUANTITY
1	JUNIPER 'NIGHT BLUE'	5-6'	6
2	JUNIPER GOLD COAST	5 GAL.	14
3	EVERBLOOMING DAYLILY 'HAPPY RETURNS'	2 GAL.	18

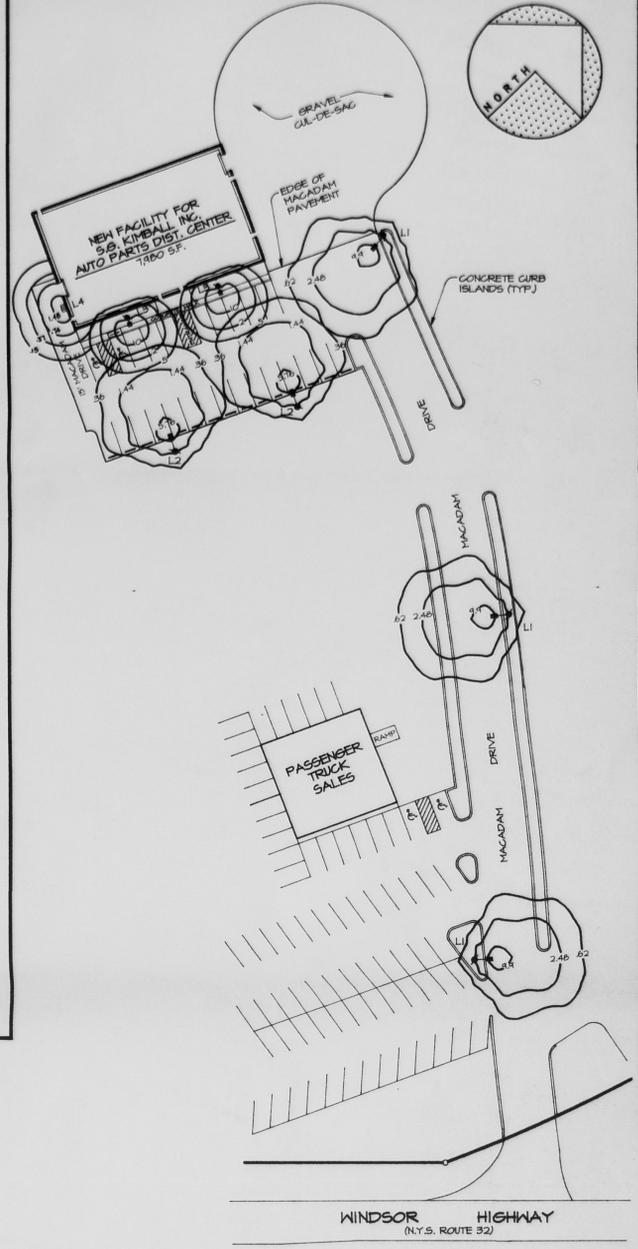
LANDSCAPING SELECTED BY MAHLON R. GOLBORNE, CERTIFIED NURSERY PROFESSIONAL, NEW YORK STATE NURSERY LANDSCAPE ASSOCIATION, INC.



SAR SERIES AREA / ROADWAY LUMINAIRE 250 WATT HIGH PRESSURE SODIUM 20' MOUNTING HEIGHT

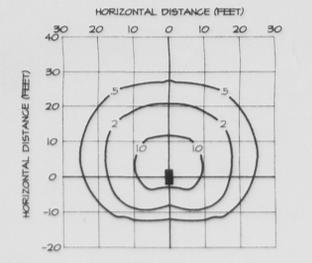


SAR SERIES AREA / ROADWAY LUMINAIRE 150 WATT HIGH PRESSURE SODIUM 10' MOUNTING HEIGHT

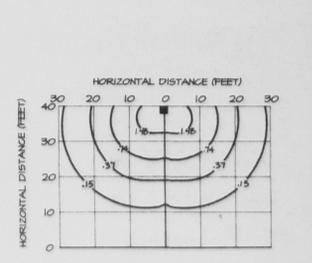


LIGHTING PLAN
SCALE: 1"=40'

LIGHTING SCHEDULE	
■ L1	250 WATT HIGH PRESSURE SODIUM, SAR SERIES LUMINAIRE, EXCELINE
■ L2	150 WATT HIGH PRESSURE SODIUM, SAR SERIES LUMINAIRE, EXCELINE
■ L3	150 WATT HIGH PRESSURE SODIUM, SDR SERIES LUMINAIRE, EXCELINE
■ L4	50 WATT HIGH PRESSURE SODIUM, ULS ULTRALYTER SERIES, EXCELINE



SDR SERIES MINI PATHWAY / AREA LUMINAIRE 150 WATT HIGH PRESSURE SODIUM 10' MOUNTING HEIGHT



ULS ULTRALYTER WALL MOUNT 50 WATT HIGH PRESSURE SODIUM 10' MOUNTING HEIGHT

Shaw Engineering
Consulting Engineers

744 Broadway Newburgh, N.Y. 12550

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DATE: AUG 18 1984

BY: CARMEN R. DURBALDI, JR. SECRETARY

PLANNING BOARD'S COMMENTS OF APRIL 27, 1984

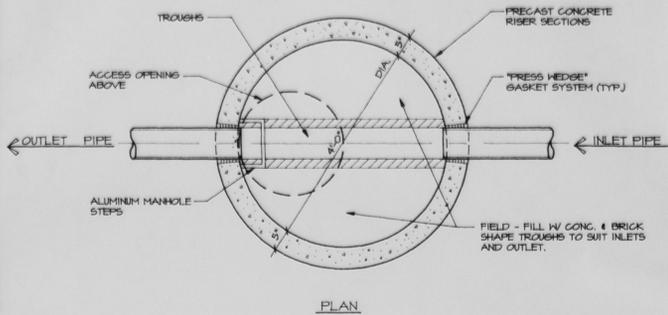
ISSUE REVISION DATE

Drawn By: J.R.J.
Checked By: G.J.S.
Scale: AS SHOWN
Date: 4-15-1984

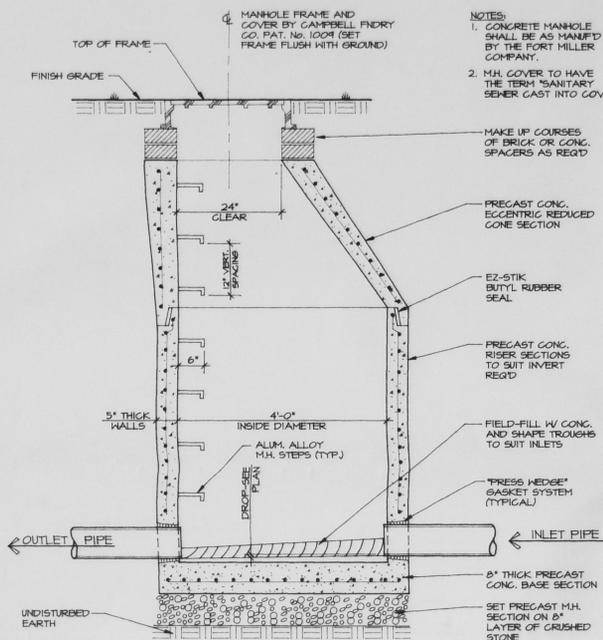
Drawing: LANDSCAPING AND LIGHTING PLANS & SITE DETAILS

Project: NEW FACILITY FOR S.S. KIMBALL INC. GALLAGHER TRANSPORTATION PARK WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.

3 OF 4
Project No. 9307

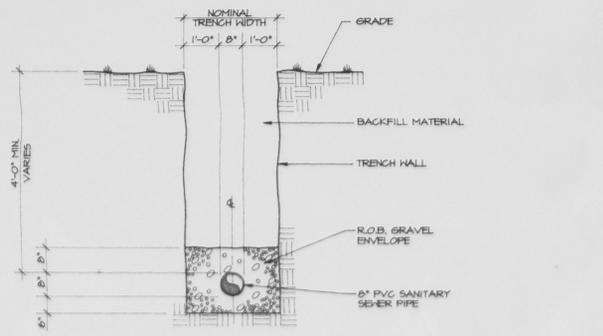


PLAN

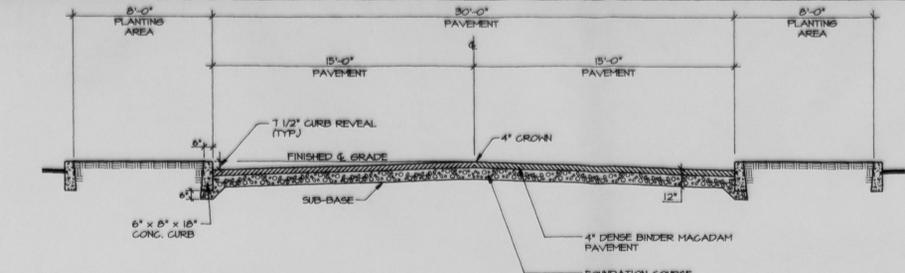


SECTION
MANHOLE ASSEMBLY
NOT TO SCALE

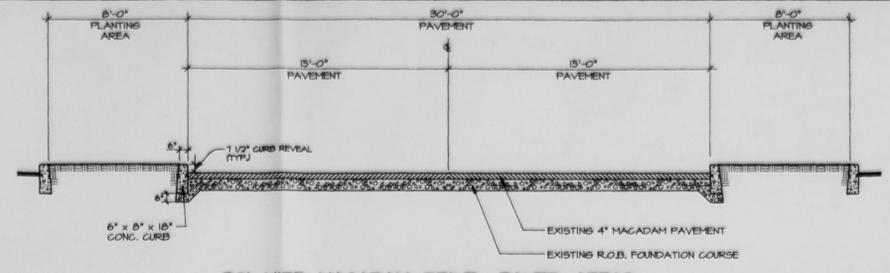
- NOTES:
1. CONCRETE MANHOLE SHALL BE AS MANFD BY THE FORT MILLER COMPANY.
 2. M.H. COVER TO HAVE THE TERM "SANITARY SEWER CAST INTO COVER.



SECTION
SANITARY SEWER TRENCH EXCAVATION
NOT TO SCALE

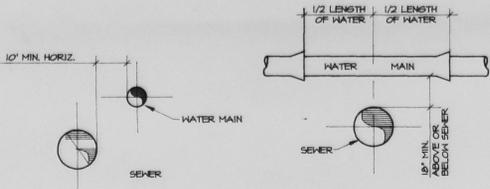


30' WIDE MACADAM DRIVE - NON PAVED AREAS
NOT TO SCALE



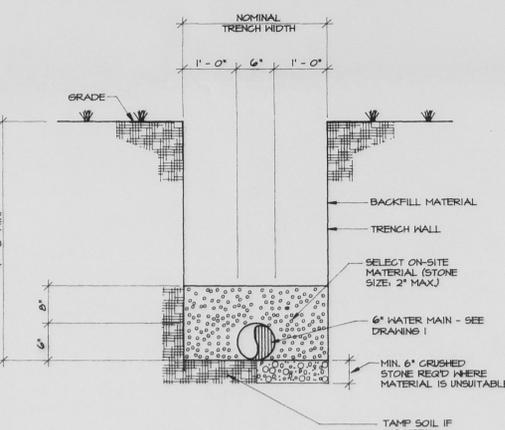
30' WIDE MACADAM DRIVE - PAVED AREAS
NOT TO SCALE

THIS DETAIL IS APPROPRIATE FOR AREAS OF THE NEW MACADAM DRIVE THAT PRESENTLY HAVE A MACADAM SURFACE.

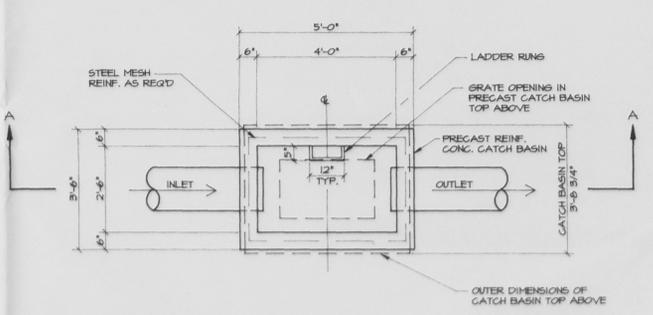


- NOTES:
1. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
 2. THE TERM SEWER IS DEFINED AS SANITARY, STORM OR SEWER SERVICE LATERALS.
 3. THE TERM WATER MAINS SHALL ALSO INCLUDE WATER SERVICE LINES.
 4. ANY DEVIATION FROM THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS SHALL BE SPECIFICALLY APPROVED BY THE ENGINEER.

WATER / SEWER SEPARATION
NOT TO SCALE

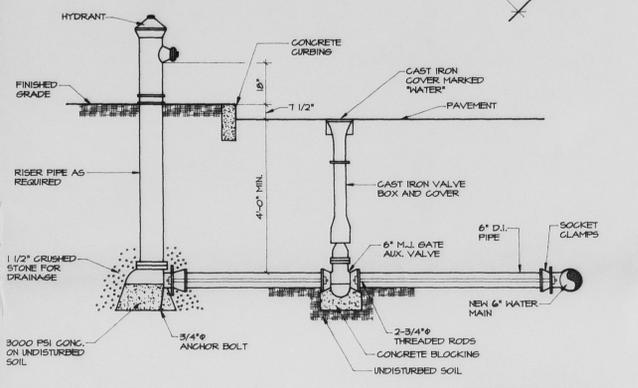


SECTION
WATER MAIN EXCAVATION
NOT TO SCALE



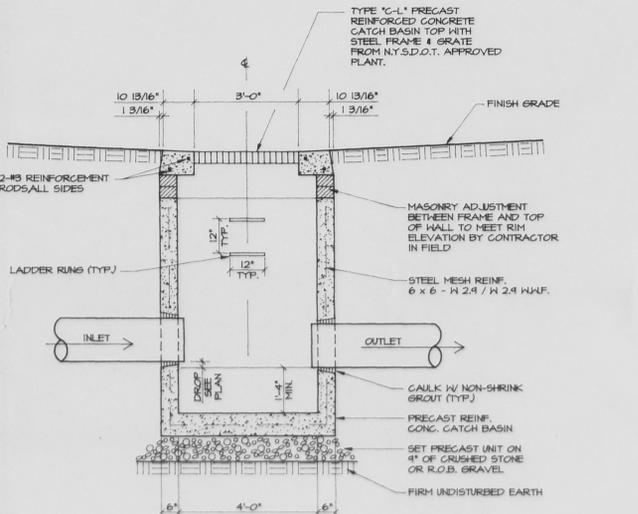
PLAN

SECTION A-A
CATCH BASIN DETAIL
NOT TO SCALE



SECTION A-A
HYDRANT INSTALLATION
NOT TO SCALE

IF GROUNDWATER, OR EVIDENCE THEREOF, IS REVEALED WITHIN 2 FEET OF THE BASE OF THE HYDRANT, DURING INSTALLATION THE HYDRANT DRAIN SHALL REMAIN PLUGGED AND SIGNAGE SHALL BE PLACED ON THE HYDRANT STATING THAT THE HYDRANT MUST BE PUMPED OUT AFTER USE.



SECTION A-A

TYPE 'C-L' PRECAST REINFORCED CONCRETE CATCH BASIN TOP WITH STEEL FRAME & GRATE FROM N.Y.S.D.O.T. APPROVED PLANT.

MASONRY ADJUSTMENT BETWEEN FRAME AND TOP OF WALL TO MEET RIM ELEVATION BY CONTRACTOR IN FIELD.

STEEL MESH REINF. 6 x 6 - W 2.4 / W 2.4 W.W.F.

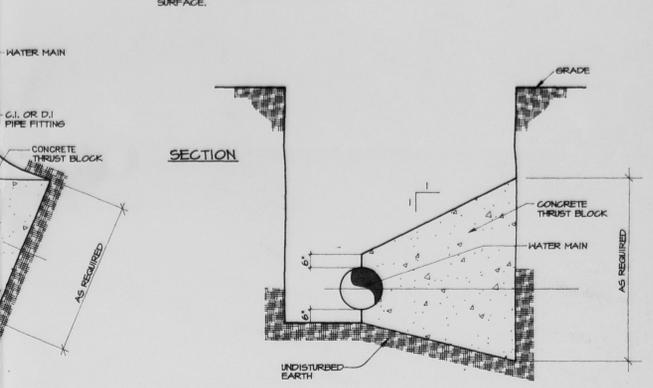
CAULK W/ NON-SHRINKING GROUT (TYP.)

PRECAST REINF. CONC. CATCH BASIN

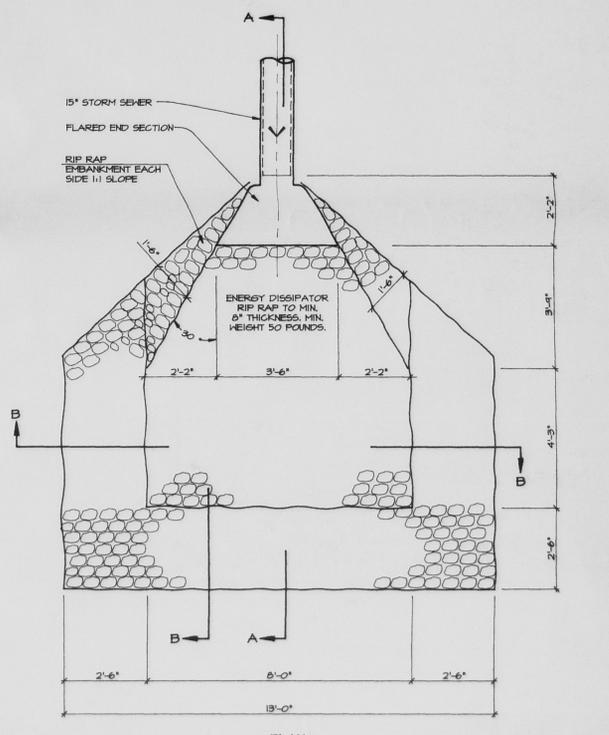
SET PRECAST UNIT ON 4" OF CRUSHED STONE OR R.O.B. GRAVEL

FIRM UNDISTURBED EARTH

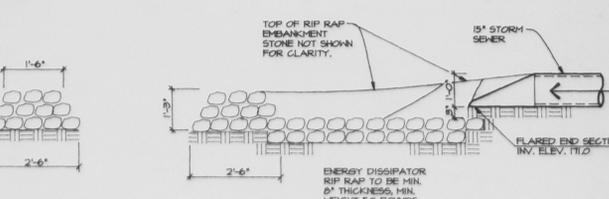
FINISH GRADE



SECTION
THRUST BLOCK DETAIL
NOT TO SCALE



PLAN



DETAIL B

SECTION A
VELOCITY ENERGY DISSIPATOR
NOT TO SCALE

Shaw Engineering
Consulting Engineers
744 Broadway Newburgh N.Y. 12550

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SITE PLAN APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON **AUG 18 1994**

BY **CARMEN R. DUBALDI, JR.** SECRETARY

PLANNING BOARD'S COMMENTS OF APRIL 27, 1994

ISSUE REVISION DATE

Drawn By: J.R.J. Drawing: **UTILITY DETAILS**

Checked By: G.J.S. Project: **NEW FACILITY FOR S.G. KIMBALL INC. GALLAGHER TRANSPORTATION PARK WINDSOR HIGHWAY TOWN OF NEW WINDSOR, N.Y.**

Scale: AS SHOWN Date: 4-15-1994

4 OF 4
Project No. 9307