

PB # 99-10

Stellwag/T.O. New Windsor

3-1-18 & 19

99-10

STELLWAG/T. NEW WINDSOR
LOT LINE CHANGE (HILDRETH

Approved 6/11/99

DATE April 26, 1999 RECEIPT NUMBER 99-10
 RECEIVED FROM Helen Stellwag
 Address 470 Little Britain Rd - New Windsor, N.Y.
Four Hundred 00/100 DOLLARS \$ 400.00
 FOR L. L. Change Escrow

ACCOUNT		HOW PAID	
BEGINNING BALANCE	400 -	CASH	
AMOUNT PAID	400 -	CHECK	#2286
BALANCE DUE	-0 -	MONEY ORDER	

BY Mural L. Mason, Secretary

DATE April 28, 1999 RECEIPT 039216
 RECEIVED FROM Helen Stellwag
 Address _____
Fifty 00/100 DOLLARS \$ 50.00
 FOR P.B. # 99-10

ACCOUNT		HOW PAID	
BEGINNING BALANCE		CASH	ck # 2285
AMOUNT PAID		CHECK	50.00
BALANCE DUE		MONEY ORDER	

Town Clerk
 BY Dorothy H. Hansen

DATE 6/10/99 RECEIPT 039357
 RECEIVED FROM Helen Stellwag
 Address _____
One Hundred 00/100 DOLLARS \$ 100.00
 FOR P.B. # 99-10

ACCOUNT		HOW PAID	
BEGINNING BALANCE		CASH	ck # 2312
AMOUNT PAID		CHECK	100.00
BALANCE DUE		MONEY ORDER	

Town Clerk
 BY Dorothy H. Hansen
sh

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/21/1999

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 99-10

NAME: STELLWAG & TOWN OF NEW WINDSOR LOT LINE CHANGE
APPLICANT: STELLWAG, HELEN

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/11/1999	PLANS STAMPED	APPROVED
05/12/1999	P.B. APPEARANCE	LA:ND WVE PH APPR
04/21/1999	WORK SHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/10/1999

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 99-10

NAME: STELLWAG & TOWN OF NEW WINDSOR LOT LINE CHANGE
APPLICANT: STELLWAG, HELEN

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/26/1999	REC. CK. #2286	PAID		400.00	
05/12/1999	P.B. ATTY. FEE	CHG	35.00		
05/12/1999	P.B. MINUTES	CHG	18.00		
06/09/1999	P.B. ENG. FEE	CHG	89.00		
06/10/1999	RET. TO APPLICANT	CHG	258.00		
		TOTAL:	400.00	400.00	0.00

L.R. 6/21/99

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 06/10/1999

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LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 99-10

NAME: STELLWAG & TOWN OF NEW WINDSOR LOT LINE CHANGE
APPLICANT: STELLWAG, HELEN

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
06/09/1999	LOT LINE CHANGE APPROVAL	CHG	100.00		
06/10/1999	REC. CK. #2312	PAID		100.00	
		TOTAL:	100.00	100.00	0.00

LOT LINE CHANGE FEES - TOWN OF NEW WINDSOR

APPLICATION (INCL. LOT LINE CHANGE):

LOT LINE CHANGE APPLICATION FEE	\$ <u>50.00</u>
ESCROW (\$150.00 - \$400.00)	\$ <u>400.-</u>

* * * * *

APPROVAL FEES: (LOT LINE CHANGE)

PRE-PRELIMINARY PLAT APPROVAL.....	\$ 25.00
PRELIMINARY PLAT APPROVAL.....	25.00
FINAL APPROVAL.....	<u>50.00</u>

TOTAL APPROVAL FEES L.L.CHG.....\$100.00

①

* * * * *

THE FOLLOWING CHARGES ARE TO BE DEDUCTED FROM ESCROW:

PLANNING BOARD ENGINEER FEES:	\$ <u>89.-</u>
PLANNING BOARD ATTORNEY FEES:	\$ <u>35.-</u>
MINUTES OF MEETINGS	\$ <u>18.-</u>
OTHER	\$ <u>-</u>

TOTAL TO BE DEDUCTED FROM ESCROW: \$ 142.00

\$258.00
To be
returned

AS OF: 06/08/99

PAGE: 1

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

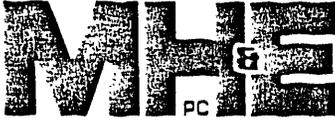
NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 99- 10

FOR WORK DONE PRIOR TO: 06/08/99

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	-----DOLLARS-----				
								TIME	EXP.	BILLED	BALANCE	
99-10	147481	04/21/99	TIME	MJE	WS STELLWAG	75.00	0.30	22.50				
99-10	148880	05/11/99	TIME	MJE	MC STELLWAG - NW L/L	75.00	0.40	30.00				
99-10	148338	05/12/99	TIME	MJE	MM STELLWAG L/L APPD	75.00	0.10	7.50				
99-10	148546	05/12/99	TIME	SAS	CL STELLWAG/TRC	28.00	0.50	14.00				
99-10	148890	05/12/99	TIME	MJE	MC STELLWAG NW L/L	75.00	0.20	15.00				
							TASK TOTAL		89.00	0.00	0.00	89.00
							GRAND TOTAL		89.00	0.00	0.00	89.00



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
- Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2765

PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE

TOWN/VILLAGE OF New Windsor

P/B # 99⁻³-10

WORK SESSION DATE: 21 April 99

APPLICANT RESUB.
REQUIRED: Full app

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Stellway / Tpw Yc

PROJECT STATUS: NEW X OLD _____

REPRESENTATIVE PRESENT: Bill H.

MUNIC REPS PRESENT:

BLDG INSP.	_____
FIRE INSP.	<u>X</u> _____
ENGINEER	<u>X</u> _____
PLANNER	_____
P/B CHMN.	_____
OTHER (Specify)	_____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

WBH working directly w/ Crotty

Easy Yc for excess ROW being sold.

CLOSING STATUS

- _____ Set for agenda
- X possible agenda item
- _____ Discussion item for agenda
- _____ ZBA referral on agenda

pbwsform 10MJE98



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision Lot Line Change Site Plan Special Permit

Tax Map Designation: Sec. 3 Block 1 Lots 18, 19

HELEN F. STELLWAG & THE TOWN OF NEW WINDSOR

1. Name of Project LOT LINE CHANGE & PARCEL ACQUISITION

2. Owner of Record HELEN F. STELLWAG Phone 561-6479

Address: 470 LITTLE BRITAIN ROAD NEWBURGH N.Y. 12550
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant (SAME) Phone (SAME)

Address: (SAME)
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan GREVAS & HILDRETH, L.S., P.C. Phone 566-6650

Address: 407 SOUTH PLANK ROAD UNIT 3 NEWBURGH N.Y. 12550
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney / Phone /

Address /
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

WILLIAM B. HILDRETH, L.S. 566-6650
(Name) (Phone)

7. Project Location:

On the EAST side of SILVER STREAM ROAD 0 feet
(Direction) (Street) (No.)
NORTH of ROUTE 207
(Direction) (Street)

8. Project Data: Acreage 2.06 Zone PI School Dist. NCSD

99-10

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes No

***This information can be verified in the Assessor's Office.**

***If you answer "yes" to question 9, please complete the attached "Agricultural Data Statement".**

10. Description of Project: (Use, Size, Number of Lots, etc.) ATTACHMENT OF 11,038 S.F. OF TOWN R.O.W. (SILVER STREAM ROAD) TO TAX LOTS 18 AND 19.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes no

12. Has a Special Permit previously been granted for this property? yes no

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

6th DAY OF April 19 99

Helen Stellwag
APPLICANT'S SIGNATURE

Gale C. Stellwag
NOTARY PUBLIC Notary Public, State of New York
No. 01ST4622045

HELEN STELLWAG
Please Print Applicant's Name as Signed

Qualified in Orange County
Commission Expires February 28, 2000

TOWN USE ONLY:
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DATE APPLICATION RECEIVED

APPLICATION NUMBER

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

HELEN F. STELLWAG, deposes and says that she resides
(OWNER)

at 470 LITTLE BRITAIN ROAD, NEWBURGH in the County of ORANGE
(OWNER'S ADDRESS)

and State of NEW YORK and that she is the owner of property tax map

(Sec. 3 Block 1 Lot 18)
designation number (Sec. 3 Block 1 Lot 19) which is the premises described in

the foregoing application and that she authorizes:

(Applicant Name & Address, if different from owner)

GREVAS & HILDRETH, L.S., P.C. 407 SOUTH PLANK RD. UNIT 3, NEWBURGH, N.Y. 12550
(Name & Address of Professional Representative of Owner and/or Applicant)

to make the foregoing application as described therein.

Date: 4/6/99

Gale Stellwag
Witness' Signature

X Helen Stellwag
Owner's Signature

Applicant's Signature if different than owner

William B. Alden, L.S.
Representative's Signature

**THIS FORM CANNOT BE WITNESSED BY THE PERSON OR
REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED
TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.**

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TOWN OF NEW WINDSOR PLANNING BOARD
SUBDIVISION/LOT LINE CHANGE CHECKLIST

The following checklist items shall be incorporated on the ~~Subdivision~~ ^{Lot Line Change} Plan prior to consideration of being placed on the Planning Board Agenda:

1. ✓ Name and address of Applicant.
- * 2. ✓ Name and address of Owner.
3. ✓ ^{Lot Line Change} ~~Subdivision~~ name and location.
4. ✓ Tax Map Data (Section, Block & Lot).
5. ✓ Location Map at a scale of 1" = ⁴⁰⁰ ~~2,000~~ ft.
- * 6. ✓ Zoning table showing what is required in the particular zone and what applicant is proposing. (*NO IMPROVEMENTS PROPOSED OR REQUIRED*)
7. ✓ Show zoning boundary if any portion of proposed subdivision is within or adjacent to a different zone.
8. ✓ Date of plat preparation and/or date of any plat revisions.
9. ✓ Scale the plat is drawn to and North arrow.
10. ✓ Designation (in title) if submitted as sketch plan, preliminary plan or final plan.
11. ✓ Surveyor's certificate.
12. ✓ Surveyor's seal and signature.
13. ✓ Name of adjoining owners.
14. N/A Wetlands and 100 foot buffer zone with an appropriate note regarding DEC requirements.
- * 15. N/A Flood land boundaries.
16. N/A A note stating that the septic system for each lot is to be designed by a licensed professional before a building permit can be issued.
17. ✓ Final metes and bounds.
18. ✓ Name and width of adjacent streets; the road boundary is to be a minimum of 25 ft. from the physical center line of the street.

* PARCEL HAS PRE-EXISTING STATUS WITH RESPECT TO USE AND BULK REQUIREMENTS

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19. NONE Include existing or proposed easements.
20. ✓ Right-of-way widths.
21. N/A Road profile and typical section (minimum traveled surface, excluding shoulders, is to be 16 ft. wide).
22. ✓ Lot area (in square feet for each lot less than 2 acres).
23. N/A Number the lots including residual lot.
24. NONE Show any existing waterways.
- *25. N/A A note stating a road (or any other type) maintenance agreement is to be filed in the Town Clerk's Office and County Clerk's Office.
26. ✓ Applicable note pertaining to owners' review and concurrence with plat together with owners' signature.
27. ✓ Show any existing ~~or proposed~~ improvements, i.e., drainage systems, water lines, sewer lines, etc. (including location, size ~~and depth~~). NONE PROPOSED
28. N/A Show all existing houses, accessory structures, existing wells and septic systems within 200 ft. of the parcel to be subdivided.
29. N/A Show all and proposed on-site "septic" system and well locations; with percolation and deep test locations and information, including date of test and name of professional who performed test.
30. N/A Provide "septic" system design notes as required by the Town of New Windsor.
31. N/A Show existing grade by contour (2 ft. interval preferred) and indicate source of contour data.
32. N/A Indicate percentage and direction of grade.
33. NONE Indicate any reference to previous, i.e., file map date, file map number and previous lot number.
34. ✓ Provide 4" wide X 2" high box directly above title block (preferably lower right corner) for use by Planning Board in affixing Stamp of Approval.
35. N/A Indicate location of street or area lighting (if required).

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, "IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

36. N/A Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
37. N/A A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

"Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

PREPARER'S ACKNOWLEDGMENT:

THE PLAT FOR THE PROPOSED SUBDIVISION HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: William B. Hildreth, L.S. 4/6/99
Licensed Professional Date



PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <i>HELEN F. STELLWAG</i>		2. PROJECT NAME <i>HELEN F. STELLWAG & THE TOWN OF NEW WINDSOR LOT LINE CHANGE & PARCEL ACQUISITION</i>	
3. PROJECT LOCATION: Municipality <i>TOWN OF NEW WINDSOR</i> County <i>ORANGE</i>			
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <i>NORTHEAST INTERSECTION OF ROUTE 207 AND SILVER STREAM ROAD (WEST OF N.Y.S. THRUWAY) TAX MAP SECTION 3 BLOCK 1 LOTS 18 & 19</i>			
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration			
6. DESCRIBE PROJECT BRIEFLY: <i>ATTACHMENT OF 11,038 S.F. OF TOWN R.O.W. (SILVER STREAM ROAD) NOT IN USE AS A PUBLIC THOROUGHFARE TO ADJOINING LANDS OF THE APPLICANT</i>			
7. AMOUNT OF LAND AFFECTED: Initially <i>2.06</i> acres Ultimately <i>2.06</i> acres			
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly			
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:			
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals			
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval			
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>N/A</i>			
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: <i>HELEN F. STELLWAG</i>		Date: <i>4/6/99</i>	
Signature: <i>William B. Hedden, L.S. (PREPARER)</i>			

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

99-10

OVER

1

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PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency _____
 Title of Responsible Officer

Signature of Responsible Officer in Lead Agency _____
 Signature of Preparer (If different from responsible officer)

Date

20010827
"XX"

ATTACHMENTS

- A. Flood Hazard Area Development Permit Application Form.
- B. Certificate of Compliance

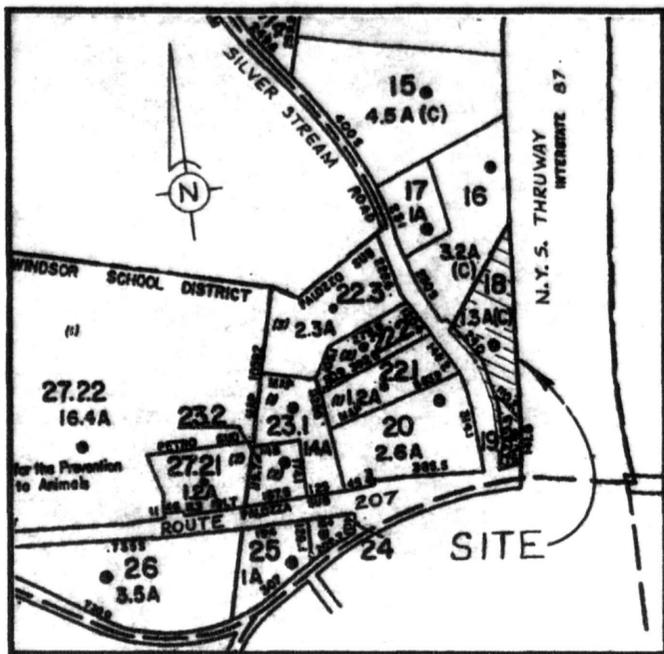
PLEASE NOTE: IF PROPERTY IS NOT IN A FLOOD ZONE, PLEASE INDICATE THAT ON THIS FORM AND SIGN YOUR NAME. RETURN FORM WITH PLANNING BOARD APPLICATION.

IF PROPERTY IS LOCATED IN A FLOOD ZONE, PLEASE COMPLETE THE ATTACHED (LEGAL SIZE) PAPERS AND RETURN WITH PLANNING BOARD APPLICATION.

THIS PROPERTY IS NOT IN A FLOOD ZONE

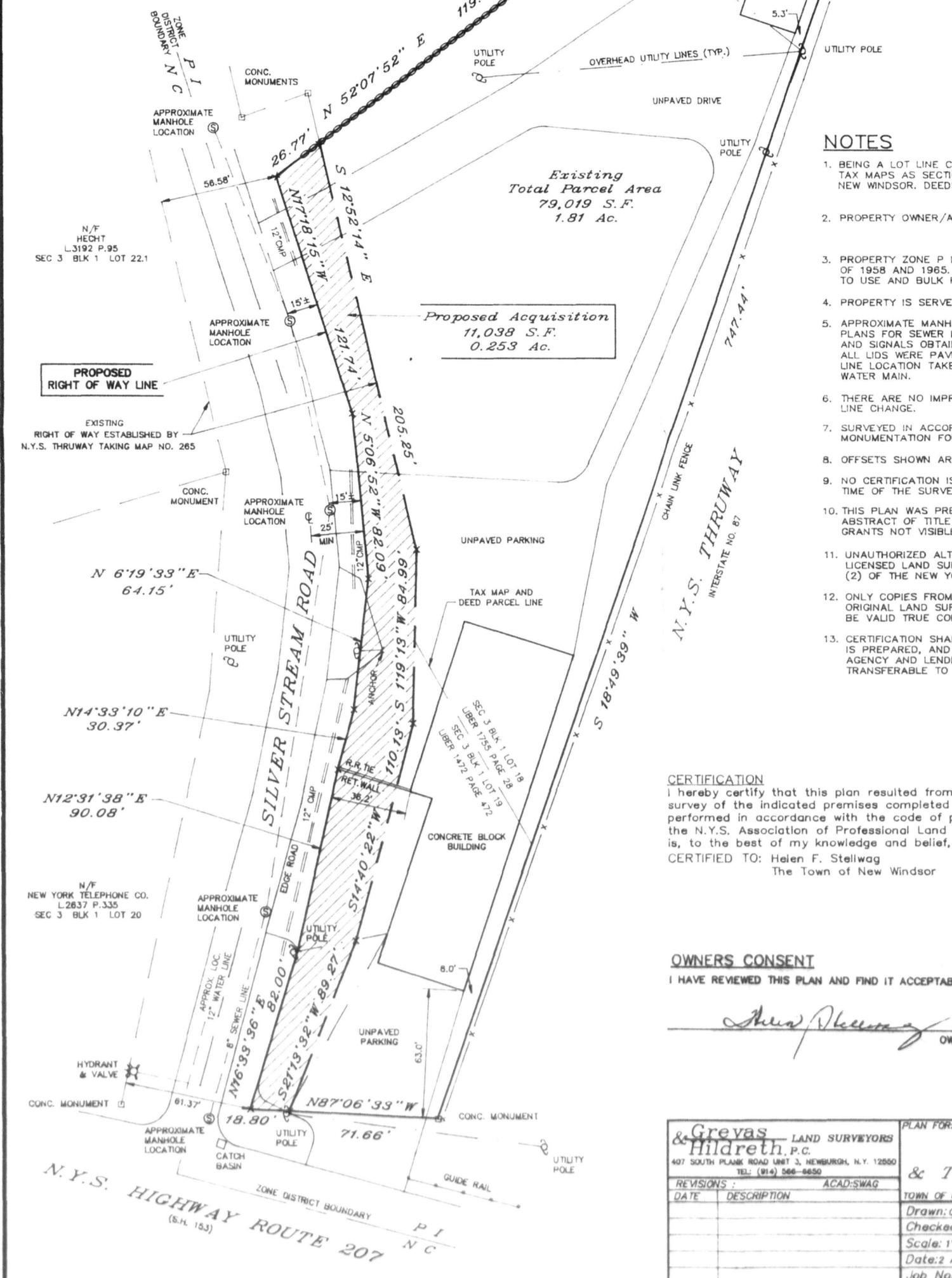
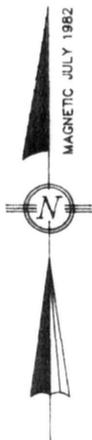
William B. Hilder, L.S.

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LOCATION PLAN SCALE: 1" = 400' ±

N/F
PAVUK
L.1635 P.465
SEC 3 BLK 1 LOT 16



NOTES

1. BEING A LOT LINE CHANGE BETWEEN LANDS SHOWN ON THE TOWN OF NEW WINDSOR TAX MAPS AS SECTION 3 BLOCK 1 LOTS 18 AND 19 AND LANDS OF THE TOWN OF NEW WINDSOR. DEEDS OF RECORD: LIBER 1472 PAGE 472 (TAX LOT 19) LIBER 1755 PAGE 28 (TAX LOT 18) LIBER 4646 PAGE 24-2 (BOTH TAX LOTS)
2. PROPERTY OWNER/APPLICANT: HELEN F. STELLWAG
470 LITTLE BRITAIN ROAD
NEW WINDSOR, N.Y. 12553
3. PROPERTY ZONE P I - COMMERCIAL USE IN SAME OWNERSHIP SINCE PURCHASES OF 1958 AND 1965. AS SUCH, PROPERTY HAS PRE-EXISTING STATUS WITH RESPECT TO USE AND BULK REQUIREMENTS.
4. PROPERTY IS SERVED BY EXISTING MUNICIPAL SEWER AND WATER SYSTEMS.
5. APPROXIMATE MANHOLE LOCATIONS SHOWN HEREON ARE BASED UPON "AS BUILT" PLANS FOR SEWER DISTRICT NO. 19 ON FILE WITH THE TOWN OF NEW WINDSOR AND SIGNALS OBTAINED WITH A METAL DETECTOR DURING THE FIELD SURVEY. ALL LIDS WERE TAKEN OVER AT THE TIME OF THE SURVEY. APPROXIMATE WATER LINE LOCATION TAKEN FROM PLANS PREPARED FOR ROUTE 207/SILVER STREAM WATER MAIN.
6. THERE ARE NO IMPROVEMENTS PROPOSED OR REQUIRED AS PART OF THIS LOT LINE CHANGE.
7. SURVEYED IN ACCORDANCE WITH DEEDS AND MAPS OF RECORD AND PHYSICAL MONUMENTATION FOUND AT THE TIME OF THE SURVEY.
8. OFFSETS SHOWN ARE AT RIGHT ANGLES TO THE PROPERTY LINES.
9. NO CERTIFICATION IS MADE FOR ITEMS NOT VISIBLE AT GROUND SURFACE AT THE TIME OF THE SURVEY.
10. THIS PLAN WAS PREPARED PRIOR TO THE RECEIPT OF A TITLE REPORT OR ABSTRACT OF TITLE AND IS THEREFORE SUBJECT TO EASEMENTS AND OTHER GRANTS NOT VISIBLE, IF ANY.
11. UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
12. ONLY COPIES FROM THE ORIGINAL OF THIS PLAN, MARKED WITH AN ORIGINAL LAND SURVEYOR'S INKED SEAL, SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
13. CERTIFICATION SHALL RUN ONLY TO THE PERSONS FOR WHOM THIS PLAN IS PREPARED, AND ON HIS BEHALF, TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

CERTIFICATION

I hereby certify that this plan resulted from an actual field survey of the indicated premises completed on 10 November 1998 performed in accordance with the code of practice adopted by the N.Y.S. Association of Professional Land Surveyors, Inc., and is, to the best of my knowledge and belief, correct.

CERTIFIED TO: Helen F. Stellwag
The Town of New Windsor



OWNERS CONSENT

I HAVE REVIEWED THIS PLAN AND FIND IT ACCEPTABLE

Helen F. Stellwag
OWNER

PLANNING BOARD APPROVAL

SITE PLAN SUBDIVISION LOT LINE CHANGE
 APPROVAL GRANTED BY TOWN OF NEW WINDSOR
 JUN 1999
 PLANNING BOARD ON
 BY: *[Signature]*
 ED STENT, SECRETARY
 PLANNING BOARD NO.

Grevas & Hildreth LAND SURVEYORS
Hildreth, P.C.
407 SOUTH PLANK ROAD UNIT 3, NEWBURGH, N.Y. 12550
TEL: (914) 566-8650

REVISIONS:		PLAN FOR:
DATE	DESCRIPTION	TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK
	ACAD:SWAG	HELEN F. STELLWAG & THE TOWN OF NEW WINDSOR
		Drawn: GAB
		Checked: WBH
		Scale: 1"=40'
		Date: 2 April 1999
		Job No: 98-081

HELEN F. STELLWAG & THE TOWN OF NEW WINDSOR

FINAL PLAN
LOT LINE CHANGE
& PARCEL ACQUISITION
RECEIVED APR 21 1999