

PB# 07-01

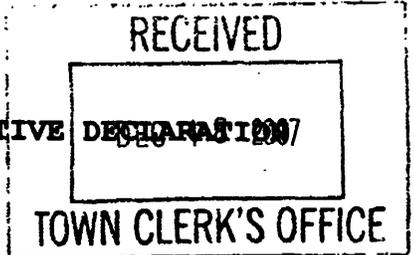
NW Senior Housing

46-1-46

TOWN OF NEW WINDSOR
PLANNING BOARD
APPROVED COPY
DATE: 7-31-08

07-01 New Windsor Senior Housing
Rt. 32 - Warwick Properties (Pfund)

**RESOLUTION OF THE PLANNING BOARD ADOPTING A NEGATIVE DECLARATION
FOR A SENIOR HOUSING DEVELOPMENT**



New Windsor Senior Housing

WHEREAS, an application was made to the Town Board of the Town of New Windsor for special use permit by Warwick Properties (the "applicant") for a project described as the "New Windsor Senior Housing" development to be located off of New York State Route 32 in Vail's Gate in the Town of New Windsor (the "action");

WHEREAS, the subject site consists of 4.1 acres of land and comprised of one tax map parcel in the Town of New Windsor identified on the tax map as section 46, block 1, and lot 46 (SBL 46-1-46) located near Route 32 in the Town of New Windsor, New York;

WHEREAS, the action involves a request for a special use permit and site plan approval for ninety (90) one-bedroom housing units to be restricted as totally affordable senior housing, one caretaker's apartment and related site improvements pursuant to Town of New Windsor Town Code Sections 300-18 and 300-18A;

WHEREAS, the applicant has also applied to the Planning Board for site plan approval;

WHEREAS, the proposed development is subject to the Town of New Windsor Zoning Code § 300-18(J) setting forth the procedures applicable for senior citizen housing special use permits;

WHEREAS, the applicant has submitted a fully executed long form Environmental Assessment Form ("EAF") pursuant to the New York State Environmental Quality Review Act ("SEQRA");

WHEREAS, on June 28, 2007 the Town Board referred the application to the Planning Board for its consideration and report pursuant to Zoning Law § 300-18(J)(3); and

WHEREAS, on July 25, 2007 the Planning Board issued its report in response to the Town Board's request, which report found that the proposed location is appropriate for a senior citizen housing development, given its location to nearby businesses in Vail's Gate, and further that there is a need for housing for senior citizens in the Town of New Windsor;

FAXED

2-21-08 Mandelbaum + P+J

WHEREAS, the Planning Board declared its intent to serve as lead agency under SEQRA at the July 25, 2007 meeting, and recommended to the Town Board that any decision to issue or deny the special use permit be deferred until the Planning Board completes its SEQRA review;

WHEREAS, New York General Municipal Law § 239 requires the referral of both the special use permit and site plan applications to the Orange County Planning Department ("OCPD") for its review and comment, which referral was made by letter dated November 8, 2007 and OCPD has yet to respond despite that more than thirty days have elapsed since such referral;

WHEREAS, the proposed site plan required certain variances from the Town of New Windsor Zoning Law, which variances were considered by the Town of New Windsor Zoning Board of Appeals, and which were granted, following a public hearing, by the Zoning Board of Appeals on November 5, 2007;

WHEREAS, during the course of the Planning Board's review of the Applicant's proposed site plan layout, the Planning Board received and considered correspondence from other involved agencies as well as the Town's consultants;

WHEREAS, the Planning Board has conducted a coordinated SEQRA review of this action, which is an unlisted action as that term is defined in SEQRA;

WHEREAS, the Planning Board now wishes to make certain determinations regarding SEQRA;

NOW, THEREFORE, the Planning Board resolves as follows:

1. The Planning Board is lead agency for a coordinated review of this action;
2. This is an Unlisted Action for SEQRA purposes;
3. The long EAF submitted by the applicant has been fully reviewed and considered by the Planning Board;
4. Having reviewed with due care and diligence the EAF submitted by the applicant, the application herein and all pertinent documentation, it is determined that the proposed action will not

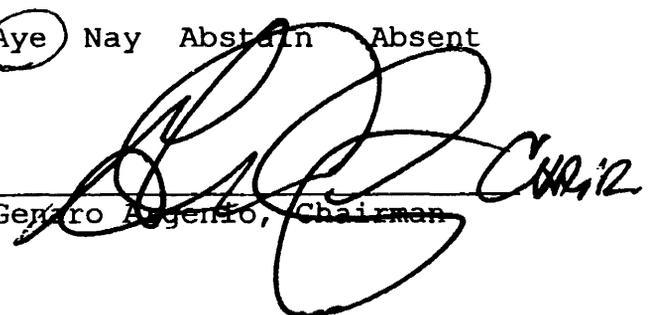
have, nor does it include, the potential for significant adverse environmental impacts;

5. The Planning Board finds and determines that the action minimizes or avoids significant environmental impacts and, therefore, the accompanying Negative Declaration is hereby adopted as part of the approval of the site plan and special use permit for this senior housing development;

Upon motion made by Member Schlesinger, seconded by Member Brown, the foregoing resolution was adopted as follows:

Member, Daniel Gallagher	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Howard Brown	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Neil Schlesinger	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Henry Vanleeuwen	<input type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Chairman, Genaro Argenio	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent

Alternate, Henry Schieble	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent


Genaro Argenio, Chairman

Dated: December 12, 2007
New Windsor, New York

Filed in the Office of the Town Clerk on this 18th day of December, 2007.


Deborah Green
Town Clerk

**TOWN OF NEW WINDSOR PLANNING BOARD
COUNTY OF ORANGE**

NEGATIVE DECLARATION

*New Windsor Senior Housing
PB # 07-01*

PLEASE TAKE NOTICE that, according to the provisions of Article 8 of the Environmental Conservation Law and the New York Code of Rules and Regulations Part 617, the Town of New Windsor Planning Board has adopted a Negative Declaration for the project named below. The Planning Board is serving as Lead Agency for this Unlisted Action, for a coordinated review of this Unlisted Action.

Name of Project: New Windsor Senior Housing
Action Type: Unlisted Action; Coordinated Review
Location: New York State Route 32
Tax Map Parcel: Section 46, Block 1, Lot 46

Summary of Action:

The action involves a request for special use permit and site plan approval for a 90 unit totally affordable senior housing development. The parcel is presently vacant.

Reasons Supporting the Negative Declaration:

Based on its consideration of the available information, the Planning Board finds there would be no significant adverse environmental effects associated with granting special use permit and site plan approval for a senior housing development at this location. The Planning Board previously found and determined that the location, given surrounding uses and amenities, was appropriate for senior housing. With respect to traffic patterns, traffic safety and emergency access, the proposed development will have access to New York State Route 32. With respect to water and sewer resources, the development will be served by public water and sewer. With respect to grading and land disturbance, a stormwater pollution prevention plan will be developed in conjunction with the proposed site plan for the site, which will meet the requirements of the SPDES General Permit for Stormwater Discharges from Construction Activities. The site does not constitute significant habitat area for flora or fauna. The site is zoned for commercial use, and it is surrounded by other existing commercial uses, and will not have any impact on any cultural resource. The proposed site plan is considered to comply with all currently existing zoning requirements and municipal plans for the Town of New Windsor, and is consistent with the community character. Solid waste generation, energy consumption, nor public service demands would be significant or excessive for the development associated with this proposed site plan. No other potentially significant harmful environmental impacts are identified.

Date of Adoption of Negative Declaration: December 12, 2006
Agency Address: Town of New Windsor Planning Board
Town Hall – 555 Union Avenue
New Windsor, New York 12553
Tel. (845) 563-4615
Contact Person: Genaro Argenio, Planning Board Chairman



COUNTY OF ORANGE

DEPARTMENT OF PLANNING

EDWARD A. DIANA
COUNTY EXECUTIVE

124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533
www.orangecountygov.com/planning

DAVID CHURCH, A.I.C.P.
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING
239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Local File #: 07-01

Referred by: *Town of New Windsor Planning Board*

Reference/County ID No.: *NWT41-07N*

Amended January 10, 2008

Applicant: *New Windsor Senior Housing*

County Tax ID: *S: 65 B: 22 L: 29*

Proposed Action: *Site Plan for 90 units of Totally Affordable Senior Housing*

Reason for Review: *Within 500 Ft of NYS Route 32*

Date of Full Statement: *November 19, 2007*

Comments:

This Department has reviewed the materials submitted regarding the above-referenced site plan and offers the following advisory-only comments for your consideration. We have also received recent, new information from Pietrzak & Pfau Engineering & Surveying, engineer for a senior housing project referenced above that is currently before the Town of New Windsor. As such, we are providing this amended letter. Our prior review of this project should be deleted and replaced with this letter.

It is the understanding of this department that many of the residents of the proposed project will be utilizing pedestrian facilities as a primary means of transportation. This understanding is based on the variance which was granted that reduces the required number of required parking spaces along with general requirement # 1 under section 300-18.1 of the Town of New Windsor Code, which states "The site selection shall meet the requirement for senior citizen housing, with special attention to the site being within walking distance of shopping, restaurants and other services". We have based our first two advisory recommendations on this premise.

1. We recommend that the applicant provide a sidewalk on land they have an easement on that will connect the proposed development to NYS Route 32 in order to establish reliable and safe pedestrian access to the Route 32 commercial corridor. We have been advised that an updated site plan (dated 12/17/07) now includes said sidewalk.
2. This Department does not feel that the existing pedestrian facilities along NYS Route 32 will provide the necessary safety which needs to be afforded to the senior citizens of our community. Therefore, we recommend that the Town of New Windsor be in contact with the DOT to determine what improvements should be made to the pedestrian facilities along NYS Route 32 and nearby intersections in order to provide a safe route for the residents to walk between the proposed development and the shopping, restaurants, and other services.

3. This Department previously asked for information on the specific stipulations that will be in place to keep this project affordable for a significant amount of time. Subsequent information provided by the applicant indicates that this project anticipates that it will remain affordable for a minimum of 50 years.

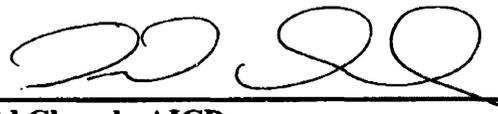
4. This Department recommends that the developer provide a bus shelter in close proximity to the proposed development along NYS 32 and have adequate provisions in place for the maintenance of the shelter for as long as this development is designated as totally affordable senior housing. We are under the assumption that because of the reduced number of parking spaces and the fact that many seniors are unable to drive that the bus service will be frequented by the residents for services that cannot be obtained within walking distance. There is existing bus service along this route and a shelter will provide the residents of this development a safe and convenient place to wait for bus service. The applicant has notified this department that an oversized lobby with seating and vestibule with a canopy will be provided for residents to wait for transportation services. While this is an obvious benefit for potential residents, we still recommend exploring options for residents who choose to use the public transit system and will require a safe shelter in proximity of a public street.

Having no further comments, from a County perspective we find no significant inter-community or countywide concerns. The department recommends that the Planning Board proceed with its review process.

County Recommendation: Local Determination

Date: January 10, 2008

Prepared by: Todd Cohen



David Church, AICP
Commissioner of Planning

IMPORTANT NOTE: As per NYS General Municipal Law 239-m(6), within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecountygov.com/planning.



REPORT OF FINAL LOCAL ACTION

**To: Orange County Department of Planning
124 Main Street
Goshen, NY 10924**

From:

Date:

**Subject: GML 239 Referral ID# NWT41-07N
Name of project: New Windsor Senior Housing**

As stated in Section 239 of the General Municipal Law of the State of New York State, within thirty days of taking final action in regard to a required referral to the Orange County Planning Department, the local referring agency shall file a report as to the final action taken. In regard to the proposed action described above, the following final action was taken:

_____ Our local board **approved** this action on _____.

_____ Our local board **approved** this action **with modifications** on _____.
Briefly, the modifications consisted of:

_____ Our local board **disapproved** this action on _____.
Briefly, the reasons for disapproving this action were:

_____ The proposal was **withdrawn**.

Additional space for comments on actions:

Orange County Department of Planning
Application for Mandatory County Review of Local Planning Action
(Variances, Zone Changes, Special Permits, Subdivisions)

To be completed by Local Board having jurisdiction.
To be signed by Local Official.

MUNICIPALITY: T/New Windsor

TAX MAP ID: 46-1-60
(Section-Block-Lot)

Local File #: 07-01
Please refer to this number in any correspondence.

Project Name: New Windsor Senior Housing

Applicant: Warwick Properties
Address: 1 Crescent Ave, Warwick, NY 10990

Send Copy of Letter to Applicant: (check one)
Yes No

Attorney, Engineer, Architect: Pietrzak & Pfau Engineering, 262 Greenwich Ave, Goshen, NY 10924

Location of Site: east side of NYS Route 32, approx 600 ft north of Old Temple Hill Road
(Street, highway, nearest intersection)

Size of Parcel: 4.14 +/- Acres

Existing Lots: 1

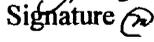
Proposed Lots/Units: 1

Present Zoning District: R-4

TYPE OF REVIEW:

- Site Plan (SP): Totally Affordable Senior Housing Project
- Special Use Permit* (SUP) Permit to be issued by Town Board
- Variance* USE (UV): _____
AREA (AV): _____
- Zoning District Change* From: _____ To: _____
- Zoning Amendment To Section: _____
- Subdivision: Major _____ Minor _____
 Sketch Preliminary Final (Please indicate stage)
- Other Comments: Previously forwarded to Town ZBA for area type variances

Date: 11-8-07

Mark J. Edsall, P.E., P.P. Mark J. Edsall, P.E., P.P.
Signature  Engineer for the Planning Board

* Cite Section of Zoning Regulations where pertinent.

FOR COUNTY USE ONLY

County ID# _____
GML 239 Referral Guide – 02/27/2007

As picked up by Pietrzak & Pfau on 11/19/07 _____

PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553

Appl No: 7-1

File Date:01/11/2007

SEC-BLK-LOT:65-2-29-0

Project Name:NEW WINDSOR SENIOR HOUSING PA2006-1075

Type:3

Owner's Name:SORBELLO BOUYEA KING

Phone:

Address:505 N. RIVERSIDE ROAD - HIGHLAND, NY 12528

Applicant's Name:WARWICK PROPERTIES

Phone:

Address:ONE CRESCENT AVENUE - WARWICK, NY 10990

Preparer's Name:PIETRZAK & PFAU ENGINEERING

Phone:(845) 294-0606

Address:262 GREENWICH AVE - GOSHEN, NY 10924

Proxy/Attny's Name:N/A

Phone:

Address:

Notify:PIETRAZAK

Phone:(845) 294-0606

Location:ROUTE 32 - VAILS GATE

Acreage	Zoned	Prop-Class	Stage	Status
4.140	R-4	0		0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
11/15/2007	NEWB			

Appl for:PROPOSED 96 UNIT, 1 BEDROOM AFFORDABLE HOUSING UNITS

Addl Municipal Services:

Streets:

Water:

Sewer:

Garbage:

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/11/2008

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
07/31/2008	PLANS STAMPED	APPROVED
12/12/2007	P.B. APPEARANCE	ND
11/14/2007	P.B. APPEARANCE	SET PH
09/12/2007	P.B. APPEARANCE	REFER TO ZBA . NEED THREE VARIANCES; POSITIVE RECOMMENDATION FROM PB; COPY . THE RESOLUTION TO ZBA; NEED CORRECTED PLANS PRIOR TO ZBA
01/24/2007	P.B. APPEARANCE	RETURN
11/01/2006	WORKSHOP APPEARANCE	SUBMIT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/11/2008

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	01/11/2007	EAF SUBMITTED	01/11/2007	WITH APPLIC
ORIG	01/11/2007	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	01/11/2007	LEAD AGENCY DECLARED	/ /	
ORIG	01/11/2007	DECLARATION (POS/NEG)	12/12/2007	NEG DEC
ORIG	01/11/2007	SCHEDULE PUBLIC HEARING	/ /	
ORIG	01/11/2007	PUBLIC HEARING HELD	/ /	
ORIG	01/11/2007	WAIVE PUBLIC HEARING	/ /	
ORIG	01/11/2007	FINAL PUBLIC HEARING	/ /	
ORIG	01/11/2007	PRELIMINARY APPROVAL	/ /	
ORIG	01/11/2007	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/11/2008

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 7-1

NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV2	10/25/2007	MUNICIPAL HIGHWAY	/ /	
REV2	10/25/2007	MUNICIPAL WATER	/ /	
REV2	10/25/2007	MUNICIPAL SEWER	/ /	
REV2	10/25/2007	MUNICIPAL FIRE . SEE REVIEW SHEET IN FILE FOR DETAILS OF APPROVAL	11/15/2007	APPROVED COND
REV2	10/25/2007	NYSDOT	/ /	
REV1	09/12/2007	MUNICIPAL FIRE . SAME AS JANUARY REVIEW	09/12/2007	DISAPPROVED
ORIG	01/19/2007	MUNICIPAL HIGHWAY	01/24/2007	APPROVED
ORIG	01/19/2007	MUNICIPAL WATER	10/25/2007	SUPERSEDED BY REV2
ORIG	01/19/2007	MUNICIPAL SEWER	10/25/2007	SUPERSEDED BY REV2
ORIG	01/19/2007	MUNICIPAL FIRE . INSUFFICIENT FIRE LANES, SIZE AND OCCUPANCY WILL CALL FOR . FILRE LANES ON FRONT AND REAR OF THE BUILDINGS.	01/22/2007	DISAPPROVED
ORIG	01/19/2007	NYSDOT	10/25/2007	SUPERSEDED BY REV2

**RESOLUTION GRANTING CONDITIONAL SITE PLAN APPROVAL
FOR A SENIOR CITIZEN HOUSING DEVELOPMENT**

*New Windsor Senior Housing
PB #07-01*

WHEREAS, an application was made to the Planning Board of the Town of New Windsor for approval of a site plan by Warwick Properties (the "applicant") for a project described as "New Windsor Senior Housing";

WHEREAS, the subject site consists of 4.14 acres of land and comprised of one tax map parcel in the Town of New Windsor identified on the tax map as section 46, block 1, and lot 60 (SBL 46-1-60); and

WHEREAS, the action involves a request for a site plan approval for a senior citizen housing complex; and

WHEREAS, the applicant has submitted a fully executed long form Environmental Assessment Form ("EAF") pursuant to the New York State Environmental Quality Review Act ("SEQRA"); and

WHEREAS, the Planning Board conducted an uncoordinated SEQRA review for this project; and

WHEREAS, during the course of the Planning Board's review of the Applicant's proposed site plan layout, the Planning Board received and considered correspondence from the public as well as the Town's consultants; and

WHEREAS, on January 4, 2008 the Town of New Windsor Planning Board waived the public hearing; and

WHEREAS, the application and related materials were submitted to the Orange County Planning Department ("OCDP") for its review pursuant to the requirements of the General Municipal Law § 239-m, and OCDP responded on December 13, 2007 recommending conditional approval; and

WHEREAS, the Planning Board has carefully considered all of the comments raised by the public, the Board's consultants, and other interested agencies, organizations and officials, including those presented at numerous meetings of the Board as well as those submitted separately in writing; and

WHEREAS, the applicant has submitted a proposed site plan consisting of nine sheets, prepared by Pietrzak & Pfau

Engineering and Surveying, PLLC dated April 30, 2007 and last revised on December 17, 2007; and

WHEREAS, the Planning Board has heretofore determined that the Proposed Action minimizes or avoids significant environmental impacts and, adopted a Negative Declaration as part of the conditional approval of the site plan.

NOW, THEREFORE, the Planning Board finds that the applicant has satisfied the requirements of Town Code § 300-86 and approves the site plan subject to the following terms and conditions:

1. The applicant shall pay all outstanding fees due the Town in connection with this application;
2. The applicant shall make any required revisions to the site plan to the satisfaction of the Planning Board Engineer and Planning Board Attorney;
3. The applicant shall secure all necessary permits, approvals and authorizations required from any other agency, if required including, but not limited to approvals from the New York State Department of Transportation for the roadway improvements and the U.S. Army Corps of Engineers for the wetlands disturbance;
4. The applicant shall submit proof of satisfaction of the foregoing conditions and submit a site plan for signature within six months of the date of this resolution; and
5. This site plan approval is contingent on the development and use of the property as a totally affordable senior housing development meeting all the requirements of Town of New Windsor Zoning Law §§ 300-18 and 300-18.1, unless heretofore waived.

Upon motion made by Member Schlesinger, seconded by Member Brown, the foregoing resolution was adopted as follows:

Member, Daniel Gallagher	<u>Aye</u>	Nay	Abstain	Absent
Member, Howard Brown	<u>Aye</u>	Nay	Abstain	Absent

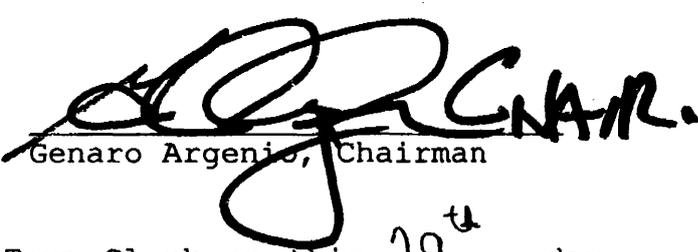
Member, Neil Schlesinger Aye Nay Abstain Absent

Member, Henry Vanleeuwen Aye Nay Abstain Absent

Chairman, Genaro Argenio Aye Nay Abstain Absent

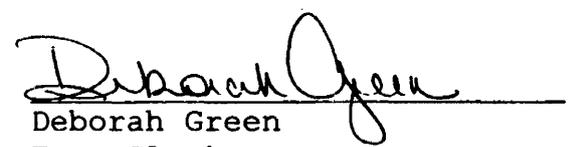
Alternate, Henry Schieble Aye Nay Abstain Absent

Dated: January 14, 2008
 New Windsor, New York



Genaro Argenio, Chairman

Filed in the Office of the Town Clerk on this 29th day
of January, 2008.



Deborah Green
Town Clerk



Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#440-2008

08/08/2008

Warwick Properties

Received \$ 2,500.00 for Planning Board Fees, on 08/08/2008. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/08/2008

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/11/2007	REC. CK. #0365	PAID		2000.00	
01/24/2007	P.B. ATTY - CORDISCO	CHG	2528.75		
01/24/2007	P.B. ENGINEER FEE	CHG	5272.10		
01/24/2007	P.B. MINUTES	CHG	63.00		
07/25/2007	P.B. MINUTES	CHG	35.00		
09/12/2007	P.B. MINUTES	CHG	35.00		
11/14/2007	P.B. MINUTES	CHG	119.00		
12/12/2007	P.B. MINUTES	CHG	21.00		
12/28/2007	LEGAL NOTICE	CHG	11.90		
01/16/2008	P.B. MINUTES	CHG	168.00		
08/08/2008	REC. CK. #0634	PAID		6253.75	
TOTAL:			8253.75	8253.75	0.00

Handwritten signature
P. 8-08

6253.75

P.B. #07-01 Escrow

WARWICK PROPERTIES, INC.
ONE CRESCENT AVENUE
WARWICK, NY 10990
986-7012

KEYBANK, N.A.
WARWICK, NY 10990
1-800-KEY2YOU

0634

50-693/219

Memo: PLANNING BOARD FEES

0634
CHECK NO.

Aug 5, 2008
DATE

****\$6,253.75
AMOUNT

Six Thousand Two Hundred Fifty-Three and 75/100 Dollars

PAY TO THE ORDER OF
TOWN OF NEW WINDSOR
PLANNING BOARD
555 UNION AVENUE
NEW WINDSOR, NY 12553

Handwritten signature

⑈000634⑈ ⑆021906934⑆ 323070032863⑈

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/08/2008

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/21/2008	2% OF \$461,205.40 INSPECT	CHG	9224.11		
08/08/2008	REC. CK. #0633	PAID		9224.11	
		TOTAL:	9224.11	9224.11	0.00

Handwritten signature
8-8-08

P.B. #07-01 Inspection fee

WARWICK PROPERTIES, INC.
ONE CRESCENT AVENUE
WARWICK, NY 10990
986-7012

KEYBANK, N.A.
WARWICK, NY 10990
1-800-KEY2YOU

0633

50-693/219

Memo: PLANNING BOARD FEES

0633 Aug 5, 2008 \$9,224.11
CHECK NO. DATE AMOUNT

Nine Thousand Two Hundred Twenty-Four and 11/100 Dollars

PAY TO THE ORDER OF
TOWN OF NEW WINDSOR
PLANNING BOARD
555 UNION AVENUE
NEW WINDSOR, NY 12553

Handwritten signature

⑈000633⑈ ⑆021906934⑆ 323070032863⑈

TOWN OF NEW WINDSOR

Received
check
8/8/08

SITE PLAN FEES

SPECIAL PERMIT: (FLAT FEE) \$250.00

APPLICATION FEE: \$ 125.00
ESCROW: (\$750.00 - \$2,000.00) \$

MULTI-FAMILY ESCROW:
\$100.00 EA. FOR FIRST 40 UNITS \$ (A)
EA. OVER 40: @ \$25.00 / UNIT \$ (B) TOTAL A & B: \$

PLAN REVIEW FEE: (EXCEPT MULTI-FAMILY) 96 Units

PAID
\$ 125.00
AUG - 5 2008
632

PLAN REVIEW - MULTI-FAMILY: \$ 100.00 (A)
PLUS \$25.00/UNIT \$2,400.00 (B)

TOTAL A & B: \$ 2,500.00 (3)*

RECREATION FEE: (MULTI-FAMILY ONLY)

95 UNITS @ \$2,000.00 PER UNIT

\$ 285,000.00 (4)*

PERFORMANCE BOND / COST ESTIMATE AMOUNT \$461,205.40

PAID
AUG - 5 2008
633

INSPECTION FEE:
2% PRIVATE IMPROVEMENTS
4% PUBLIC IMPROVEMENTS

BY: 9-224-11 (1)*
\$

TO BE DEDUCTED FROM ESCROW:

ESCROW POSTED: \$ 2,000.00

P.B. ENGINEER FEE \$ 5272.10
P.B. ATTY. FEE \$ 2528.75
MINUTES OF MEETING \$ 441.00
OTHER - Postage \$ 11.90
TOTAL DEDUCTION: \$ 8253.75

PAID
AUG - 5 2008
634

REFUND:
AMOUNT DUE:

BY: \$ 6233.75 (2)*

* Amounts due T.N.W.

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 08/08/2008

PAGE: 1

LISTING OF PLANNING BOARD **FEES**
APPROVAL

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
07/24/2008	APPROVAL FEE	CHG	2500.00		
08/08/2008	REC. CK. #0632	PAID		2500.00	
		TOTAL:	2500.00	2500.00	0.00

7/29/08

Hi Johak,

Attached is a breakdown of Planning Board fees due.

Please note the recreation Fees of \$285,000.00 have been waived by the supervisor.

The other fees:

- #1 Inspector fee
- #2 Amount per escrow
- #3 Plan review fee

should be paid in three separate checks please.

Thank You,

Myra Marx
P.B. Secretary

NDSOR

\$ 125.00

TOTAL A & B: \$

No Units \$ ~~125.00~~

TOTAL A & B: \$ 2,500.00 (3)*

\$ 285,000.00 (4)*

\$ 461,205.40

\$ 9,224.11 (1)*

~~4% PUBLIC IMPROVEMENTS~~

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 TOTAL DEDUCTION: \$ 8253.75

REFUND: \$ -
 AMOUNT DUE: \$ 6,253.75 (2)*

* Amounts due T.N.W.

DISCUSSION

NEW_WINDSOR_SENIOR_HOUSING

MR. CORDISCO: We have one item, we have a request from Pietrzak and Pfau regarding the New Windsor Senior Housing project. This is the Mandelbaum project. This is requesting six month extension of their conditional site plan approval, although that's not actually the language they use. But in any event the New Windsor Code provides for 360 days for site plan approvals in terms of satisfying conditions and getting site plan that's been stamped. I went back and I took a look at the original resolution and the resolution granted them a six month approval.

MR. EDSALL: Actually, it's 180 days, it mirrors the subdivision regulations.

MR. CORDISCO: Correct, so they're timely in asking for an additional 180 days.

MR. ARGENIO: That's very unusual not for--

MR. EDSALL: The subdivision law which is a state law and the town's site plan approval law are written the same so that candidly I even forget what it is, that's why I ask that it be written the same way, it's 180 days with two 90 day extensions relative to final approvals, this predated when we gave the two 90s so what they're entitled to are the two 90s.

MR. CORDISCO: That's really what you would be considering tonight there's no reason not to grant it but the only thing that is very important to emphasize and that should be passed back onto that is that this is it, the two 90s, in other words, another 180 days is all that they have under the towns law to satisfy those conditions that are outlined in the resolution and I calculated the date based on when the approval was

originally granted total of 360 days will expire on Monday, January 12 of 2009.

MR. VAN LEEUWEN: What they're waiting for is I know exactly what's going on here cause basically was my idea, it's been my idea for many years, what's holding it up is the fire department they wanted 30 foot lane all the way around the property and they can't give it.

MR. ARGENIO: Okay, it's been approved if anybody sees fit that we should offer the two 90 day extensions.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board offer the two 90 day extensions for the Mandelbaum Senior Housing Project in Vails Gate, when you offer him that letter Mark or Dominic whoever writes that letter advise him that it's, this is it, only two 90 day extensions.

MR. CORDISCO: I will do that.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. VAN LEEUWEN: I have something else on this project that was just here years ago the owner of that property stuck the Town of New Windsor with a road that they wouldn't do because they didn't have any lots on either side to sell so I made a suggestion that for every bond we double it because that's what he said to us, let the bonding company do it. We got ahold of Ben Blumenfeld

and Ben come in here and he says I'll have it done in two weeks and that man is deceased and I'll tell you something it was done in two weeks. I'm sure Mike remembers it.

MR. BABCOCK: Yes.

MR. VAN LEEUWEN: We'e got to watch this guy very closely.

MR. CORDISCO: Understood.

MR. ARGENIO: Motion to adjourn?

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

Respectfully Submitted By:

Frances Roth
Stenographer

**DRAKE LOEB HELLER
KENNEDY GOGERTY
GABA & RODD PLLC**
ATTORNEYS AT LAW

355 Hudson Valley Avenue, Ste. 100
New Windsor, New York 12553

Phone: 845-561-0550
Fax: 845-561-1235
www.drakeleeb.com

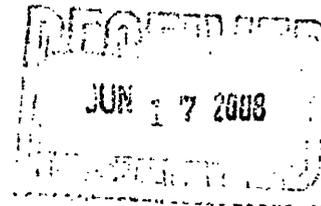
James R. Loeb
Richard J. Drake
Glen L. Heller
Marianna R. Kennedy
Gary J. Gogerty
Stephen J. Gaba
Anam L. Rodd
Dominic Cordisco

Lawrence M. Klein
Senior Bankruptcy Counsel

Jeanne N. Tully
Timothy F. McElhinney, Jr.
Jennifer E. Wright
Stuart L. Kossak

*L.L.M. in Taxation

June 16, 2008



26126.01

Travis Ewald
Senior Engineer
Pietrzak & Pfau
262 Greenwich Avenue
Suite A
Goshen, New York 10924

Re: New Windsor Senior Housing Project 07-01
Our File No.: 12132 - 6085904

Dear Mr. Ewald:

Your June 9, 2008 letter requesting a six (6) month extension was discussed and decided at the June 11, 2008 planning board meeting.

The planning board previously granted site plan approval on January 16, 2008, with conditions. The resolution required that the conditions be satisfied and final plans submitted for signature within six (6) months of the approval. The Town of New Windsor Zoning Law provides that site plan approvals expire within 180 days, unless the planning board grants up to a maximum of two 90 day extensions. See Zoning Law § 300-86 (E)

Given that the request was timely, the planning board granted both 90 day extensions. As a result, the site plan approval is now set to expire on January 12, 2009. Please be advised that no further extensions can be made.

The planning board requested that I advise you of the above. Should you have any questions or concerns, please call.

Very truly yours,

DOMINIC CORDISCO

DRC/rt/57086

cc. Genaro Argenio, Chairman
Myra Mason, Planning Board Secretary
Mark Edsall, P.E.

Writer's Direct
Phone: 845-458-7316
Fax: 845-458-7317
drcordisco@drakeleeb.com

January 16, 2008

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(24)

PUBLIC HEARINGS:

NEW WINDSOR SENIOR HOUSING (07-01)

MR. ARGENIO: We have two public hearings this evening, first public hearing is New Windsor Senior Housing on Route 32 in Vails Gate. Somebody here to represent this? Do you have plans for us?

MS. MASON: Yes.

MR. ARGENIO: This application proposes development of 96 one bedroom senior citizen housing units on the 4.1 acre parcel. The application was previously reviewed at the 24 January, 2007 meeting, 12 September, 2007 meeting and 14 November, 2007 planning board meetings. The application is before the board tonight for a public hearing. I see Mr. Mendelbaum is here to represent this. Is there a set of plans for Mr. Mendelbaum to put up?

MR. BABCOCK: I can offer him one.

MR. ARGENIO: On the easel so the public can have the benefit of seeing this. We've seen this all a few times. Mr. Mendelbaum, would you please take a moment and give us a brief description of some of the changes that have been made since the last time you've been here? Okay, yeah, turn it that way, Mr. Mendelbaum, just go through quickly, we've seen this quite a few times, I've seen it many, many times. I'd like you to just tell us some of the things, the changes that have been made as this plan has come forward the changes that the fire inspectors have compelled you to do to make this thing safe and some of the things that the engineer has directed for the benefit of the public please and then we'll comment on it and then we'll open it up to the public.

MR. MENDELBAUM: Okay, I can just give you a

background, we have, we received numerous comments from your engineer, we have met with your engineer recently also at his office, all the comments recommended by the engineer have been implemented on the plan and have been changed to his satisfaction I assume, I didn't hear anything else.

MR. ARGENIO: Is that correct, Mark?

MR. EDSALL: Yes, there's couple items I want to go over but I'll wait until he's done.

MR. MENDELBAUM: As far as the units themselves are they're all for the benefit of the public I see some seniors here all going to be one bedroom apartments, all individually with central heat and hot water done by themselves, all going to be total affordable senior housing under the new zones implemented by the Town of New Windsor and that particular project once it's done will be going to the State of New York Division of Housing for additional review and approval.

MR. ARGENIO: What do they review the Division of Housing?

MR. MENDELBAUM: They review first of all the site plan, then they review the building, then they review income, then they review market study, then they review feasibility study, then they review income level within the region, and so on and so on.

MR. ARGENIO: Do they review the Division of Housing do they review the appurtenances that are in the area?

MR. MENDELBAUM: Absolutely, one of the big criteria is location, they actually had the site architect from their division actually comes to the site to review and make sure there's like which ideally there's a pharmacy right next door, there's across the street there's a shopping center, there's stores, there's amenities

within walking distance. That's one of the things they look for, one of the big criteria they look for location which obviously in this location is ideal for that particular use cause a lot of the seniors here will not have cars, when you deal with income criteria like that we found it to be where they don't have actually I'll say at least 50% of the people will not have cars.

MR. ARGENIO: I want to open it up to the public. We've seen this quite a few times. I've seen it many, many times and I want to, if anybody has any questions I want them to have a chance to ask the questions. Where is the notice of the public hearing? On the 27 of December, 2007, 114 addressed envelopes went out containing the--that's got to be a record, no?

MS. MASON: Close.

MR. ARGENIO: -- 114, that's a lot, addressed envelopes containing public hearing notice for this application. List was provided by the assessor's office regarding the mailing but if somebody in the audience is here to speak for or against or just ask a question on this project please raise your hand, I will recognize you, you'll be given a chance to speak and next person will speak. Ma'am, would you please come up, give me your name and address for the benefit of the stenographer and whatever questions you have just come to the center so we can hear you?

MS. O'DONNELL: My name is Audry O'Donnell and my address is 810 Blooming Grove Turnpike, it's Kingswood Gardens, 102, I just have a couple of questions. This is the first time I've seen any plans at all, I want to know where exactly is it going to be located? They're saying in back of the firehouse but where?

MR. BABCOCK: There's a picture right there.

January 16, 2008

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MR. MENDELBAUM: If you come right here this is the firehouse, this is RAL Plumbing, this is the pharmacy, the entrance right here and this is the actual location.

MS. O'DONNELL: The entrance is on 32, that's what I wanted to know. Am I correct, there's no entrance or egress onto 94?

MR. MENDELBAUM: You're correct.

MS. O'DONNELL: Thank God because I'm concerned about traffic also, I won't be living there but as a senior.

MR. MENDELBAUM: Why not?

MS. O'DONNELL: Why not? I could.

MR. MENDELBAUM: You could be the first tenant.

MS. O'DONNELL: I could well qualify but my point is this, I'm speaking for seniors, I have a car and I drive everywhere, even to Virginia, but my point is a lot of people that don't have cars in Kingswood have a difficult time walking because there's so sidewalks in New Windsor. Will there be sidewalks for these people to walk? I'm dead serious.

MR. ARGENIO: Let me answer that question and the reason I'm going to answer it is because I personally specifically went out there three days ago to measure the width of the sidewalk on 32. We had a comment from the county that we had received that was not specifically that inviting relative to the pedestrian access. I measured the sidewalks on 32, they're a full seven feet wide, let me finish, which is almost double what we require in this town. And one of the requirements that the applicant had to meet, ma'am, from the beginning was he had to figure out a way to bring the sidewalk for the residents of the facility up

to 32 so that residents can access that sidewalk and safely go to Rite-Aid or Wendy's or the bank or whatever they want to do. Does that answer your question?

MS. O'DONNELL: Cause besides--

MR. MENDELBAUM: You actually can see this.

MS. O'DONNELL: From the building to 32 number one and number two, I drive every place but I'm speaking, I care about the people where I live, a lot of them don't drive ever, even worse shape they're on crutches and canes and stuff like that. So my heart goes out the them. If I pop into Rite-Aid and pick up some milk it's not a problem, I go out with the car, I can even cut through the back of the station because of the grass. But some people can't do that and I'm saying oh my God, what happens if they're walking out of the Rite-Aid which is now so crowded since Eckard's moved and they merged with them, there's little enough room, it's very hard to cross there. So I'm concerned, I'm saying oh my God, these people, I won't be one of them by the grace of God but how are they going to get across safely because they have to cross over to go to Shop Rite especially if they don't have cars they have to go. So that's my concern long term, that's my story, okay, thank you.

MR. ARGENIO: Again, what I'd like to do is, ma'am, what I'd like to do is I'd like to put the plan on the board and this gentleman wants to ask a couple of questions and that's fine and then ma'am I'd like you to take after he asks his questions I'd like to invite you up to take a closer look cause I don't want to rush you through because you seem to have some concerns. Go ahead.

MR. BRAUN: Leo Braun, New Windsor. I live up in Countryside Estates. First question is can everybody

first see this picture, I was hoping that's the reason why I was picking my hands up, can you raise it up a lot higher? I see it now but I don't think anybody else can.

MR. ARGENIO: Anybody wants to see it, Travis can pick it up, Leo, it's not a problem.

MR. BRAUN: Second question is I happen to see certain areas behind Rite-Aid, great, great, now I can move back somewhat, second thing is I see behind Rite-Aid and that other R-A-L if I'm not mistaken.

MR. ARGENIO: The plumbing place.

MR. BRAUN: They have a drainage system and water system, I don't know if you're aware of it, I know you had a job of starting with the new Shop Rite that was being done, there's supposed to be a culvert directly underneath from 300 all the way across to 32 and they had through Charlie's old market there when they were building up Rite-Aid and they were supposed to have the culvert creating a flow. It does not have a flow. I'd like to know how they are gonna have that flow into the stream and do they have enough acreage to have a continuous flow behind that property?

MR. ARGENIO: Go ahead, Travis. Just so you know, Leo, I want you to know that this question that you just asked was one of the most important questions that both Mr. Edsall asked and as you know my company did work on the other side, it's one of the things that I asked because I understand how that stream runs. So I hope he's got a good answer for it. And I think it's been resolved but certainly go ahead.

MR. EWALD: We did an analysis of the existing culvert which crosses Route 32 and then we took and we created a culvert which would allow us access across that Silver Stream into the site and the culvert that we're

proposing to place in there, the opening of it is a little bit larger than the opening of the existing culvert plus it's at a steeper slope and it will carry larger flows than the existing culvert so it will more than adequately pass all the water that it's receiving.

MR. ARGENIO: Mark?

MR. EDSALL: Yes, the original concern resulted in a submittal that we had some concerns about.

MR. ARGENIO: It was rejected, when he says we had concerns, that means they rejected it.

MR. EDSALL: It was a little less than the capacity that was equivalent to what was upstream, Mr. Mendelbaum worked with his engineer and they upsized the culvert so it was equal to or greater than the discharging culvert upstream.

MR. BRAUN: Present culvert?

MR. EDSALL: Correct, so it was a problem and it got fixed.

MR. ARGENIO: Mr. Braun, you had a second question?

MR. BRAUN: That's it, thank you.

MR. ARGENIO: Thank you. Anybody else have a question? Yes, sir?

MR. BIGG: My name is Joe Bigg, I live in Kingswood number 89. First of all, I want to commend everybody for the success in the future of this project, something that's been long overdue. I know my father with the senior citizens before he passed away it was something they had been working on for years to try to get this project through. My concern is something that I heard in the last couple weeks, with the standpoint

of the access for emergency vehicles, it's my understanding from the fire chief, I belong to the fire company that there will be no access for emergency vehicles on the back should God forbid a fire exist in the back of the building hose lines and ladders have to be carried because there won't be no access for emergency vehicles to the back of the building, is this true or not?

MR. ARGENIO: Let me, I'm not going to answer your question, somebody smarter than me is going to answer the question but I will tell you this that this board would not sign off on a project that the fire inspector rejected for lack of a better term. There have been a lot of discussions about fire access on this site and hopefully Travis or Mr. Mendelbaum or Mr. Babcock whoever can comment on this can share with you some of the--

MR. BIGG: I just heard it in the last couple weeks from the fire chief that we would have to carry ladders around the back and drag hose lines because there was in access for emergency vehicles to the back of the site or the back of the buildings.

MR. ARGENIO: Travis?

MR. EWALD: At a workshop meeting where we discussed it with the fire inspector it was requested that in lieu of the access road behind the buildings we're replacing a sidewalk behind the buildings so they could set up a ladder. There's also we have extended our pavement right through the property line and our property boundary's on the firehouse property and we have installed an emergency breakaway gate and it was requested we if could stabilize access onto the fire department's land which they have pavement that almost extends out to the pavement that we're proposing. It's my understanding that they would not even if we had provided an access road behind the buildings that they

would not take their vehicles behind the buildings because you have to be I believe the building height away from the building within a collapse zone so basically on their comments we provided the best protection that we could.

MR. ARGENIO: What we're balancing, Mr. Bigg, is the fact that the site is a really great location for seniors, as you acknowledged, we're trying to take this, I shouldn't say we, the applicant and our professionals within this town are trying to take that and balance it against something that can be acceptable to the firemen and they, we believe that we have arrived at something that is acceptable to everybody.

MR. MENDELBAUM: May I add something there that the building, I don't know if you're aware of it, the building has a hundred percent fully sprinklered system so I don't know if you're aware of that which also it connects on the outside of the building at the location that will be requested by the fire inspector.

MR. ARGENIO: Anybody else have any questions? Mr. Bedetti. This is our fire inspector.

MR. BEDETTI: Good evening, Mr. Chairman, I'm Francis Bedetti, I'm the fire inspector for the Town of New Windsor, just want to clarify one thing. The meeting that you had wasn't with the fire inspector, it was the Commissioner of the Vails Gate Fire District and they're the ones that had given you the authorization to put the sidewalk around the back of the building. I just wanted to make that clear. Thanks.

MR. ARGENIO: Anybody else have any questions?

MS. O'DONNELL: I'm still the same person, Audry O'Donnell. I'm so big on sidewalks because I'm thinking about maybe they can walk around the building, maybe they can go to Rite-Aid and buy the milk, the

seniors, okay. And the ones that can't drive have to walk across that God awful street to Shop Rite. There's no sidewalk there, you know what I'm saying, planning to put a building there without services around it that they can use but within walking distance, sidewalk distance. There's no place you can cross the street there and that's what I'm concerned about because I don't think it's a great location personally because it's so back so far, it's so hidden, it's so not accessible to people and I don't know, I mean, the people over in Knox Village that cross there over to the firehouse is murder as it is and they have sidewalks there but even they're, and at their age they're agile, young people, you see them crossing over to Shop Rite.

MR. ARGENIO: They have to be nimble. It's a good point you bring that up because there's a senior housing project that's proposed in that area as well and this is something that we'll certainly have to look at. Appreciate that.

MS. O'DONNELL: Ask anybody you know that lives in my place that doesn't drive and they're all like forget about it.

MR. ARGENIO: Anybody else?

MR. BRAUN: Just one quickly, I happen to be Leo Braun again, just a quick thing in reference to the town roads she's talking about and George has talked about it, Bill has talked about it, the town roads speed system, is this a perfect time to have the state itself or the county itself to help us with reviving from the 40 down to a 30 for this particular area?

MR. ARGENIO: Mr. Braun, that's a whole entirely different conversation and I will share with you some very brief insight because I think it's somewhat germane to this application. And Dominic or Mark if I

misspeak please interrupt me or Mike you were in that meeting as well. There is a push in this town to lower the speed limits in a lot of areas but the law would dictate that we just can't decide in an arbitrary fashion that we want to lower the speed limit on road X, Y or Z. There are things in the works right now to do some traffic studies and look at roads within the town. With that thought in mind, just that thought in the interest of lowering the speed limits, I don't want to go too far with it because it's not directly germane to this application but that's in the works. Is that right?

MR. CORDISCO: That's correct but it involves without getting into much detail it involves not only conducting a traffic study but also requires where the state DOT is involved, petition the state DOT supported by a traffic study calling for a reduction in speed so it's not--

MR. ARGENIO: Lot of other things when we change the speed limit of a road it's more than somebody just saying there's a dozen accidents, let's bang the gavel and we'll lower the speed limit. That's in the works for a lot of roads around the town, one of which Mr. Steidle lives on, quite frankly, but again, a different issue. Yes, ma'am?

MS. O'DONNELL: Last question, I swear to God. I just realized it when you said that I'm thinking you don't know that these seniors don't have cars or is it that they're not allowed to have cars because if they do how are they gonna egress and, you know, go in and out through 94 or through 32?

MR. ARGENIO: On 32, not 94.

MS. O'DONNELL: But even coming out they have to go next to the plumbing shop, that's going to be a tight squeeze because getting out of the Rite-Aid now.

MR. ARGENIO: That's the lawful access to that piece of property.

MS. O'DONNELL: Okay, just filing all these things.

MR. ARGENIO: Mr. Bedetti?

MR. BEDETTI: Frank Bedetti, Harth Drive, New Windsor. I have a question relative to the response that was made here with the, relative to the firemen and access to the back and the comment that the gentleman, the developer spoke with the district director from the fire companies, do they have to sign off on this or does the fire inspectors within the town sign off on it? And have the fire inspectors of the town fire inspection department actually signed off on this? I mean, the response to the question was who they spoke to, spoke to a director of the fire company. Do they have to sign off on this or does the inspectors department have to sign off?

MR. ARGENIO: I want Mark to answer that.

MR. EDSALL: I was not at the meeting that apparently a commissioner from the Vails Gate fire district gave an official determination that there was no need for the rear driveways but that's what I was advised came about as far as the fire inspector's office goes. The fire inspectors previously approved it and then upon re-review have now reapproved it but there are some corrections that need to be made that I'm fully aware of, Barney Bedetti and I met today to make sure that he brought me up to speed to exactly what had to be shifted, there are minor corrections.

MR. ARGENIO: Which we'll go over after the public hearing tonight.

MR. EDSALL: Yes, it was approved at this time.

MR. ARGENIO: Answer to your question is yes, Mr. Bedetti. Anybody else? Accept a motion to close the public hearing.

MR. SCHLESINGER: So moved.

MR. BROWN: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board close the public hearing on the Mandelbaum application. Roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. SCHEIBLE	AYE
MR. ARGENIO	AYE

MR. ARGENIO: To my fellow board members, we have seen this quite a few times, if anybody has any questions think about them for a little bit. I'm going to read through a couple of procedural things that Mark has commented on cause I want them as part of the record. The storm water pollution protection plan has been revised multiple times at this point, MHE's office takes no exception to the report that's currently on file. We have adopted a negative dec on this. There have been a tremendous amount of revisions done to this site plan, sidewalks, fire access, emergency gates, alignment changes, there have been a tremendous amount of modifications that this plan has been subject to. On the second page of Mark's comments there are a few fairly minor items that I will address. There's a sign issue, Pietrzak & Pfau. This sign is depicted as five foot length running parallel to state highway, I'm not sure what sign is proposed, a traffic sign, a project sign, but the entrance sign detail shown on drawing 7

there are some issues with it. Mark would like the sign to be, Mark and Mike would like it realigned, should be placed as far back in the little designated triangle area as possible, so as not to obstruct sight distance. On the breakaway gate, Mike, do we have a standard in this town? I know we have put these crash gates in before in different areas of the town, Barney's here too, I can ask him the question. Do we have a standard gate that we compel these developers to put in that has a certain kind of lock that the firemen and policemen have access to? I guess that question is to Barney or Mike.

MR. BABCOCK: I guess Barney, probably, I don't know of any standard but Barney may.

MR. EDSALL: It's always a steel swing gate with a chain and lock.

MR. BEDETTI: The actual width of the opening is governed.

MR. ARGENIO: And you tell them what to put in?

MR. BEDETTI: Yes.

MR. ARGENIO: What about the lock?

MR. BEDETTI: Most cases it's a chain and a lock.

MR. EDSALL: Many times the fire department has a standard lock they use on all the gates.

MR. BEDETTI: Most cases it will be a chain where they can just readily cut it off.

MR. ARGENIO: You'll tell them what to put in.

MR. BEDETTI: Yes, only thing governed by state fire code is the actual width from bollard to bollard.

MR. ARGENIO: You guys are okay with that?

MR. MENDELBAUM: Sure.

MR. EDSALL: The issue with the detail on the plan is that I know it's not going to work, they should eliminate that detail, just reference gate to be installed in accordance with fire inspector's field requirements.

MR. ARGENIO: You say things so succinctly.

MR. EDSALL: I've had a lot of practice.

MR. ARGENIO: Do you guys have any questions on this? There's one final thing I want to hit before we, I want to read this comment about the dumpster detail. I'm sure it's a typo, Travis, I'm sure read directly from Mark's comments. I'm sure you meant masonry block enclosure with brick veneer. Your plan shows a 6 foot high brick structure, so this will be masonry with brick veneer, you'll revise that detail to Mark's satisfaction?

MR. EWALD: Absolutely, already have, just waiting for any additional comments.

MR. ARGENIO: Again, nickel dime stuff, concrete slab of dumpster enclosure should be flush with ground elevation, seems to depict, seems above grade on crushed stone, fix the detail. Guys, Neil, do you have any question? We've seen this, Henry, one thing I want to hit and I'm going to try to do it in a briefest fashion that I can do it is these two letters from the county. Old set of comments, new set of comments. The second and most current set of comments seem to indicate that the applicant has conformed their plans to most of the requests of the county. I want to read this one thing for the benefit of you all. This

department county does not feel that the pedestrian facilities along 32 will provide safe enough access which needs to be afforded senior citizens. That's why I went out and measured the sidewalks cause I knew the sidewalks were wide, I don't know how wide, they are in fact seven feet wide and I will also offer this for the benefit of the members, that relative to the comments that the folks in the audience made tonight about pedestrian access, yes, I agree that that whole area is challenging, could be challenging to even the most fit person trying to get across that road but geographically this is a perfect spot for senior citizens. As Mr. Bigg said, there's been a need for housing for senior citizens in this town for a long, long time and they're finally getting the benefit of that but that doesn't mean it should be unsafe. Having said that, I will state two things, the applicant across the street, Mr. Rosenberg, who everybody knows has a very nice facility, it begins at Shop Rite at what road is that, Mike, Forge Hill?

MR. BABCOCK: Temple Hill Road.

MR. ARGENIO: And it runs north to Forge Hill Road, does a beautiful job at that place. He wants to do an application for the former Hollywood Video building and he has assured me, actually did assure me, he asked me, he was thrilled with the fact that the senior citizen housing facility is going in, this is proposed to go into this location. He's offered to pay for the improvements on 32 to help the people cross Route 32. You're aware of this, I think you're aware of this aren't you?

MR. BABCOCK: Yes.

MR. ARGENIO: So that's great and Jeff Rosenberg has been an asset to this town. I don't have to tell anybody, anybody who goes in his plaza, it's first class, first rate, maintained in a first rate fashion.

They plow the sidewalks, clean the place and he's certainly a good example of the type of owner/landlord we want in the Town of New Windsor. I didn't solicit that from him, he offered that to me, Jeff Rosenburg did so he's going to be filing an application for Hollywood Video, part of that will be a crosswalk on Route 32. Second thing I want to hit is this business about the bus shelter. One of the comments that the county also had that the owner and the county digress on a little bit is the presence of or not of a bus shelter on Route 32. I want to share some things for the benefit of the board members, I'm going to use the term I a few times because Mike did some research on this and I also did some research over the past week and a half because we want to come to the table with factual information. We don't want to highhandedly suggest to the members well, we think we don't need a bus shelter, we think we do, well, why do we need it, why don't we need it. The first thing the bus shelters are a nuisance around town in my opinion, that's the general consensus, they fall into a lack of maintenance, the leaks and windows in them they fade, they become yellow, they're a source of mischief, they get graffiti on them, they're problematic. This is my personal opinion, don't want our town littered with bus shelters, I don't like them. But again everybody here has their own opinion. Now, this is senior housing and there's been parking compromises here so there's going to be some bus traffic. Now Mike has done a lot of research. Briefly for the benefit of the members, can you share with us what you've discovered about the different bus lines that we have in New Windsor?

MR. BABCOCK: We have our own Dial-A-Bus Cornwall, New Windsor Dial-A-Bus, a bus that picks them up at their house.

MR. ARGENIO: Or at the vestibule of this building.

MR. BABCOCK: They call the day before I think it is.

MR. ARGENIO: Costs a dollar.

MR. BABCOCK: Sixty and over is 50 cents, there's some different rates and will take them pretty much in New Windsor Cornwall and the City of Newburgh for doctors' appointments, whatever. There also is a Leprechan Bus that's a local bus and they have two different ones, basically the same as the Dial-A-Bus, they call the day before, make the appointment, I think they're \$1.50 or 1.75 they come to your, right to the lobby, pick them up, small bus.

MR. ARGENIO: Right to the lobby of the building.

MR. BABCOCK: Eighteen passenger mini buses like we have here. And then there's another bus that goes through, basically makes a loop up 32 up 300 around back down 94, it makes stops at K-Mart, at Shop Rite, Price Chopper, Hannafords probably, I'm not sure of all the stops, that's a bus that probably wouldn't be used by these seniors. It's a bus that comes out of the Newburgh or wherever it goes and goes back through. So my research has shown that the buses that go right to the lobby would be much better choice for this in my mind than having a bus shelter somewhere for these people to try to hide in and wait for a bus. So that was my opinion.

MR. ARGENIO: I don't like the bus shelters, I don't like them. The only other thing and I'm going to suggest this and you guys can decide on it and, you know, I really can go either way on this quite frankly, the only other thing that I was thinking was these bus shelters are worth probably three or four thousand dollars installed, they're not very expensive, if you guys think it's necessary and I'm really on the fence about it, I really am on the fence, what I was thinking is maybe we want to request of the applicant that we don't require them to put the bus shelter in but that

we do require is for him to put a bond up in the amount of, pick a number, \$3,500 or \$4,000. I discussed this with Mark Edsall, he doesn't feel they're worth more than \$4,000, that way we'll have a bond in place so if I'm wrong, if we're wrong and the seniors they want this shelter we'll we have the means to request of the owner look, you need to put this shelter up. But if in the first 365 days from granting of a C.O. the Dial-A-Bus works fine, well, the Dial-A-Bus works fine, take your bond back and do whatever it is you do. Those are my two choices. Go ahead.

MR. SCHLESINGER: I don't understand where the issue with the shelter is arising. I mean, if you're having bus service which in essence is almost like a taxi service where somebody's coming to pick you up and you're making an appointment then I don't understand what the issue of the--

MR. ARGENIO: The only issue is this the Dial-A-Bus there's one bus service and I don't remember which one it is, the Newburgh Dial-A-Bus or something that goes to the Town of Newburgh where the Dial-A-Buss don't go to the Town of Newburgh, that's the only issue about--it's astute of you to say that cause that's exactly what I said, I don't understand what the issue was. That's the only issue.

MR. SCHLESINGER: I have another question and I know this is, I thought I knew the area like the back of my hand but I don't remember from the two banks on 32 by the car wash.

MR. SCHEIBLE: Old Temple Hill Road.

MR. SCHLESINGER: Going north to Newburgh to the end of the shopping center is there a light between there?

MR. BABCOCK: No.

MR. ARGENIO: There's a sidewalk on both sides.

MR. SCHLESINGER: Both ends there's a light. So my issue is is that whoever the owner of the shopping center is has graciously suggested that he will put in crosswalks and everything, how do people get across from one side to the other?

MR. ARGENIO: What's going to drive this to a great extent is what the DOT is going to allow them to put on 32 and we don't control that, the DOT controls it.

MR. SCHLESINGER: My next issue was it's out of our hands but to me that's the answer.

MR. SCHEIBLE: Nice to see something like when you walk up to a light you push a button.

MR. SCHLESINGER: Yeah, I'd hate to see somebody in a crosswalk with a walker trying to get across the street, doesn't make sense.

MR. ARGENIO: It's their highway and--

MR. SCHLESINGER: I understand.

MR. BABCOCK: One thing I'd like to say is the applicant in discussion about the whole plan the applicant had said that he would make the application to DOT for this crosswalk.

MR. ARGENIO: I should of said that.

MR. MANDELBAUM: We'd be happy to do the design work for Mr. Rosenberg.

MR. ARGENIO: You did tell me that, Mr. Mendelbaum, and I forgot to mention that so we do have cooperation on both sides from the owner across the street and the application.

MR. MANDELBAUM: We'll do the design work on his behalf at no cost to him at all.

MR. ARGENIO: Howard, thoughts about the bus shelter?

MR. BROWN: I don't think we need one.

MR. GALLAGHER: Who's making a request?

MR. ARGENIO: The county, you know how I feel about that.

MR. GALLAGHER: I don't think so.

MR. SCHEIBLE: No, with all the discussion on the buses and whatnot I think we're fulfilling all the needs with the buses. And like you said if they have a vestibule to wait in this building so they don't have to go into the weather and sit there, these bus stations in the wintertime, they're, it's terrible.

MR. ARGENIO: I agree, Mr. Mendelbaum, there will be a designated area in the lobby for this bus pickup that we're speaking of?

MR. MANDELBAUM: Not only in the lobby, you have sitting areas in the lobby plus we have a canopy as you're coming out the building.

MR. ARGENIO: They're being loaded on the bus out of the inclement weather.

MR. MANDELBAUM: Right, the canopy comes all the way to the parking lot with benches so if it's spring or summer they'll sit outside. Let me add something from my experience in all these locations I never seen once anywhere where actually the seniors went to a regular, even in Goshen, which is only about 500 feet away, they never use it, it's nothing but a hang out for kids.

MR. ARGENIO: Mr. Mendelbaum, you're preaching to the choir, I told you guys how I felt about it, I was trying to come up with an alternate solution in case somebody's mom uses the bus shelter down in Queens somewhere five days a week and they're insistent upon it, I was trying to be a little creative. I don't have anything else, you guys have some questions, certainly ask them. I think I covered everything, we've seen this time and time again, Edsall's gone through this with a fine tooth comb.

MR. EDSALL: Can we get fire inspector's couple corrections on record?

MR. ARGENIO: Yes, there were as Mr. Bedetti mentioned earlier this does have approval of the necessary fire district, I don't know if it is the county or Vails Gate whoever needs to approve this has approved it but there are three corrections that were supposed to be done to the plans that have not been done and I'd like you to read them in as part of the minutes, Mark.

MR. BABCOCK: They were just given to the applicant tonight, Mr. Chairman, and he's agreed with all of them.

MR. EDSALL: Just so the record is complete the fire department connection exits onto the south end of both buildings have to be relocated, the fire hydrants incoming.

MR. ARGENIO: To where?

MR. EDSALL: I have the detailed locations marked down but I will review it just as long as we know they have to be relocated. The two hydrants on the site have to be relocated, shifted a bit and the dead-end, fire apparatus all the way in on the drive has to have the radius on both incoming sides at least 28 foot radius

so it matches Appendix D of the fire apparatus access road section of the State Code. I have worked with Barney on that, we'll make sure it's what's needed.

MR. ARGENIO: Okay, somebody take it over the wire if there's any other discussions, I'll accept a motion for final unless anybody has any further comments.

MR. SCHLESINGER: Make a motion for final approval on the Mandelbaum senior housing, New Windsor Senior Housing subject to the comments that you'll read in.

MR. BROWN: Second it.

MR. ARGENIO: Motion has been made and seconded that that we vote final approval for New Windsor Senior Housing.

MR. CORDISCO: The written resolution requires that they make changes that have been discussed here tonight, so if you feel more comfortable just adopting the written resolution that I prepared that it is addressed rather than having to spell out additional--

MR. ARGENIO: I would feel very comfortable with that so the motion's made and seconded to offer final approval to this application and the subject-tos will be part of your resolution. Is that correct?

MR. CORDISCO: They already are.

MR. ARGENIO: I'll have a roll call, if there's no further discussion.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. SCHEIBLE	AYE

January 16, 2008

31

MR. ARGENIO AYE

MR. MANDELBAUM: I'd like to thank the board for working with the project and your engineer especially with Mike, I've been with Mike many, many times to get this to this point, I really want to thank you guys for working with us.

MR. ARGENIO: You guys are very responsive and, you know, I think that helps too. It's, you have to be responsive, you can't let things sit for weeks and weeks and weeks, revise it, get with Mark, get things finalized and good luck with your project, sir.

MR. MANDELBAUM: Thank you very much.



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WARWICK PROPERTIES SENIOR CITIZEN HOUSING SITE PLAN
(TOTALLY AFFORDABLE PROJECT PER 300-18 and 300-18A)
PROJECT LOCATION: OFF NYS ROUTE 32
SECTION 46 – BLOCK 1 – LOT 46
PROJECT NUMBER: 07-01
DATE: 16 JANUARY 2008
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF NINETY-SIX (96) 1-BEDROOM SENIOR CITIZEN HOUSING UNITS ON THE 4.1+ ACRE PARCEL. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 24 JANUARY 2007, 12 SEPTEMBER 2007 AND 14 NOVEMBER 2007 PLANNING BOARD MEETINGS. *THE APPLICATION IS BEFORE THE BOARD FOR A PUBLIC HEARING AT THIS MEETING.*

1. The application was successful in obtaining the necessary variances from the ZBA. The plans have been updated to address my prior comments. Note the following status regarding the project:

SWPPP – revised to address our previous comments. We take no exception to the report currently on file.

SEORA – Negative Declaration was already adopted by the Planning Board.

Special Permit – Issued by Town Board.

Orange County Department of Planning – Referred to OCDP. Review comments were received from OCDP dated 12-13-07, with a revised comment sheet received on 1-10-08.

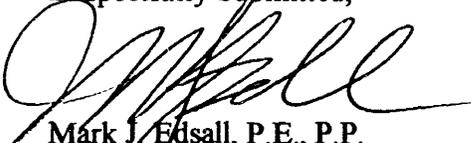
Revisions to Site Plans – plans have been revised. Only minor corrections needed (see next numbered comment). Any revisions required to address OCDP must also be included.

REGIONAL OFFICES

• 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

2. The following revisions are needed to the final plans submitted for stamp of approval:
- **“Proposed Sign” on Drawing 1 adjacent to Route 32** – this sign is depicted as 5’ length running parallel to state highway. I am not sure what sign is proposed (traffic sign, project sign, or what), but if it is the entrance sign detail shown on drawing 7, there are some issues:
 - Wouldn’t you want it perpendicular to the highway so you can read it when driving down Route 32 ?
 - The sign should be placed as far back in the little triangle area as possible so as not to obstruct sight distance.
 - If the sign depicted on Sheet 1 is the project sign, it should be so identified.
 - **Break Away Gate** – I am not sure the detail shown on Detail Sheet 2 is realistic or will be acceptable to the Fire Inspectors or Fire Department. I doubt the plastic links will ever hold up. I suggest you add a note on Sheet 1 indicating the detail of the “Break Away Gate” will be as per a field determination by the Fire Inspector and Fire Department, and delete the detail. My belief is that a lockable swing gate (chain with lock) is what will be appropriate.
 - **Lighting Plan (Sheet 6)** – two questions:
 - there are three lighting patterns on the plan, but only two identified (what are the two rectangular patterns on the north of the parking area of the north building).
 - Do the Alaskan box fixtures really have a circular lighting pattern?
 - **Dumpster Enclosure Detail** – some corrections:
 - I am sure you meant masonry block enclosure with brick veneer. (plan shows 6’ high brick only).
 - Remove reference to “option” for brick on elevation.
 - Concrete slab of dumpster enclosure should be flush with ground. Elevation seems to depict it sits above grade on crushed stone. Fix detail.
3. The Planning Board should determine if a Maintenance Bond will be required for this Site Plan to guarantee the proper condition of the landscaping and other key site improvements of the site. If so required, the term of the bond shall be three years from the date of the Certificate of Occupancy of the completed site (as per Code Section 300-86 C-11).
4. The Planning Board should require that a bond estimate be submitted for the key site improvements of this Site Plan in accordance with Chapter 137 of the Town Code. Applicants are advised that a list of acceptable unit prices is available from the Engineer for the Planning Board.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

✓Paid To	Chet Rec#	Rcpts	General Diabs	Fees	Bld Inv#	Trust Activity			
						Acc	Rcpts	Diabs	Balance
REFERENCE W/ M -01									
0.50 Hrs X 175.00				87.50	6010				
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ents DRAKE LOEB HELLER KENNEDY GOGERTY GABA & RODD PLLC
Yes

Date	Received From/Paid To	Che#	General	Bld	Trust Activity			
Entry #	Explanation	Rec#	Diabs	Inv#	Acc	Rpts	Diabs	Balance
	Entries Shown - Time or Fees		Yes					
	Entries Shown - Trust		Yes					
	Incl. Matters with Retainer Bal		No					
	Incl. Matters with Neg Unbld Disb		No					
	Trust Account		All					
	Working Lawyer		All					
	Include Corrected Entries		No					
	Show Check # on Paid Payables		No					
	Show Client Address		No					
	Consolidate Payments		No					
	Show Trust Summary by Account		No					
	Printed from		Register					

Date	Entry #	Received From/Paid To Explanation	Che# Ref	Ropts	General Disbs	Fees	Bld		Trust Activity		Balance
							Inv#	Acc	Ropts	Disbs	
12132	TOWN OF NEW WINDSOR										
6085904		NEW WINDSOR SENIOR HOUSING- MANDELBAUM/SORBEL									Resp Lawyer: JRL
Jan 24/2007	48266	Lawyer: DRC 0.50 Hrs X 175.00 REVIEW NEW APPLICATION MATERIALS AND M EDSALL'S COMMENTS PB# 07-01				87.50	2615				
Jan 24/2007	48280	Lawyer: DRC 0.40 Hrs X 175.00 ATTEND PLANNING BOARD MEETING PB# 07-01				70.00	2615				
Feb 13/2007	51825	Billing on Invoice 2615 FEES 157.50			0.00		2615				
Mar 2/2007	55834	Town of New Windsor PMT - PAYMENT ON ACCOUNT	025503	157.50							
Jul 10/2007	81178	Lawyer: DRC 0.50 Hrs X 175.00 AGGREGATE TIME SPENT RESEARCHING THE SENIOR HOUSING LAW AND SEQRA; PREPARE EMAIL MEMO RE SAME PB# 07-01				87.50	4372				
Jul 10/2007	81181	Lawyer: DRC 0.20 Hrs X 175.00 TELEPHONE CONFERENCE W/ CHAIRMAN ARGENTIO PB# 07-01				35.00	4372				
Jul 11/2007	81275	Lawyer: DRC 0.20 Hrs X 175.00 REVIEW MEMO FROM M EDSALL PB# 07-01				35.00	4372				
Jul 13/2007	81876	Lawyer: DRC 0.30 Hrs X 175.00 RESEARCH SENIOR HOUSING SPECIAL PERMIT AND SEQRA PB# 07-01				52.50	4372				
Jul 24/2007	83425	Lawyer: DRC 0.40 Hrs X 175.00 PREPARE FOR MEETING; REVIEW FILE AND SENIOR HOUSING LAW PB# 07-01				70.00	4372				
Jul 24/2007	83426	Lawyer: DRC 1.00 Hrs X 175.00 ATTEND MEETING WITH M EDSALL TO REVIEW PLANS AND PROCEDURE PB#07-01				175.00	4372				
Jul 24/2007	83427	Lawyer: DRC 1.40 Hrs X 175.00 AGGREGATE TIME SPENT PREPARING THE PLANNING BOARD AND TOWN BOARD RESOLUTIONS				245.00	4372				
Jul 25/2007	84137	Lawyer: DRC 0.20 Hrs X 175.00 ATTEND PLANNING BOARD MEETING PB# 07-01				35.00	4372				
Aug 7/2007	86278	Lawyer: DRC 0.10 Hrs X 175.00 REVIEW LETTER FROM M BLYTHE ENCLOSING THE TOWN BOARD RESOLUTION PB# 07-01				17.50	4642				
Aug 13/2007	87066	Billing on Invoice 4372 FEES 735.00			0.00		4372				
Sep 10/2007	91922	Billing on Invoice 4642 FEES 17.50			0.00		4642				
Sep 12/2007	93760	Lawyer: DRC 0.20 Hrs X 175.00 REVIEW M EDSALL'S COMMENTS PB# 07-01				35.00	4998				
Sep 12/2007	93761	Lawyer: DRC 0.30 Hrs X 175.00 REVIEW FILE PB# 07-01				52.50	4998				
Sep 12/2007	93762	Lawyer: DRC 0.20 Hrs X 175.00 ATTEND PLANNING BOARD MEETING PB# 07-01				35.00	4998				
Sep 17/2007	93036	TOWN OF NEW WINDSOR PMT - PAYMENT ON ACCOUNT	011357	735.00							
Oct 1/2007	95817	TOWN OF NEW WINDSOR PMT - PAYMENT ON ACCOUNT	011494	17.50							
Oct 9/2007	98067	Lawyer: DRC 0.10 Hrs X 175.00 TELEPHONE CONFERENCE W/ M BLYTHE PB# 07-01				17.50	5317				
Oct 9/2007	98068	Lawyer: DRC 0.20 Hrs X 175.00 REVIEW FILE PB# 07-01				35.00	5317				
Oct 9/2007	98069	Lawyer: DRC 0.50 Hrs X 175.00 LETTER TO M BLYTHE RE STATUS PB# 07-01				87.50	5317				
Oct 12/2007	99049	Lawyer: DRC 0.20 Hrs X 175.00 AGGREGATE TIME SPENT FOR VARIOUS EMAILS				35.00	5317				
Oct 16/2007	99190	Billing on Invoice 4998 FEES 122.50			0.00		4998				
Oct 19/2007	100205	Lawyer: DRC 0.20 Hrs X 175.00 REVIEW ZBA REFERRAL PB# 07-01				35.00	5317				
Oct 26/2007	101682	TOWN OF NEW WINDSOR PMT - PAYMENT ON ACCOUNT	011734	122.50							
Nov 9/2007	105115	Lawyer: DRC 0.30 Hrs X 175.00 REVIEW M EDSALL'S COMMENTS PB# 07-01				52.50	5639				
Nov 14/2007	105484	Lawyer: DRC 0.50 Hrs X 175.00 ATTEND PLANNING BOARD MEETING PB# 07-01				87.50	5639				
Nov 15/2007	105412	Billing on Invoice 5317 FEES 210.00			0.00		5317				
Nov 30/2007	108138	TOWN OF NEW WINDSOR PMT - PAYMENT ON ACCOUNT	012912	210.00							
Dec 12/2007		Lawyer: DRC 0.20 Hrs X 175.00				35.00	6010				

Project Name: NEW WINDSOR SENIORS Municipality: NEW WINDSOR
 Planning Board No.: NWPB 07-01 Date: 4/8/2008

**PRIVATE IMPROVEMENT
 AND SITE PLAN UNIT PRICES
 (Updated August 2007)**

<u>Description</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Qty</u>	<u>Total Cost</u>
<u>Roadway and Parking Lot</u>				
Erosion Control	AC	\$ 2,000.00	3	\$ 6,000.00
Silt Fencing	LF	\$ 1.12	1000	\$ 1,120.00
Grading	SY	\$ 2.18	14520	\$ 31,653.60
Paving & Base (regular construction)	SY	\$ 20.00	3600	\$ 72,000.00
Paving & Base (heavy-duty construction)	SY	\$ 26.00		\$ -
Tack Coat	SY	\$ 0.50	3600	\$ 1,800.00
Overlay Existing Pavement (1.5")	SY	\$ 6.50		\$ -
Double Surface Treatment	SY	\$ 6.00		\$ -
Private Road (traveled way only)	SY	\$ 12.00		\$ -
Private Road (complete - swales etc)	LF	\$ 35.00		\$ -
Topsoil & Seeding	SY	\$ 6.00	4840	\$ 29,040.00
Street Signs (Traffic Control)	EA	\$ 250.00	2	\$ 500.00
Parking Space Striping	EA	\$ 10.30	66	\$ 679.80
Handicap symbol	EA	\$ 54.00	4	\$ 216.00
Parking & Lane Striping	LF	\$ 0.50		\$ -
Painted Striped Island	EA	\$ 40.00	3	\$ 120.00
Site Plan Stop Bar	EA	\$ 85.00		\$ -
Handicapped Sign & Striping	EA	\$ 225.00	4	\$ 900.00
Traffic Control Sign	EA	\$ 225.00	2	\$ 450.00
Concrete Curbing	LF	\$ 18.00	1150	\$ 20,700.00
Concrete Sidewalk	SY	\$ 40.00	1020	\$ 40,800.00
Timber Curbing	LF	\$ 13.00		\$ -
Curb (Precast) Bumpers	EA	\$ 75.00		\$ -
Shale Parking (Overflow) Area	SY	\$ 9.00		\$ -
Guiderail	LF	\$ 40.00		\$ -
<u>Drainage</u>				
Catch Basin	EA	\$ 2,700.00	6	\$ 16,200.00
Connection to Existing Catch Basin	EA	\$ 500.00		\$ -
Stormwater Pipe (15") HDPE	LF	\$ 30.00		\$ -
Stormwater Pipe (18") HDPE	LF	\$ 40.00	336	\$ 13,440.00
Stormwater Pipe (24") HDPE	LF	\$ 45.00	20	\$ 900.00
Stormwater Pipe (30") HDPE	LF	\$ 58.00		\$ -
Stormwater Pipe (36") HDPE	LF	\$ 76.00		\$ -
Stormwater Pipe (48") HDPE	LF	\$ 108.00		\$ -
End Section	EA	\$ 400.00	2	\$ 800.00
Stormwater Pipe (15") RCP	LF	\$ 37.00		\$ -
Stormwater Pipe (18") RCP	LF	\$ 43.00		\$ -
Stormwater Pipe (24") RCP	LF	\$ 63.00		\$ -
Stormwater Pipe (30") RCP	LF	\$ 87.00		\$ -
Stormwater Pipe (36") RCP	LF	\$ 114.00		\$ -
Stormwater Pipe (48") RCP	LF	\$ 178.00		\$ -

Inspection fee: \$9,224.11

APPROVED

By Mark 4/9/08
e-mail

Stormwater Pipe (15") CMP	LF	\$ 40.00	\$	-
Stormwater Pipe (18") CMP	LF	\$ 46.00	\$	-
Stormwater Pipe (24") CMP	LF	\$ 56.50	\$	-
Stormwater Pipe (30") CMP	LF	\$ 79.50	\$	-
Stormwater Pipe (36") CMP	LF	\$ 103.00	\$	-
Stormwater Pipe (48") CMP	LF	\$ 144.00	\$	-
Concrete Headwall	EA	\$ 4,000.00	\$	-
Rip Rap Drainage Channel	LF	\$ 16.00	100 \$	1,600.00
Non-lined Drainage Channel	LF	\$ 5.00	\$	-

Utilities

Watermain (8")	LF	\$ 50.00	700 \$	35,000.00
Gate Valve (8")	EA	\$ 1,000.00	1 \$	1,000.00
Tapping Sleeve and Valve (8")	EA	\$ 2,200.00	1 \$	2,200.00
Watermain (12")	LF	\$ 65.00	\$	-
Gate Valve (12")	EA	\$ 2,250.00	\$	-
Hydrant Assembly	EA	\$ 2,700.00	2 \$	5,400.00
Sewer Main (8")	LF	\$ 35.00	424 \$	14,840.00
Sewer Main (12")	LF	\$ 45.00	\$	-
Sewer Manholes	EA	\$ 2,300.00	4 \$	9,200.00
Septic Tank	EA	\$ 2,600.00	\$	-

Utility Trench (elec, phone, cable)	LF	\$ 10.00	530 \$	5,300.00
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Misc.

Landscaping Trees	EA	\$ 250.00	51 \$	12,750.00
Landscaping Shrubs	EA	\$ 36.00	44 \$	1,584.00
Mulched surface	SY	\$ 3.00	5443 \$	16,329.00
Chain link fence (4' black vinyl coated)	LF	\$ 20.00	\$	-
Split Rail Fence	LF	\$ 16.00	\$	-
Short Masonry Landscape Walls	LF	\$ 20.00	\$	-
Retaining Walls (modular) 4' height	LF	\$ 80.00	\$	-
Lamppost	EA	\$ 1,500.00	7 \$	10,500.00
Building Mtd. Light	EA	\$ 500.00	18 \$	9,000.00

Waste Enclosure (small)	EA	\$ 800.00	\$	-
Dumpster Enclosure (masonry/concrete)	EA	\$ 5,000.00	1 \$	5,000.00

Clear and Grub	AC	\$ 6,000.00	3 \$	18,000.00
Rock Excavation	CY	\$ 85.00	\$	-
Excavation	CY	\$ 12.00	\$	-
Erosion Control Matting	SY	1.75	76 \$	133.00
Bollards (Concrete filled)	EA	450	\$	-

Other

6'X15'X42' CONCRETE BOX CULVERT	LF	\$ 1,800.00	\$ 42.00	\$ 75,600.00
OFF SITE CROSS WALK	EA	250	\$ 1.00	\$ 250.00
SIDE WALK RAMP	EA	100	\$ 2.00	\$ 200.00
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -

Total \$ 461,205.40

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK: 7- 1

FOR ALL WORK ON FILE:

TASK-NO	REC	DATE	TRAM	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	BILLED	BALANCE
7-1	386217				FD/CR 08-432	FD 02/07/08	1069.40				
7-1	346539	01/02/08	TIME	MJE	MC TC/GA-MANDELBaum STA	124.00	0.30	37.20			
7-1	346532	01/10/08	TIME	MJE	MR MANDELBaum VG SR APP	124.00	1.00	124.00			
7-1	346534	01/10/08	TIME	MJE	MC TC/TRAVIS & JONAH/SR	124.00	0.30	37.20			
7-1	346535	01/10/08	TIME	MJE	MC TC/GA-MANDELBaum APP	124.00	0.30	37.20			
7-1	346536	01/10/08	TIME	MJE	MC REV SR APP ISSUES-DC	124.00	0.30	37.20			
7-1	346533	01/11/08	TIME	MJE	MR MANDELBaum VG SR APP	124.00	0.40	49.60			
7-1	346537	01/11/08	TIME	MJE	MC EBCS TRAVIS P&P-VGSR	124.00	0.30	37.20			
7-1	346538	01/11/08	TIME	MJE	MC EBC GA/MM/TE-OCDF	124.00	0.30	37.20			
7-1	347452	01/14/08	TIME	MJE	MC TC/GA MANDELBaum ISS	124.00	0.30	37.20			
7-1	347489	01/15/08	TIME	MJE	MC TC/GA DISC MANDELBaum	124.00	0.30	37.20			
7-1	347486	01/16/08	TIME	MJE	MM NW SENIOR S/P PE	124.00	0.80	99.20			
7-1	347507	01/16/08	TIME	MJE	MC TC/GA RE MANDELBaum	124.00	0.20	24.80			
7-1	347512	01/16/08	TIME	MJE	MC EBC/TCs AFI BIDETTI	124.00	0.40	49.60			
7-1	347513	01/16/08	TIME	MJE	PM MTG W/AFI BIDETTI	124.00	0.50	62.00			
7-1	351646	01/16/08	TIME	MJE	MM NW Senior COND APFL	124.00	0.10	12.40			
7-1	347531	01/17/08	TIME	MJE	PM MEET W/GA RE MANDELBaum	124.00	0.20	24.80			
7-1	347568	01/17/08	TIME	MJE	MR REV P&P PLAN RE FI	124.00	0.60	74.40			
7-1	349244	01/22/08	TIME	MJE	MR RVM CORRECTION PLANS	124.00	0.60	74.40			
7-1	349245	01/22/08	TIME	MJE	MC EBC P&P:S/P CORRECT	124.00	0.20	24.80			
								917.60			
7-1	352858	02/22/08			BILL 08-535					-520.80	
										-520.80	
7-1	386746				FD/CR 08-535	FD 03/27/08	520.80				
7-1	355495	03/03/08	TIME	MJE	MC P&P:VG SENIOR PROJ	124.00	0.30	37.20			
7-1	359173	04/03/08	TIME	MJE	MC EBC JRS: COST EST	124.00	0.30	37.20			
7-1	360950	04/07/08	TIME	MJE	MC TRAVIS: COST EST	124.00	0.20	24.80			
7-1	360952	04/07/08	TIME	MJE	MC RVM SITE IMPR COST E	124.00	0.60	74.40			
7-1	360956	04/09/08	TIME	MJE	MC TRAVIS: COST EST	124.00	0.20	24.80			
7-1	360958	04/09/08	TIME	MJE	MC MM: NW SENIOR	124.00	0.20	24.80			
7-1	360963	04/10/08	TIME	MJE	MC TRAVIS: COST EST	124.00	0.20	24.80			
								248.00			
7-1	361820	04/17/08			BILL 08-1070					-74.40	
										-74.40	
7-1	387250				FD/CR 08-1070	FD 05/01/08	74.40				
7-1	370155	06/11/08	TIME	MJE	MM Mandlbm 2 x 90 ext	124.00	0.10	12.40			
								12.40			
7-1	368791	06/04/08			BILL 08-1394					-173.60	
										-173.60	
					TASK TOTAL			5272.10	0.00	-5259.70	12.40
					GRAND TOTAL			5272.10	0.00	-5259.70	12.40

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT: NEWWIN - TOWN OF NEW WINDSOR

TASK: 7- 1

FOR ALL WORK ON FILE:

TASK-NO	REC	--DATE--	TRAM	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	-----DOLLARS-----	
									EXP.	BILLED BALANCE
7-1	308277	01/22/07	TIME	MJE	MC VG SENIOR	119.00	0.40	47.60		
7-1	308280	01/22/07	TIME	MJE	MR WARWICK PROP-VG SBR	119.00	0.40	47.60		
7-1	308282	01/23/07	TIME	MJE	MR WARWICK PROP-VG SBR	119.00	0.20	23.80		
7-1	308285	01/24/07	TIME	MJE	PM RVW PROJECT W/GA	119.00	0.20	23.80		
7-1	308287	01/24/07	TIME	MJE	MM V.G. SENIOR S/P	119.00	0.40	47.60		

								190.40		
7-1	309853	02/20/07			BILL 07-584					-190.40

								190.40		
7-1	382747				PD/CR 07-584 PD 03/07/07			190.40		-190.40

7-1	319825	05/18/07	TIME	MJE	MR MANDELBAUM SBR APP	119.00	0.80	95.20		
7-1	319826	05/18/07	TIME	MJE	MC NOTE:MANDELBAUM APP	119.00	0.20	23.80		
7-1	319828	05/18/07	TIME	MJE	MC MS:MANDELBAUM APP	119.00	0.40	47.60		
7-1	319830	05/19/07	TIME	MJE	MC PREP MEMO:MANDELBAUM	119.00	0.50	59.50		
7-1	323547	06/12/07	TIME	MJE	MR MM:MANDELBAUM APP	119.00	0.30	35.70		
7-1	323548	06/13/07	TIME	MJE	MC VG SBR APP ISSUES/MM	119.00	0.40	47.60		
7-1	324100	06/19/07	TIME	MJE	PM MANDELBAUM INTERST MT	119.00	0.30	35.70		
7-1	324815	06/27/07	TIME	MJE	MR REV MANDELBAUM	119.00	0.60	71.40		
7-1	327404	07/10/07	TIME	MJE	MC emcs/DC/MJE re Proc	119.00	0.50	59.50		
7-1	327405	07/13/07	TIME	MJE	MC emc/DC re Mand app	119.00	0.30	35.70		
7-1	326976	07/16/07	TIME	MJE	MC TC:MANDELBAUM SEQRA	119.00	0.40	47.60		
7-1	326978	07/17/07	TIME	MJE	MC COORD MANDELBAUM MTG	119.00	0.20	23.80		
7-1	328193	07/24/07	TIME	MJE	PM MTG:MANDELBAUM SEQRA	119.00	1.00	119.00		
7-1	328195	07/24/07	TIME	MJE	MC MANDELBAUM DRAFT RES	119.00	0.40	47.60		
7-1	327417	07/25/07	TIME	MJE	MM FE REC TO TOWN ED	119.00	0.10	11.90		
7-1	328181	07/25/07	TIME	MJE	MM MANDELBAUM TB REC	119.00	0.30	35.70		
7-1	328187	07/25/07	TIME	MJE	PM MANDELBAUM W/GA	119.00	0.20	23.80		
7-1	329503	08/08/07	TIME	MJE	MC TRAVIS (P&P) :S/P NEXT	119.00	0.30	35.70		
7-1	330424	08/14/07	TIME	MJE	PM MTG&FE OFF:VG SBR	119.00	0.20	23.80		

								880.60		
7-1	329896	08/15/07			BILL 07-2170					-856.80

								856.80		
7-1	384401				PD/CR 07-2170 PD 08/27/07			856.80		-856.80

7-1	332681	08/06/07	TIME	MJE	MC GAG:WARWICK PROP	119.00	0.20	23.80		
7-1	333132	09/10/07	TIME	MJE	MR WARWICK PROP SBR	119.00	0.60	71.40		
7-1	333137	09/11/07	TIME	MJE	MR WARWICK PROP SBR	119.00	0.10	11.90		
7-1	333141	09/11/07	TIME	MJE	PM WARWICK PROP W/GA	119.00	0.20	23.80		
7-1	332848	09/12/07	TIME	MJE	MM Warwick Senior>>EBA	119.00	0.10	11.90		
7-1	333124	09/12/07	TIME	MJE	MM WARWICK PROP	119.00	0.30	35.70		
7-1	333147	09/14/07	TIME	MJE	MC AFI BB:WARWICK	119.00	0.40	47.60		

								226.10		
7-1	334427	09/27/07			BILL 07-2516					-249.90

								249.90		
7-1	384892				PD/CR 07-2516 PD 10/11/07			249.90		-249.90

7-1	335653	10/03/07	TIME	MJE	MC STATUS RVW/EMC	119.00	0.40	47.60		
7-1	336675	10/08/07	TIME	MJE	MC EMC DE:APP ISSUES	119.00	0.30	35.70		
7-1	336673	10/12/07	TIME	MJE	MC STATUS WARWICK PROP	119.00	0.40	47.60		
7-1	337408	10/15/07	TIME	MJE	MR COORD MANDELBAUM MTG	119.00	0.30	35.70		
7-1	337409	10/15/07	TIME	MJE	MR MANDELBAUM ISSUES	119.00	0.30	35.70		

CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

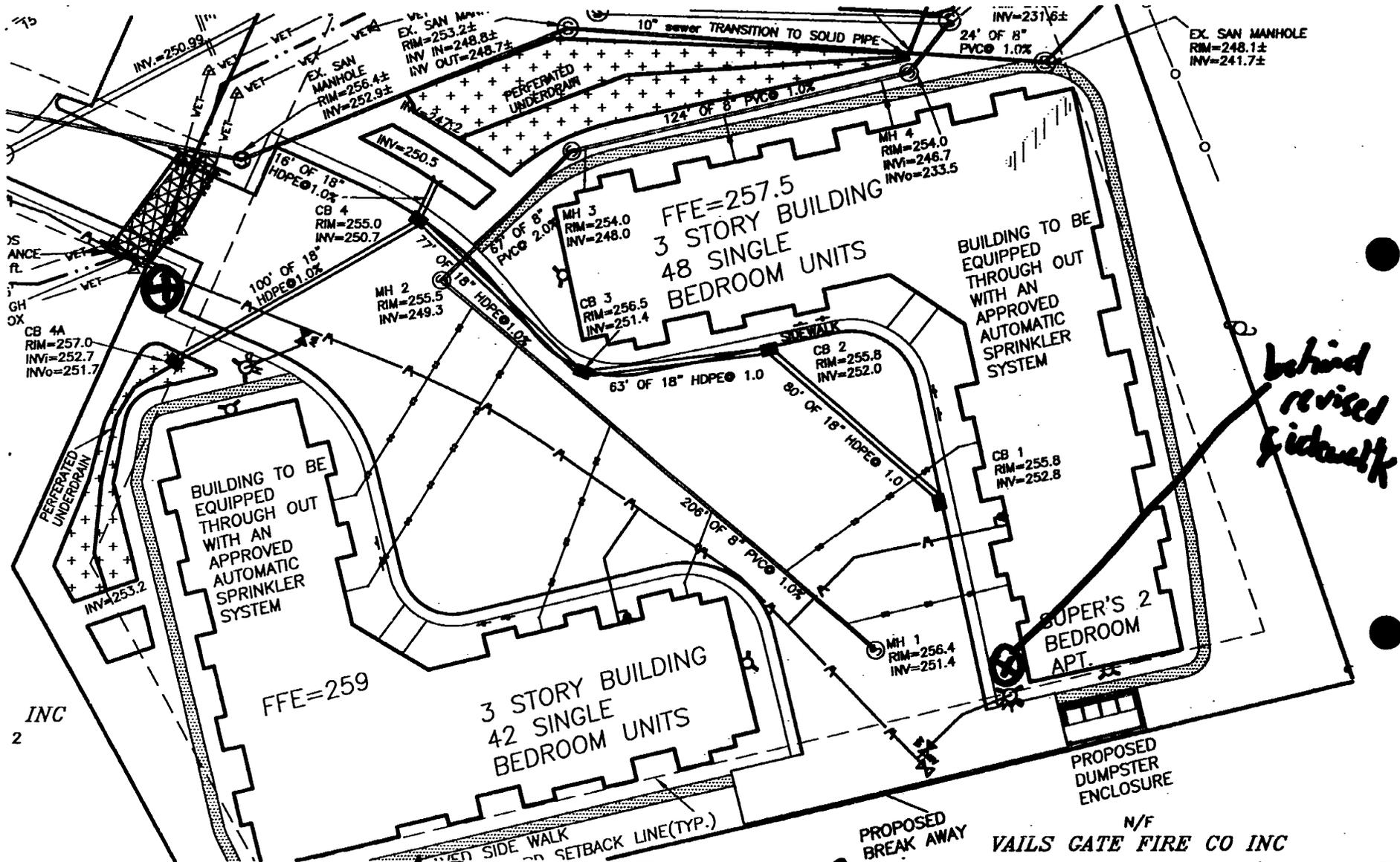
CLIENT: HEWWIN - TOWN OF NEW WINDSOR

TASK: 7- 1

FOR ALL WORK ON FILE:

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION-----	RATE	HRS.	TIME	-----DOLLARS-----		
									EXP.	BILLED	BALANCE
7-1	337411	10/16/07	TIME	MJE	MC MANDELBAUM MTG	119.00	1.00	119.00			
7-1	337413	10/16/07	TIME	MJE	MR WARWICK PROP ISSUES	119.00	0.20	23.80			
7-1	337399	10/19/07	TIME	MJE	MR PLAN RVW & ZBA REF	119.00	1.00	119.00			
7-1	337400	10/19/07	TIME	MJE	MC GA DISC APP ISSUES	119.00	0.40	47.60			
7-1	338472	10/24/07	TIME	MJE	MM MANDELBAUM:REC-ZBA	119.00	0.30	35.70			
7-1	338489	10/24/07	TIME	MJE	MC WARWICK PROP ZBA ISS	119.00	0.30	35.70			
7-1	338479	10/25/07	TIME	MJE	MC WARWICK PROP APP ISS	119.00	0.30	35.70			
7-1	338948	10/25/07	TIME	JRS	MR NW SENIOR APTS	119.00	3.00	357.00			
7-1	338481	10/26/07	TIME	MJE	MC RVW RVSD ZBA REF/MS	119.00	0.50	59.50			
7-1	338887	10/26/07	TIME	CTL	CL NW SMR CITIZEN SWPPP	31.00	0.20	6.20			
7-1	339405	10/29/07	TIME	MJE	MC SENIOR REGS/WARWICK	119.00	0.40	47.60			
7-1	339406	10/30/07	TIME	MJE	MC REV SWPPP STATUS	119.00	0.30	35.70			
7-1	339407	10/30/07	TIME	MJE	MC DISC SWPPP/JRS	119.00	0.30	35.70			
								1160.50			
7-1	338195	10/25/07			BILL 07-2841						-511.70
											-511.70
7-1	385130				PD/CR 07-2841 PD 11/08/07			511.70			
7-1	340345	11/07/07	TIME	MJE	MR WARWICK PROP	119.00	0.80	95.20			
7-1	340346	11/07/07	TIME	MJE	MR WARWICK SWPPP STATUS	119.00	0.20	23.80			
7-1	340323	11/08/07	TIME	MJE	MC WARWICK ISSUES	119.00	0.20	23.80			
7-1	340326	11/08/07	TIME	MJE	AA WARWICK PROP OODP RE	119.00	0.40	47.60			
7-1	340350	11/08/07	TIME	MJE	MR WARWICK PROP	119.00	0.10	11.90			
7-1	340851	11/13/07	TIME	MJE	MC RVW W/GA & FINAL P/O	119.00	0.20	23.80			
7-1	340858	11/14/07	TIME	MJE	MM NW SENIOR	119.00	0.40	47.60			
7-1	340865	11/15/07	TIME	MJE	MC MM:WARWICK SPEC W/S	119.00	0.20	23.80			
7-1	340868	11/15/07	TIME	MJE	MC TCs:WARWICK PROP APP	119.00	0.20	23.80			
7-1	340872	11/16/07	TIME	MJE	MC TCs:WARWICK PROP APP	119.00	0.20	23.80			
7-1	341620	11/20/07	TIME	MJE	MC GAG COMM:WARWICK PRP	119.00	0.30	35.70			
7-1	341622	11/20/07	TIME	MJE	PM MANDELBAUM STATUS	119.00	0.30	35.70			
7-1	342851	11/29/07	TIME	JRS	MR NW SMR APTS SWPPP	119.00	1.00	119.00			
7-1	342856	11/30/07	TIME	JRS	MR NW SMR APTS SWPPP	119.00	1.00	119.00			
								654.50			
7-1	340918	11/19/07			BILL 07-3081						-851.10
											-851.10
7-1	385505				PD/CR 07-3081 PD 12/05/07			851.10			
7-1	343232	12/04/07	TIME	MJE	MC TC/GAG:JONAH	119.00	0.30	35.70			
7-1	343233	12/04/07	TIME	MJE	MC WARWICK W/MS	119.00	0.30	35.70			
7-1	343466	12/04/07	TIME	JRS	MR NW SMR APTS SWPPP	119.00	2.00	238.00			
7-1	344025	12/12/07	TIME	MJE	PM PM WARWICK SMR & MEE	119.00	1.00	119.00			
7-1	344026	12/12/07	TIME	MJE	MC RVW NEG DEC WARWICK SW	119.00	0.40	47.60			
7-1	344028	12/12/07	TIME	MJE	MC DC:WARWICK PROP	119.00	0.20	23.80			
7-1	344386	12/12/07	TIME	JRS	MR NW SENIOR APT SWPPP	119.00	3.00	357.00			
7-1	344980	12/17/07	TIME	JRS	MR NW SENIOR APTS SWPPP	119.00	1.00	119.00			
7-1	345635	12/18/07	TIME	CTL	CL NW SENIOR APT SWPPP	31.00	0.20	6.20			
								982.00			
7-1	344527	12/18/07			BILL 07-3386						-761.60
7-1	346835	12/31/07			BILL 08-432 1/22/08						-1069.40
											-1831.00
7-1	385692				PD/CR 07-3386 PD 01/03/08			761.60			

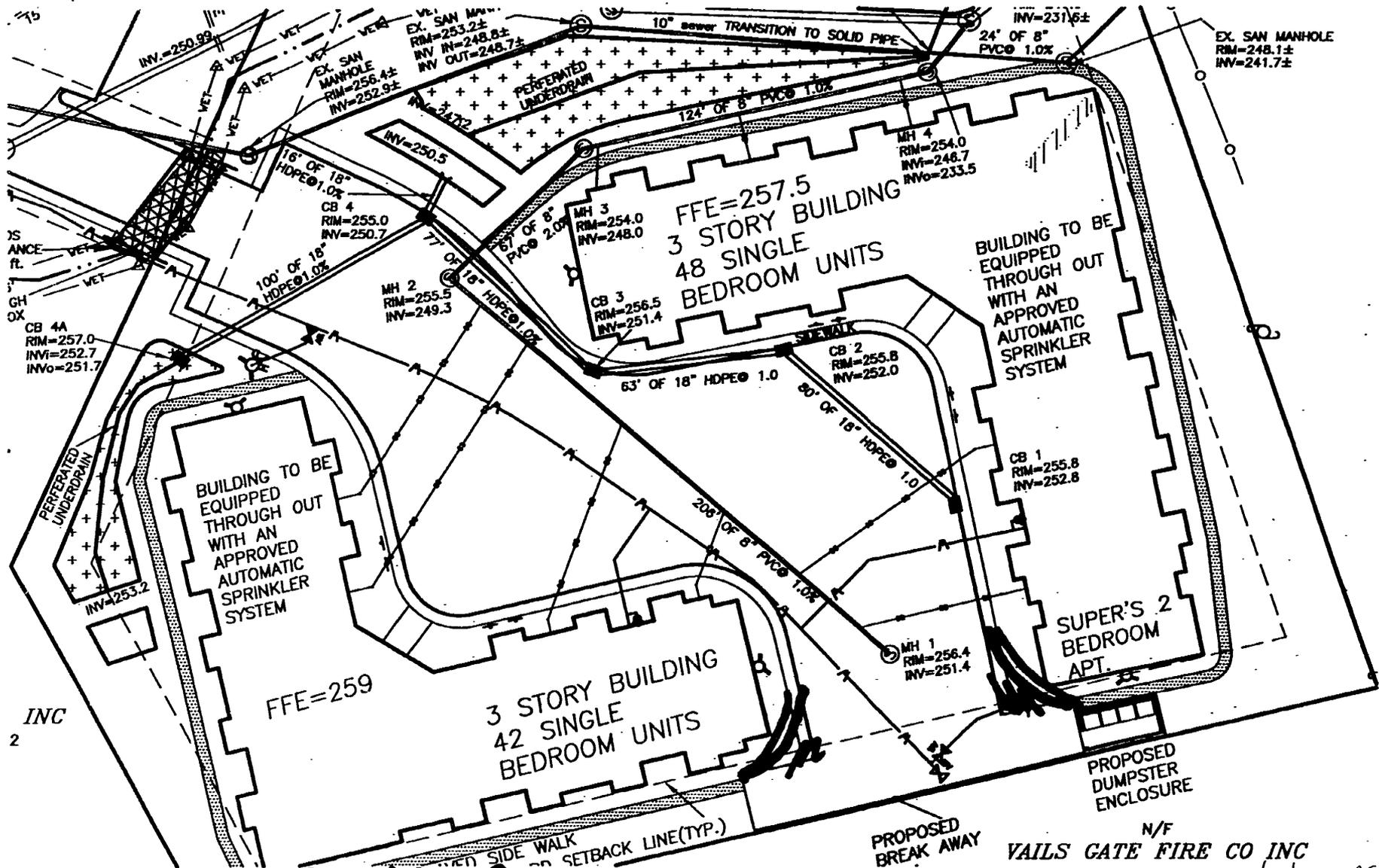
e-mailed from Mark Edsall



HYDRANT LOCATIONS 

behind revised sidewalk

1/17/08 cc: F.I.
P.B. #07-01
N.W. Senior Proj



TURNAROUND RADIUS MUST BE 28+ FT

VAILS GATE FIRE CO INC
 N/F
 1/17/08 cc: F.I.
 P.B. #07-01
 N.W. Senior Proj.

TOWN BOARD REORGANIZATION MEETING
WEDNESDAY, JANUARY 9, 2008; 7:00 P.M.

#47 On Agenda: Motion – Appoint Engineering Firm And Set Fee

Motion by Councilwoman Weyant, seconded by Councilwoman Mullarkey that the Town Board of the Town of New Windsor authorize the adoption of the following resolution:

WHEREAS, the Town of New Windsor requires certain engineering work to be performed, namely:

General Town Engineering Services as outlined in a proposal from McGoey, Hauser and Edsall Consulting Engineers P. C. dated December 27, 2007.

Planning Board Engineering Services as outlined in a proposal from McGoey, Hauser and Edsall Consulting Engineers P. C. dated December 27, 2007.

BE IT RESOLVED, that the Engineering firm of **MCGOEY, HAUSER AND EDSALL CONSULTING ENGINEERS, P.C.**, 33 Airport Center Drive, Suite 202, New Windsor, New York, be retained as Engineers for the Town for the year 2008 and to be compensated according to the proposal dated December 27, 2007, and attached standard fee schedule submitted by the said consulting engineers.

Roll Call: All Ayes

Motion Carried: 5-0

#48 On Agenda: Motion – Adopt Order Calling Public Hearing Increasing Income Limit – Low Income Senior Citizen Exemption

Motion by Councilman Lundstrom, seconded by Councilwoman Biasotti that the Town Board of the Town of New Windsor adopt an Order Calling Public Hearing to be held on February 6, 2008, at 555 Union Avenue, New Windsor, New York at 7:00 o'clock p.m. to amend Section 263 of the Town Code of the Town of New Windsor to increase the income limit for the low income senior citizens exemption.

Roll Call: All Ayes

Motion Carried: 5-0

#49 On Agenda: Motion – Authorize Special Use Permit – New Windsor Senior Housing (PB 07-01)

Motion by Councilwoman Mullarkey, seconded by Councilwoman Weyant that the Town Board of the Town of New Windsor adopt the following Resolution:

WHEREAS, an application was made to the Town Board of the Town of New Windsor for Special Use Permit by Warwick Properties (the "applicant") for a project described as the "New Windsor Senior Housing" development to be located off of New York State Route 32 in Vail's Gate in the Town of New Windsor (the "action"); and

WHEREAS, the subject site consists of 4.1 acres of land and is comprised of one tax map parcel in the Town of New Windsor identified as section 46, block 1, lot 46 (SBL 46-1-46) located near Route 32 in the Town of New Windsor, New York; and

WHEREAS, the action involves a request for a Special Use Permit and site plan approval for ninety (90) one-bedroom housing units to be restricted as totally affordable senior housing, one caretaker's apartment and related site improvements pursuant to Town of New Windsor Town Code Sections 300-18 and 300-18.1; and

WHEREAS, the applicant has also applied to the Planning Board for site plan approval; and

WHEREAS, the proposed development is subject to the Town of New Windsor Zoning Code §300-18(J) setting forth the procedures applicable for Senior Citizen Housing Special Use Permits, and further, subject to New Windsor Zoning Code §300-18.1 regarding totally affordable senior housing developments; and

WHEREAS, on June 28, 2007 the Town Board referred the application to the Planning Board for its consideration and report pursuant to Zoning Law § 300-18(J)(3); and

TOWN BOARD REORGANIZATION MEETING
WEDNESDAY, JANUARY 9, 2008; 7:00 P.M.

WHEREAS, on July 25, 2007 the Planning Board issued its report in response to the Town Board's request, which report found that the proposed location is appropriate for a senior citizen housing development, given its location to nearby businesses in Vail's Gate, and further that there is a need for housing for senior citizens in the Town of New Windsor; and

WHEREAS, the Planning Board declared its intent to serve as lead agency under SEQRA at the July 25, 2007 meeting, and recommended to the Town Board that any decision to issue or deny the Special Use Permit be deferred until the Planning Board completes its SEQRA review; and

WHEREAS, the Planning Board conducted a coordinated SEQRA review, and, on December 16, 2007, adopted a Negative Declaration finding that there would be no significant adverse impacts associated with this action; and

WHEREAS, New York General Municipal Law §239 requires the referral of both the special use permit and site plan applications to the Orange County Planning Department ("OCPD") for its review and comment, which referral was made by letter dated November 8, 2007 and OCPD responded on December 13, 2007 recommending approval subject to certain comments; and

WHEREAS, the proposed site plan required certain variances from the Town of New Windsor Zoning Law, which variances were considered by the Town of New Windsor Zoning Board of Appeals, and which were granted, following a public hearing, by the Zoning Board of Appeals on November 5, 2007; and

WHEREAS, the Town Board now wishes to make certain determinations and grant the Special Use Permit;

NOW, THEREFORE, the Town Board resolves as follows:

1. The Town Board hereby concurs with the Planning Board's SEQRA Negative Declaration for this action;
2. The comments made by OCPD relate to site plan issues and not Special Use Permit issues. The Town Board defers consideration of OCPD's comments to the Planning Board as part of its review of the site plan;
3. The Town Board hereby grants a Special Use Permit to the applicant for an age-restricted senior housing development consisting of ninety (90) one-bedroom housing units to be permanently age-restricted as totally affordable senior housing, one caretaker's apartment and related site improvements pursuant to Town of New Windsor Town Code Sections 300-18 and 300-18.1, which approval is conditioned on the applicant's compliance with the requirements of the Town of New Windsor Town Code and the receipt of site plan approval from the Planning Board.

Roll Call: All Ayes

Motion Carried: 5-0

#50 On Agenda: Motion – Authorize Execution of Lease – Xerox Copier

Motion by Councilwoman Biasotti, seconded by Councilman Lundstrom that the Town Board of the Town of New Windsor authorize Supervisor to execute a sixty (60) month lease (Contract #072171400) with Xerox for copier W564PT for the Town of New Windsor Police Department.

Roll Call: All Ayes

Motion Carried: 5-0

#51 On Agenda: Motion – Authorize Reduction of Performance Bond Middle Earth Major Subdivision

Motion by Councilwoman Weyant, seconded by Councilwoman Mullarkey that the Town Board of the Town of New Windsor authorize reduction of the performance bond for Middle Earth Major Subdivision from \$1,254,430.00 to \$183,147.00 as recommended by McGoey, Hauser and Edsall Consulting Engineers, P.C. via correspondence dated December 17, 2007.

Roll Call: All Ayes

Motion Carried: 5-0



THE SENTINEL

P.O. BOX 406
VAILS GATE, NY 12584

Invoice

Date	Invoice #
1/7/2008	1106

Bill To
TOWN OF NEW WINDSOR 555 UNION AVE NEW WINDSOR, NY 12553

Mura Kason

51868 used PD # 1066.

P.O.No.	Terms	Project
51868		

Issue Date	Description	Rate	Amount
12/28/2007	LEGAL ADS: DOMINICK NISI 07-59 1 AFFIDAVIT	8.69 4.00	8.69 4.00
12/28/2007	LEGAL ADS: NEW WINDSOR SENIOR PROJECT 07-01 1 AFFIDAVIT	7.90 4.00	7.90 4.00
12/28/2007	LEGAL ADS: KATHLEEN FINNERAN 07-58 1 AFFIDAVIT	8.29 4.00	8.29 4.00
12/28/2007	LEGAL ADS: MANGIARACINA SUBDIVISION 05-17 1 AFFIDAVIT	7.90 4.00	7.90 4.00

Total		\$48.78
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LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on JANUARY 16, 2008 at 7:30 P.M. on the approval of the proposed for NEW WINDSOR SENIOR PROJECT (07-01) Located at RT. 32 (Tax Map #Section 65, Block 2, Lot 29). Map of the proposed project is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: DECEMBER 17, 2007

By Order of TOWN OF NEW WINDSOR PLANNING BOARD

State of New York

County of Orange, ss:

Kathleen O'Brien, being duly sworn, disposes and says that she is the Supervisor of the Legal Department of the E.W.

Smith Publishing Company, Inc., Publisher of The Sentinel, a weekly newspaper published and of general circulation in the Town of New Windsor, Town of

Newburgh and City of Newburgh and that the notice of

which is annexed is a true copy was published in said

newspaper 1 times(s) commencing on the 28th day

of December, A.D., 2007 and ending on the

2nd day of December, A.D., 2007.

Kathleen O'Brien

Subscribed and shown to before me this 11th day of

January, 2007-2008

Deborah Green

Notary Public of the State of New York

County of Orange

My commission expires _____

DEBORAH GREEN
Notary Public, State of New York
Qualified in Orange County
#4984065
Commission Expires July 15, 2011

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: Genaro Argenio, Planning Board Chairman

FROM: Francis Bedetti, Asst. Fire Inspector 

SUBJECT: PB-07-01
N.W. Senior Housing
SBL: 65-2-29

DATE: January 16, 2008

Fire prevention Reference Number FPS-08-002

A review of supplied Site Plan is approved as the Site Plan meets the minimum requirements of the Fire Code of New York State, providing:

- 1) Relocate the F.D.C. to the south end of both buildings.
(each building to have 2 F.D.C.)
- 2) Relocate fire hydrants
 - A. 1 at cross walk-north end
 - B. 1 at south west corner of east building
- 3) Dead-End fire apparatus access road turnaround in Accordance to 120' hammerhead.

* Note: However, it is strongly recommended that additional fire apparatus access roads also be provided to the rear of both buildings, in compliance with the Fire Code of new York State, Fire Service Features. Fire apparatus access roads 503.1.2 , as the Site Plan meets the minimum requirements of the Fire Code of New York State.

cc: M.E.
D.C.
1/16/08 Applicant

NEW_WINDSOR_SENIOR_HOUSING_(07-01)

Mr. Joseph Pfau appeared before the board for this proposal.

MR. ARGENIO: This application proposes development of 96 one bedroom senior housing units on 4.1 acre parcel. Application was previously reviewed at the 24 January, 2007 planning board meeting and if I'm not mistaken Mark that was for referral for our recommendation to the Town Board at that time, is that right?

MR. EDSALL: Yes, that was a recommendation back relative to the special use permit. This is now being considered as part of a site plan application and they need Zoning Board of Appeals assistance to move forward.

MR. ARGENIO: Mr. Pfau?

MR. PFAU: Yes, two variances that we're going to be requesting are a density units per acre 18 is the maximum and we're proposing 28 units per acre and we're also seeking relief in our parking requirements.

MR. ARGENIO: Density and parking?

MR. PFAU: That's correct.

MR. BABCOCK: There's possibly a couple other ones also.

MR. ARGENIO: Go ahead, Mike.

MR. BABCOCK: Did you get a copy of this?

MR. PFAU: No, I did not.

MR. EDSALL: The one I want to make sure that Joe checks is relative to the spacing between buildings,

there is under 300-18-H 7)(4) which has provisions for building spacing. I want to make sure if they go to the zoning board they get everything they need. And just suggesting to the applicant that in addition to making the computation corrections that are in my comment so we make sure you get the correct variances you also have to take another walk through 300-18 and 300-18A, make sure there's nothing else you need because I'd hate to see you have to make two trips.

MR. ARGENIO: Let me try to be a little more direct. In your counts, the counts are supposed to be based on net values?

MR. PFAU: Yes, that's correct.

MR. ARGENIO: Are you aware of that?

MR. PFAU: Yes, I am.

MR. ARGENIO: You need to base them on net values and Mark I would trust that who does the referral do you do it or Dominic?

MR. EDSALL: I will do it and if I get confused I get Mike's help.

MR. ARGENIO: Would you check that and make sure that whatever variances they need it's the three as far as I can see, is that correct?

MR. EDSALL: It is.

MR. ARGENIO: That we cover this thing in one fell swoop for the benefit obviously of the applicant and us, I mean, it needs to be done correctly the first time.

MR. EDSALL: Yes but they do the math, I do the referral, the best of my review I think their math

September 12, 2007

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needs correction on both the net area calculation which affects the densities and they have to look at the parking and they have to make sure they count the caretaker apartment as a unit. That's the way the law reads, that's so far all I found. I also want you to check the spacing of buildings, make sure I haven't been able to find any other variances that are needed as long as Joe can confirm that I'm not missing anything I think we have a complete package.

MR. ARGENIO: They can check that then.

MR. EDSALL: Yes, I checked the plan already, that's the best I can figure at this point.

MR. ARGENIO: And again as I mentioned earlier at this point in time there's really not a need for us to get into a detailed review. Joe, I'm sure you're aware of disapproval from fire, I hope you're working on that.

MR. PFAU: Yes.

MR. ARGENIO: It would be good to get that resolved so the review by the planning board is done concurrently with the review by the zoning board. So if you can get your plans cleaned up, get the appropriate variances listed on the front of the plan, get them to Mark, get them submitted, he'll schedule you more for a workshop. You can do that?

MR. EDSALL: Yes.

MR. ARGENIO: Schedule you for a workshop and the process will continue.

MR. VAN LEEUWEN: I'd like to make a motion to send this to the ZBA with a positive note that this is very important to the people of, the senior citizens of New Windsor that need and they deserve a break.

MR. ARGENIO: I'm in agreement with that. If you remember we did have a discussion on the record about this project prior to making our recommendation to the Town Board and the spin at that time was positive. I don't see any reason that that should of changed.

MR. CORDISCO: You already issued a written recommendation in favor of this senior housing project at this location, the easiest thing would be to include a written copy of that to the ZBA.

MR. ARGENIO: Works for me.

MR. EDSALL: I'll make a note to add that to the referral.

MR. ARGENIO: This is certainly a good location for this type of, a good use for this location.

MR. CORDISCO: That also if I may will explain where they are in the process so the ZBA understands that.

MR. ARGENIO: I have a motion that we declare this application incomplete at this time.

MR. GALLAGHER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board declare this application incomplete at this time which refers you Mr. Pfau to the zoning board. I hope you'll be successful there in getting the variances you need because the seniors in this town do need a place to live. I'll have a roll call.

ROLL CALL

MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

September 12, 2007

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MR. ARGENIO: You'll contact Myra, you know the routine I guess, right?

MR. PFAU: Thank you very much.

DISCUSSION

NEW_WINDSOR_SENIOR_HOUSING

MR. ARGENIO: There's one discussion item that came up very recently, as recently as today and Mark is going to address that for the benefit of the members, if you would, Mr. Edsall.

MR. EDSALL: Yes, the New Windsor Senior Housing project, Warwick properties, the one in Vails Gate application 07-01 Mandelbaum, that application is still before the board, still under review. One procedural item that the board was hesitant to move forward on because of some open items such as drainage and storm water and such impacts was the negative dec, that negative dec is a necessary step for the Town Board to move forward for their permit so their board can move forward.

MR. ARGENIO: We couldn't do the negative dec because they hadn't finished drainage and SWPPP.

MR. EDSALL: They had submitted reports but we had--

MR. ARGENIO: They were poorly put together.

MR. EDSALL: I'll accept whatever way you characterize them but they weren't right. In any case, the applicant has been working with our office and has made a couple revisions, at this point, I feel comfortable that the SWPPP that's prepared is responsive to all our comments and is in conformance with the state guidelines. The other issue of the storm water with the box culvert capacity was a sticking issue that we had significant objection to, their proposed box culvert had significantly less capacity than the upstream culverts which they'd only be hurting themselves because they would end up looking like the news stories with flooded houses.

MR. ARGENIO: They'd need flippers, masks and snorkels for the seniors.

MR. EDSALL: We explained where there was a problem, they have reworked their calculations so that's been addressed. I think at this point those being the issues that were prohibiting this board from authorizing the negative dec to be prepared and signed, those are behind us, I'm suggesting tonight that you authorize the negative dec to be finalized. Dom has that written and authorizes the chairman to sign it that so that you can then forward it to the Town Board so they can move on.

MR. ARGENIO: Counselor?

MR. CORDISCO: That's absolutely correct, we're doing a coordinated review, the Town Board is going to rely on the negative dec done by this board and they can't act on the special use permit until negative dec is finalized.

MR. ARGENIO: Guys have any questions?

MR. EDSALL: Timing wise, guys, the mechanism is the Town Board's meeting is before yours as normal the next month so it makes it convenient that the Town Board doesn't get all messed up with timing.

MR. SCHLESINGER: And the public hearing.

MR. EDSALL: You still have the public hearing and on January 16 this gets SEQRA out of the way.

MR. ARGENIO: If you guys remember this was a big hurdle, this thing had been submitted and rejected and submitted and rejected I don't know how many times, Mark, four?

December 12, 2007

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MR. EDSALL: At least three or four.

MR. ARGENIO: Any thought, Danny?

MR. GALLAGHER: No.

MR. BROWN: No.

MR. ARGENIO: I'll accept a motion that we declare negative dec on project number 07-01 senior housing in the Town of New Windsor off Route 32 behind Rite-Aid.

MR. SCHLESINGER: Motion made.

MR. BROWN: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board offer negative dec to the project number 07-01. If there's no further discussion, roll call.

ROLL CALL

MR. SCHEIBLE	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. SCHLESINGER	AYE
MR. ARGENIO	AYE



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)

WILLIAM J. HAUSER, P.E. (NY & NJ)

MARK J. EDSALL, P.E. (NY, NJ & PA)

JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100

FAX: (845) 567-3232

E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WARWICK PROPERTIES SENIOR CITIZEN HOUSING SITE PLAN
PROJECT LOCATION: OFF NYS ROUTE 32
SECTION 46 – BLOCK 1 – LOT 46
PROJECT NUMBER: 07-01
DATE: 12 SEPTEMBER 2007
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF NINETY-SIX (96) 1-BEDROOM SENIOR CITIZEN HOUSING UNITS ON THE 4.1+ ACRE PARCEL. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 24 JANUARY 2007 PLANNING BOARD MEETING.

1. The application is for a "Totally Affordable" Senior Housing Complex, and is subject to Sections 300-18 and 300-18A of the Town Code.

Based on the submittal required, the applicant is indicating a need for a referral to the Zoning Board of Appeals since full zoning compliance with those sections is not obtained based on the application before the Board. The applicant notes variances are required for unit density (number of housing units on property) and for on-site parking. I have reviewed the bulk information on the plan, such that a referral can be prepared by the Planning Board. Note the following:

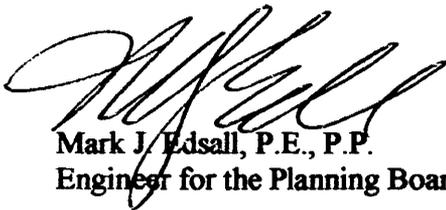
- The "net" lot area must also deduct the stream/wetland area. Please provide final "net area" value on plan to be referred to ZBA. [see 300-18.1 E (1) (a)].
- The superintendent's unit is included in the unit count as a unit. As such the unit count is 97, not 96. [see 300-18 E (1) (b)].
- Site density and parking values should be corrected on the plans submitted for referral to the ZBA, as per above listed code provisions.
- It would appear that the plan may require a variance from 300-18-H (7) [4] since the buildings are not spaced a minimum of 25 ft. from all parking areas. This should be reflected on the plan.
- The applicant should carefully review the layout provisions of 300-18 and 300-18A to verify no other area type variances are required.

REGIONAL OFFICES

- 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
- 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

2. A referral to the Zoning Board of Appeals is necessary at this time. *It is my recommendation that the Board deem the application "incomplete"*, since the Board can take no action on this application until such time that all necessary variances are obtained.
3. A detailed review of the plans submitted has not been made at this time, as the focus of the attention is currently on the necessary variances for the project. Further reviews will be made following the ZBA action.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

MJE/st
NW07-01-12Sept07.doc

Project Name: New Windsor Seniors Municipality: Town of New Windsor
 Planning Board No.: _____ Date: 1-23-08

PRIVATE IMPROVEMENT
AND SITE PLAN UNIT PRICES
(Updated August 2007)

<u>Description</u>	<u>Unit</u>	<u>Unit Cost</u>	<u>Qty</u>	<u>Total Cost</u>
<u>Roadway and Parking Lot</u>				
Erosion Control	AC	\$ 2,000.00	3	\$ 6,000.00
Silt Fencing	LF	\$ 1.12	1000	\$ 1,120.00
Grading	SY	\$ 2.18	14520	\$ 31,653.60
Paving & Base (regular construction)	SY	\$ 20.00	3600	\$ 72,000.00
Paving & Base (heavy-duty construction)	SY	\$ 26.00		\$ -
Tack Coat	SY	\$ 0.50	3600	\$ 1,800.00
Overlay Existing Pavement (1.5")	SY	\$ 6.50		\$ -
Double Surface Treatment	SY	\$ 6.00		\$ -
				\$ -
Private Road (traveled way only)	SY	\$ 12.00		\$ -
Private Road (complete – swales etc)	LF	\$ 35.00		\$ -
Topsoil & Seeding	SY	\$ 6.00	4840	\$ 29,040.00
Street Signs (Traffic Control)	EA	\$ 250.00		\$ -
				\$ -
Parking Space Striping	EA	\$ 10.30	66	\$ 679.80
Handicap symbol	EA	\$ 54.00	4	\$ 216.00
Parking & Lane Striping	LF	\$ 0.50		\$ -
Painted Striped Island	EA	\$ 40.00	3	\$ 120.00
Site Plan Stop Bar	EA	\$ 85.00		\$ -
Handicapped Sign & Striping	EA	\$ 225.00	4	\$ 900.00
Traffic Control Sign	EA	\$ 225.00		\$ -
				\$ -
Concrete Curbing	LF	\$ 18.00	1150	\$ 20,700.00
Concrete Sidewalk	SY	\$ 40.00	1020	\$ 40,800.00
Timber Curbing	LF	\$ 13.00		\$ -
Curb (Precast) Bumpers	EA	\$ 75.00		\$ -
Shale Parking (Overflow) Area	SY	\$ 9.00		\$ -
				\$ -
Guiderail	LF	\$ 40.00		\$ -
				\$ -
<u>Drainage</u>				
Catch Basin	EA	\$ 2,700.00	6	\$ 16,200.00
Connection to Existing Catch Basin	EA	\$ 500.00		\$ -
Stormwater Pipe (15") HDPE	LF	\$ 30.00		\$ -
Stormwater Pipe (18") HDPE	LF	\$ 40.00	336	\$ 13,440.00
Stormwater Pipe (24") HDPE	LF	\$ 45.00	20	\$ 900.00
Stormwater Pipe (30") HDPE	LF	\$ 58.00		\$ -
Stormwater Pipe (36") HDPE	LF	\$ 76.00		\$ -
Stormwater Pipe (48") HDPE	LF	\$ 108.00		\$ -
End Section	EA	\$ 400.00	2	\$ 800.00
				\$ -
Stormwater Pipe (15") RCP	LF	\$ 37.00		\$ -

Stormwater Pipe (18") RCP	LF	\$ 43.00	\$	-
Stormwater Pipe (24") RCP	LF	\$ 63.00	\$	-
Stormwater Pipe (30") RCP	LF	\$ 87.00	\$	-
Stormwater Pipe (36") RCP	LF	\$ 114.00	\$	-
Stormwater Pipe (48") RCP	LF	\$ 178.00	\$	-
Stormwater Pipe (15") CMP	LF	\$ 40.00	\$	-
Stormwater Pipe (18") CMP	LF	\$ 46.00	\$	-
Stormwater Pipe (24") CMP	LF	\$ 56.50	\$	-
Stormwater Pipe (30") CMP	LF	\$ 79.50	\$	-
Stormwater Pipe (36") CMP	LF	\$ 103.00	\$	-
Stormwater Pipe (48") CMP	LF	\$ 144.00	\$	-
Concrete Headwall	EA	\$ 4,000.00	\$	-
Rip Rap Drainage Channel	LF	\$ 16.00	100 \$	1,600.00
Non-lined Drainage Channel	LF	\$ 5.00	\$	-
Utilities				
Watermain (8")	LF	\$ 50.00	700 \$	35,000.00
Gate Valve (8")	EA	\$ 1,000.00	1 \$	1,000.00
Tapping Sleeve and Valve (8")	EA	\$ 2,200.00	1 \$	2,200.00
Watermain (12")	LF	\$ 65.00	\$	-
Gate Valve (12")	EA	\$ 2,250.00	\$	-
Hydrant Assembly	EA	\$ 2,700.00	2 \$	5,400.00
Sewer Main (8")	LF	\$ 35.00	424 \$	14,840.00
Sewer Main (12")	LF	\$ 45.00	\$	-
Sewer Manholes	EA	\$ 2,300.00	4 \$	9,200.00
Septic Tank	EA	\$ 2,600.00	\$	-
Utility Trench (elec, phone, cable)	LF	\$ 10.00	530 \$	5,300.00
Misc.				
Landscaping Trees	EA	\$ 250.00	51 \$	12,750.00
Landscaping Shrubs	EA	\$ 36.00	44 \$	1,584.00
Mulched surface	SY	\$ 3.00	5443 \$	16,329.00
Chain link fence (4' black vinyl coated)	LF	\$ 20.00	\$	-
Split Rail Fence	LF	\$ 16.00	\$	-
Short Masonry Landscape Walls	LF	\$ 20.00	\$	-
Retaining Walls (modular) 4' height	LF	\$ 80.00	\$	-
Lamppost	EA	\$ 1,500.00	7 \$	10,500.00
Building Mtd. Light	EA	\$ 500.00	18 \$	9,000.00
Waste Enclosure (small)	EA	\$ 800.00	\$	-
Dumpster Enclosure (masonry/concrete)	EA	\$ 5,000.00	1 \$	5,000.00
Clear and Grub	AC	\$ 6,000.00	3 \$	18,000.00
Rock Excavation	CY	\$ 85.00	\$	-
Excavation	CY	\$ 12.00	\$	-
Erosion Control Matting	SY	1.75	76 \$	133.00
Bollards (Concrete filled)	EA	450	\$	-
		Total	\$	384,205.40

**DRAKE LOEB HELLER
KENNEDY GOGERTY
GABA & RODD PLLC
ATTORNEYS AT LAW**

555 Hudson Valley Avenue, Ste. 100
New Windsor, New York 12553

Phone: 845-561-0550
Fax: 845-561-1235
www.drakeloeb.com

James R. Loeb
Richard J. Drake
Glen L. Heller*
Marianna R. Kennedy
Gary J. Gogerty
Stephen J. Gaba
Adam L. Rodd
Dominic Cordisco

Lawrence M. Klein
Senior Bankruptcy Counsel

Jeanne N. Tully
Timothy P. McElduff, Jr.
Jennifer E. Wright
Stuart L. Kossar

*L.L.M. in Taxation

June 16, 2008

Travis Ewald
Senior Engineer
Pietrzak & Pfau
262 Greenwich Avenue
Suite A
Goshen, New York 10924

Re: New Windsor Senior Housing Project 07-01
Our File No.: 12132 - 6085904

Dear Mr. Ewald:

Your June 9, 2008 letter requesting a six (6) month extension was discussed and decided at the June 11, 2008 planning board meeting.

The planning board previously granted site plan approval on January 16, 2008, with conditions. The resolution required that the conditions be satisfied and final plans submitted for signature within six (6) months of the approval. The Town of New Windsor Zoning Law provides that site plan approvals expire within 180 days, unless the planning board grants up to a maximum of two 90 day extensions. See Zoning Law § 300-86 (E).

Given that the request was timely, the planning board granted both 90 day extensions. As a result, the site plan approval is now set to expire on January 12, 2009. Please be advised that no further extensions can be made.

The planning board requested that I advise you of the above. Should you have any questions or concerns, please call.

Very truly yours,


DOMINIC CORDISCO

DRC/rt/57086

cc: Genaro Argenio, Chairman
Myra Mason, Planning Board Secretary ✓
Mark Edsall, P.E.

Writer's Direct
Phone: 845-458-7316
Fax: 845-458-7317
dcordisco@drakeloeb.com



Town of New Windsor

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4631
Fax: (845) 563-3101
J. Todd Wiley, IAO

Assessor's Office

December 12, 2007

Pietrzak & Pfau Engineering
262 Greenwich Avenue
Goshen, NY 10924

Re: 65-2-29 PB#07-01 (114)

Dear Sirs:

According to our records, the attached list of property owners are across the street or abutting to the above-referenced property.

The charge for this service is \$129.00, minus your deposit of \$25.00.

Please remit the balance of \$104.00 to the Town Clerk's Office.

Sincerely,

J. Todd Wiley, IAO
Sole Assessor

JTW/lrd
Attachments

CC: Myra Mason, PB

72-1-1
Hyman & Rosemary Goldman
810 Blooming Grove Tpke. Unit 7
New Windsor, NY 12553

72-1-11
Margaret-Ann O'Boyle
1 Barker Street, Unit 107
Mt. Kisco, NY 10549

72-2-6
Mary Jeffery
102 Windsor Gate Court
Winston-Salem, NC 27104

72-1-2
Catherine Franchini
810 Blooming Grove Tpke. Unit 8
New Windsor, NY 12553

72-1-12
Caroline Tucci
810 Blooming Grove Tpke. Unit 12
New Windsor, NY 12553

72-2-7
Gino Sidoli
Josephine DeStefano
810 Blooming Grove Tpke. Unit 110
New Windsor, NY 12553

72-1-3
John Cantone
5 Lakeview Drive
Newburgh, NY 12550

72-1-13
Donald Suttlehan
Ann Gay
73 Harth Drive
New Windsor, NY 12553

72-2-8
Thomas Sr. & Patricia Jobson
10 Peter Avenue
Newburgh, NY 12550

72-1-4
Florence Marotta
810 Blooming Grove Tpke. Unit 4
New Windsor, NY 12553

72-1-14
Alfred & Elizabeth Mascitelli
810 Blooming Grove Tpke. Unit 10
New Windsor, NY 12553

72-2-9
Michael & Carolina Velardi
41 Habitat Lane
Cortland Manor, NY 10567

72-1-5
Donald & Mary Conyca
96 Blooming Grove Turnpike
New Windsor, NY 12553

72-1-15 & 72-1-16
William Smith
45 Wright Street
Pearl River, NY 10965

72-2-10
Joanne Marinello
810 Blooming Grove Tpke. Unit 105
New Windsor, NY 12553

72-1-6
Munsali Hassam
810 Blooming Grove Tpke. Unit 2
New Windsor, NY 12553

72-2-1
Maureen Manley
810 Blooming Grove Tpke. Unit 112
New Windsor, NY 12553

72-2-12
George & Sarah Wadsworth
3333 S. Atlantic Avenue
Daytona Beach Shores, FL 32118

72-1-7
Lorraine DeLatorre
810 Blooming Grove Tpke. Unit 5
New Windsor, NY 12553

72-2-2
John Chewens
810 Blooming Grove Tpke. Unit 113
New Windsor, NY 12553

72-2-13
Henry & Debra Chartoff
10538 Black Iron Road
Louisville, KY 40291

72-1-8
Roger Newman
PO Box 396
Cornwall on Hudson, NY 12520

72-2-3
John & Bette Bardin
810 Blooming Grove Tpke. Unit 108
New Windsor, NY 12553

72-2-15
Audrey O'Donnell
810 Blooming Grove Tpke. Unit 102
New Windsor, NY 12553

72-1-9
Frank Zazzi
Maria Vesely
40 Pleasant View Drive
Marlboro, NY 12542

72-2-4
Carolyn Honold
8016 Sanibel Drive
Tamarac, FL 33321

72-2-16
Krista Von Der Heide
810 Blooming Grove Tpke. Unit 103
New Windsor, NY 12553

72-1-10
Joseph & Elizabeth Farina
810 Blooming Grove Tpke. Unit 17
New Windsor, NY 12553

72-2-5 & 72-2-11
Olga Damiano
244 Long Hill Road
Little Falls, NJ 07424

72-3-1
May Benedict
810 Blooming Grove Tpke. Unit 88
New Windsor, NY 12553

72-3-2
Joseph Big
810 Blooming Grove Tpke. Unit 89
New Windsor, NY 12553

72-3-12
Philip Gliedman Jr.
810 Blooming Grove Tpke. Unit 93
New Windsor, NY 12553

72-4-6
Lorraine Kirkland
366 NW Mallard Place
Lake City, FL 32055

72-3-3
Sylvia Perry
George Ripa
810 Blooming Grove Tpke. Unit 84
New Windsor, NY 12553

72-3-13
Carla Carbone
105 Chadwick Place
Newburgh, NY 12550

72-4-7
Michael & Mary Jean Purdy
810 Blooming Grove Tpke. Unit 70
New Windsor, NY 12553

72-3-4
Joan Mason
810 Blooming Grove Tpke. Unit 85
New Windsor, NY 12553

72-3-14
Gerard Chrinian
810 Blooming Grove Tpke. Unit 91
New Windsor, NY 12553

72-4-8
Marie Spagnola
810 Blooming Grove Tpke. Unit 71
New Windsor, NY 12553

72-3-5
Anthony D'Angelo
48 Hudson Drive
New Windsor, NY 12553

72-3-15
Daniel Reis
810 Blooming Grove Tpke. Unit 94
New Windsor, NY 12553

72-4-9
Jeffrey & Carol Perry
PO Box 604
Cornwall, NY 12518

72-3-6
John & Frances Cavalari
6 Shadowood Lane
New Windsor, NY 12553

72-3-16 & 72-4-12
Paul & Margaret Arnoldo
9 Foley Road
Katonah, NY 10536

72-4-10
Heidi Fahl
810 Blooming Grove Tpke. Unit 81
New Windsor, NY 12553

72-3-7
Linda Smith
Susan Sloat
18 Waring Road
Newburgh, NY 12550

72-4-1
Jean St. John
810 Blooming Grove Tpke. Unit 72
New Windsor, NY 12553

72-4-11
Patricia Chiocchi
8 Chads Ford Lane
Newburgh, NY 12550

72-3-8
Meta Ottway
1 Rocky Lane
New Windsor, NY 12553

72-4-2
John Pedrick
Linda Tansosch
23 Church Street
Wallkill, NY 12589

72-4-13
Donald & Anne McClellan
810 Blooming Grove Tpke. Unit 74
New Windsor, NY 12553

72-3-9
Paul & Rachael Neugebauer
810 Blooming Grove Tpke. Unit 96
New Windsor, NY 12553

72-4-3
Margaret O'Dea
810 Blooming Grove Tpke. Unit 68
New Windsor, NY 12553

72-4-14
Evelyn Ennis
810 Blooming Grove Tpke. Unit 75
New Windsor, NY 12553

72-3-10
Jay Ziegler Jr.
810 Blooming Grove Tpke. Unit 97
New Windsor, NY 12553

72-4-4
Catherine Cook
810 Blooming Grove Tpke. Unit 69
New Windsor, NY 12553

72-4-15
Richard Germaine
810 Blooming Grove Tpke. Unit 78
New Windsor, NY 12553

72-3-11
Shirley Jones
Mary Drennen
324 Hudson Street
Cornwall on Hudson, NY 12520

72-4-5
Anthony Mancinelli
810 Blooming Grove Tpke. Unit 66
New Windsor, NY 12553

72-4-16
Jeffery & Carol Perry
810 Blooming Grove Tpke. Unit 79
New Windsor, NY 12553

72-5-1
Christine Pettit
810 Blooming Grove Tpke. Unit 56
New Windsor, NY 12553

72-5-11
Maria Teresa McCallum
Maureen McKinney
303 Cloverdale Court
New Windsor, NY 12553

72-6-5
Helen A. Mc Keegan
810 Blooming Grove Tpke. Unit 34
New Windsor, NY 12553

72-5-2
Mary Kirkpatrick
810 Blooming Grove Tpke. Unit 57
New Windsor, NY 12553

72-5-12
Catherine Fant
810 Blooming Grove Tpke. Unit 61
New Windsor, NY 12553

72-6-6
Roy Pirhala
810 Blooming Grove Tpke. Unit 35
New Windsor, NY 12553

72-5-3
John & Claire Benson
810 Blooming Grove Tpke. Unit 52
New Windsor, NY 12553

72-5-13
Helen Sauerbach
C/o Karen Daniel
9 Puritan Lane
Washingtonville, NY 10992

72-6-7
Michael Smith
810 Blooming Grove Tpke. Unit 38
New Windsor, NY 12553

72-5-4
Charlotte Gillespie
810 Blooming Grove Tpke. Unit 53
New Windsor, NY 12553

72-5-14
Marion Macri
810 Blooming Grove Tpke. Unit 59
New Windsor, NY 12553

72-6-8
Teresa Baruffaldi
810 Blooming Grove Tpke. Unit 39
New Windsor, NY 12553

72-5-5
Vincenzina Sorbello
810 Blooming Grove Tpke. Unit 50
New Windsor, NY 12553

72-5-15
Roland & Wanda Mitchell
810 Blooming Grove Tpke. Unit 62
New Windsor, NY 12553

72-6-9
Lucy Esposito
810 Blooming Grove Tpke. Unit 48
New Windsor, NY 12553

72-5-6
Connie Salomatoff
810 Blooming Grove Tpke. Unit 51
New Windsor, NY 12553

72-5-16
George Negus
Susan Sloat & Linda Smith
810 Blooming Grove Tpke. Unit 63
New Windsor, NY 12553

72-6-10
Kathryn Neuss
104 Plattekill Road
Marlboro, NY 12542

72-5-7
Dennis Byrne
April VonHahsel
194 N Fostertown Drive
Newburgh, NY 12550

72-6-1
Alberta Murtaugh
810 Blooming Grove Tpke. Unit 40
New Windsor, NY 12553

72-6-11
Dana Richner
810 Blooming Grove Tpke. Unit 44
New Windsor, NY 12553

72-5-8
Kenneth & Jeri Holt
1 Shaker Court
Wallkill, NY 12589

72-6-2
James & Donna Pullar
810 Blooming Grove Tpke. Unit 41
New Windsor, NY 12553

72-6-12
Barbara Nucifore
810 Blooming Grove Tpke. Unit 45
New Windsor, NY 12553

72-5-9
Beverly Edwards
810 Blooming Grove Tpke. Unit 64
New Windsor, NY 12553

72-6-3
Clarence & Carmella Starsiak
810 Blooming Grove Tpke. Unit 36
New Windsor, NY 12553

72-6-13
Marie Cathcart
Norma Weygant
810 Blooming Grove Tpke. Unit 42
New Windsor, NY 12553

72-5-10
Rosario & Susan Tirella
51 Andrews Street
Staten Island, NY 10305

72-6-4
Leonard & Alice Bauer
PO Box 4320
New Windsor, NY 12553

72-6-14
Frank Sr. & Jean Civitano
810 Blooming Grove Tpke. Unit 43
New Windsor, NY 12553

72-6-15
Dolores Hanretta
810 Blooming Grove Tpke. Unit 46
New Windsor, NY 12553

72-7-9
Thomas Fenton
810 Blooming Gove Tpke. Unit 24
New Windsor, NY 12553

72-6-16
Jules & Marion Levine
2 Park Place Apt. C3A
Newburgh, NY 12550

72-7-10
John & Lynne Silvagni
350 N Water Street Unit 2-16
Newburgh, NY 12550

72-7-1
Keith & Elizabeth Cardenas
810 Blooming Grove Tpke. Unit 32
New Windsor, NY 12553

72-7-11
Angeline Gallifuco
810 Blooming Grove Tpke. Unit 20
New Windsor, NY 12553

72-7-2
Eudora Ronk
810 Blooming Grove Tpke. Unit 33
New Windsor, NY 12553

72-7-12
William John McCracken
C/o Joann McCracken
36 C Alphine Drive
Wappingers Falls, NY 12590

72-7-3
Howard & Sue Rogers
810 Blooming Grove Tpke. Unit 28
New Windsor, NY 12553

72-7-13
Charles & Geraldine Scibetti
PO Box 151
Mountainville, NY 10953

72-7-4
Mike & Mary Carbone
810 Blooming Grove Tpke. Unit 29
New Windsor, NY 12553

72-7-14 & 72-7-15
John & Carol Glynn
810 Blooming Grove Tpke. Unit 19
New Windsor, NY 12553

72-7-5
Mary Robinson
810 Blooming Grove Tpke. Unit 26
New Windsor, NY 12553

72-7-16
Patricia Harrison
138 Beechwood Road
Oradell, NJ 07649

72-7-6
Vincent Valicenti
Carole Schmitt
810 Blooming Grove Tpke. Unit 27
New Windsor, NY 12535

72-7-7
Richard Trifilo
JoAnn Pulliam
1019 Ethan Allen Drive
New Windsor, NY 12553

72-7-8
Ramona Zaccaro
810 Blooming Grove Tpke. Unit 31
New Windsor, NY 12553

65-2-13

Frederick J. Kass
New Windsor Mall
367 Windsor Highway
New Windsor, NY 12553

65-2-14

New Windsor Dental Management Corp.
375 Windsor Highway, Suite 300
New Windsor, NY 12553

65-2-15

Blix Corporation
PO Box 1002
Highland Mills, NY 10930

65-2-16.1

Lizzie Realty LLC
24 Dunning Road
Middletown, NY 10940

65-2-25.11

393 Windsor LLC
C/o 1833 Nostrand Avenue Corp.
Real Estate Tax Department Store 159
PO Box 3165
Harrisburg, PA 17105

65-2-25.2 & 65-2-28

The Vails Gate Fire Company
PO Box 101
Vails Gate, NY 12584

65-2-30

Tower Management Financing
Partnership LP
680 Kinderkamack Road
River Edge, NJ 07661

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on **JANUARY 16, 2008** at 7:30 P.M. on the approval of the proposed Site Plan for **NEW WINDSOR SENIOR PROJECT (07-01)**

Located at **RT. 32** (Tax Map #Section **65**, Block **2**, Lot **29**) . Map of the proposed project is on file and may be inspected at the **Planning Board Office**, Town Hall, 555 Union Avenue, New Windsor, NY prior to the Public Hearing.

Date: DECEMBER 17, 2007

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

**FIRE INSPECTOR'S
INTER-OFFICE CORRESPONDENCE**

TO: Genaro Argenio, Planning Board Chairman

FROM: Francis Bedetti, Asst. Fire Inspector

SUBJECT: PB-07-01
N.W. Senior Housing
SBL: 65-2-29



DATE: November 15, 2007

Fire Prevention Reference Number: FPS-07-025

A review of supplied Site Plan is approved and meets the minimum requirements of the Fire Code of New York State.

- **Note: However, it is strongly recommended that additional fire apparatus access roads also be provided to the rear of both buildings, in compliance with the Fire Code of New York State, Fire Service Features, Fire apparatus access roads 503.1.2 .**



COUNTY OF ORANGE

DEPARTMENT OF PLANNING

EDWARD A. DIANA
COUNTY EXECUTIVE

12/27/07
P.B. #07-01
cc: D.C.
M.E.
P.P. by fax
124 MAIN STREET
GOSHEN, NEW YORK 10924-2124
TEL: (845)291-2318 FAX: (845)291-2533
www.orangecountygov.com/planning

DAVID CHURCH, A.I.C.P.
COMMISSIONER

ORANGE COUNTY DEPARTMENT OF PLANNING
239 L, M OR N REPORT

This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.

Local File #: 07-01

Referred by: Town of New Windsor Planning Board

Reference/County ID No.: NWT41-07N

Applicant: New Windsor Senior Housing

County Tax ID: S: 65 B: 22 L: 29

Proposed Action: Site Plan for 90 units of Totally Affordable Senior Housing

Reason for Review: Within 500 Ft of NYS Route 32

Date of Full Statement: November 19, 2007

Comments:

This Department has reviewed the materials submitted regarding the above-referenced site plan and offers the following comments for your consideration.

It is the understanding of this department that many of the residents of the proposed project will be utilizing pedestrian facilities as a primary means of transportation. This understanding is based on the variance which was granted that reduces the required number of required parking spaces along with general requirement # 1 under section 300-18.1 of the Town of New Windsor Code, which states "The site selection shall meet the requirement for senior citizen housing, with special attention to the site being within walking distance of shopping, restaurants and other services". We have based our first two recommendations on this premise.

1. We recommend that the applicant provide a sidewalk on land they have an easement on that will connect the proposed development to NYS Route 32 in order to establish reliable and safe pedestrian access to the Route 32 commercial corridor.
2. This Department does not feel that the existing pedestrian facilities along NYS Route 32 will provide the necessary safety which needs to be afforded to the senior citizens of our community. Therefore, we recommend that the applicant assist, in some way, with the development of improvements to said facilities along NYS Route 32 in order to provide a safe route for the residents to walk between the proposed development and the shopping, restaurants, and other services located along and in the vicinity of NYS Route 32. We feel this is a necessary criterion to meet the site selection requirements as defined in section 300-18.1 of the New Windsor Town Code. These improvements should include but not be limited to: adequate signage, striping, crosswalks that lead to anticipated frequent destinations, and any other improvements needed to provide sufficient safety for the residents.

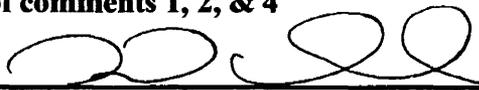
3. This Department would like information on the specific stipulations that will be in place to keep this project affordable for a significant amount of time. Many local approvals have been granted in association with this project so that local seniors would have a safe and affordable place to reside but we received no information regarding how this much-needed affordability will be maintained.
4. This Department recommends that the developer provide a bus shelter in close proximity to the proposed development along NYS 32 and have adequate provisions in place for the maintenance of the shelter for as long as this development is designated as totally affordable senior housing. We are under the assumption that because of the reduced number of parking spaces and the fact that many seniors are unable to drive that the bus service will be frequented by the residents for services that cannot be obtained within walking distance. There is existing bus service along this route and a shelter will provide the residents of this development a safe and convenient place to wait for bus service.

Having no further comments, from a County perspective, the department recommends that the Planning Board proceed with its review process. We look forward to receiving additional information on this project in the future. Additionally, we would like to remind you that this project has to be referred to the NYS DOT for a permit to access NYS Route 32 if it has not been done already.

County Recommendation: Approval subject to adherence of comments 1, 2, & 4

Date: December 13, 2007

Prepared by: Todd Cohen



David Church, AICP
Commissioner of Planning

IMPORTANT NOTE: As per NYS General Municipal Law 239-m(6), within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecountygov.com/planning.

November 29, 2007

VIA FAX & REGULAR MAIL
Mark Edsall, P.E.
McGoey, Hauser & Edsall
33 Airport Center Drive
Suite 202
New Windsor, NY 12553

Re: New Windsor Seniors
P&P No. 26126.01

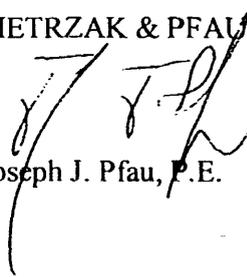
Dear Mr. Edsall:

In accordance with the Planning Board meeting of November 14, 2007, our office submitted copies of the revised Storm Water Pollution Prevention Plan on November 15, 2007 in response to your letter dated October 25, 2007. Revised plans and SWPPP were also submitted directly to you on November 26, 2007 (with copies of the revised plans to the Planning Board) responding to your letter dated November 14, 2007. Please inform our office as to whether a special workshop meeting is required for this project, or if the project can be placed on the December Planning Board agenda for a Public Hearing?

Thank you for your attention to this matter. Should you have any questions or require anything further, please do not hesitate to contact this office.

Very truly yours,

PIETRZAK & PFAU, PLLC


Joseph J. Pfau, P.E.

JJP/tmp
cc: Town of New Windsor Planning Board
J. Mandelbaum



REPORT OF FINAL LOCAL ACTION

**To: Orange County Department of Planning
124 Main Street
Goshen, NY 10924**

From:

Date:

**Subject: GML 239 Referral ID#NWT41-07N
Name of project: New Windsor Senior Housing 65-22-29**

As stated in Section 239 of the General Municipal Law of the State of New York State, within thirty days of taking final action in regard to a required referral to the Orange County Planning Department, the local referring agency shall file a report as to the final action taken. In regard to the proposed action described above, the following final action was taken:

_____ Our local board **approved** this action on _____.

_____ Our local board **approved** this action **with modifications** on _____.
Briefly, the modifications consisted of:

_____ Our local board **disapproved** this action on _____.
Briefly, the reasons for disapproving this action were:

_____ The proposal was **withdrawn**.

Additional space for comments on actions:

**RESOLUTION OF THE PLANNING BOARD ADOPTING A NEGATIVE DECLARATION
FOR A SENIOR HOUSING DEVELOPMENT**

*New Windsor Senior Housing
PB # 07-01*

WHEREAS, an application was made to the Town Board of the Town of New Windsor for special use permit by Warwick Properties (the "applicant") for a project described as the "New Windsor Senior Housing" development to be located off of New York State Route 32 in Vail's Gate in the Town of New Windsor (the "action");

WHEREAS, the subject site consists of 4.1 acres of land and comprised of one tax map parcel in the Town of New Windsor identified on the tax map as section 46, block 1, and lot 46 (SBL 46-1-46) located near Route 32 in the Town of New Windsor, New York;

WHEREAS, the action involves a request for a special use permit and site plan approval for ninety (90) one-bedroom housing units to be restricted as totally affordable senior housing, one caretaker's apartment and related site improvements pursuant to Town of New Windsor Town Code Sections 300-18 and 300-18A;

WHEREAS, the applicant has also applied to the Planning Board for site plan approval;

WHEREAS, the proposed development is subject to the Town of New Windsor Zoning Code § 300-18(J) setting forth the procedures applicable for senior citizen housing special use permits;

WHEREAS, the applicant has submitted a fully executed long form Environmental Assessment Form ("EAF") pursuant to the New York State Environmental Quality Review Act ("SEQRA");

WHEREAS, on June 28, 2007 the Town Board referred the application to the Planning Board for its consideration and report pursuant to Zoning Law § 300-18(J)(3); and

WHEREAS, on July 25, 2007 the Planning Board issued its report in response to the Town Board's request, which report found that the proposed location is appropriate for a senior citizen housing development, given its location to nearby businesses in Vail's Gate, and further that there is a need for housing for senior citizens in the Town of New Windsor;

12/18/07 cc: M.E.
D.C.
Atty's Office for T.B.

WHEREAS, the Planning Board declared its intent to serve as lead agency under SEQRA at the July 25, 2007 meeting, and recommended to the Town Board that any decision to issue or deny the special use permit be deferred until the Planning Board completes its SEQRA review;

WHEREAS, New York General Municipal Law § 239 requires the referral of both the special use permit and site plan applications to the Orange County Planning Department ("OCPD") for its review and comment, which referral was made by letter dated November 8, 2007 and OCPD has yet to respond despite that more than thirty days have elapsed since such referral;

WHEREAS, the proposed site plan required certain variances from the Town of New Windsor Zoning Law, which variances were considered by the Town of New Windsor Zoning Board of Appeals, and which were granted, following a public hearing, by the Zoning Board of Appeals on November 5, 2007;

WHEREAS, during the course of the Planning Board's review of the Applicant's proposed site plan layout, the Planning Board received and considered correspondence from other involved agencies as well as the Town's consultants;

WHEREAS, the Planning Board has conducted a coordinated SEQRA review of this action, which is an unlisted action as that term is defined in SEQRA;

WHEREAS, the Planning Board now wishes to make certain determinations regarding SEQRA;

NOW, THEREFORE, the Planning Board resolves as follows:

1. The Planning Board is lead agency for a coordinated review of this action;
2. This is an Unlisted Action for SEQRA purposes;
3. The long EAF submitted by the applicant has been fully reviewed and considered by the Planning Board;
4. Having reviewed with due care and diligence the EAF submitted by the applicant, the application herein and all pertinent documentation, it is determined that the proposed action will not

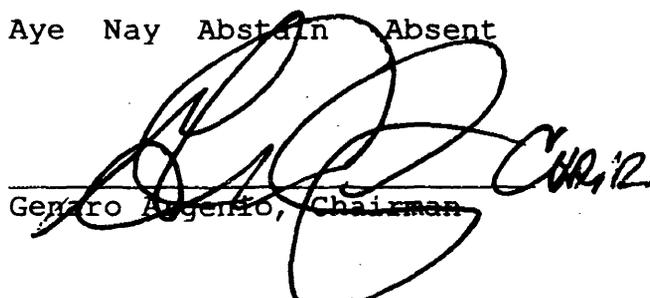
have, nor does it include, the potential for significant adverse environmental impacts;

5. The Planning Board finds and determines that the action minimizes or avoids significant environmental impacts and, therefore, the accompanying Negative Declaration is hereby adopted as part of the approval of the site plan and special use permit for this senior housing development;

Upon motion made by Member _____, seconded by Member _____, the foregoing resolution was adopted as follows:

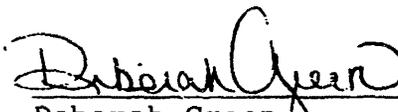
Member, Daniel Gallagher	Aye	Nay	Abstain	Absent
Member, Howard Brown	Aye	Nay	Abstain	Absent
Member, Neil Schlesinger	Aye	Nay	Abstain	Absent
Member, Henry Vanleeuwen	Aye	Nay	Abstain	Absent
Chairman, Genaro Argenio	Aye	Nay	Abstain	Absent

Alternate, Henry Schieble Aye Nay Abstain Absent


Genaro Argenio, Chairman

Dated: December 12, 2007
 New Windsor, New York

Filed in the Office of the Town Clerk on this 18th day of December, 2007.


Deborah Green
Town Clerk

**TOWN OF NEW WINDSOR PLANNING BOARD
COUNTY OF ORANGE**

NEGATIVE DECLARATION

*New Windsor Senior Housing
PB # 07-01*

PLEASE TAKE NOTICE that, according to the provisions of Article 8 of the Environmental Conservation Law and the New York Code of Rules and Regulations Part 617, the Town of New Windsor Planning Board has adopted a Negative Declaration for the project named below. The Planning Board is serving as Lead Agency for this Unlisted Action, for a coordinated review of this Unlisted Action.

Name of Project: New Windsor Senior Housing
Action Type: Unlisted Action; Coordinated Review
Location: New York State Route 32
Tax Map Parcel: Section 46, Block 1, Lot 46

Summary of Action:

The action involves a request for special use permit and site plan approval for a 90 unit totally affordable senior housing development. The parcel is presently vacant.

Reasons Supporting the Negative Declaration:

Based on its consideration of the available information, the Planning Board finds there would be no significant adverse environmental effects associated with granting special use permit and site plan approval for a senior housing development at this location. The Planning Board previously found and determined that the location, given surrounding uses and amenities, was appropriate for senior housing. With respect to traffic patterns, traffic safety and emergency access, the proposed development will have access to New York State Route 32. With respect to water and sewer resources, the development will be served by public water and sewer. With respect to grading and land disturbance, a stormwater pollution prevention plan will be developed in conjunction with the proposed site plan for the site, which will meet the requirements of the SPDES General Permit for Stormwater Discharges from Construction Activities. The site does not constitute significant habitat area for flora or fauna. The site is zoned for commercial use, and it is surrounded by other existing commercial uses, and will not have any impact on any cultural resource. The proposed site plan is considered to comply with all currently existing zoning requirements and municipal plans for the Town of New Windsor, and is consistent with the community character. Solid waste generation, energy consumption, nor public service demands would be significant or excessive for the development associated with this proposed site plan. No other potentially significant harmful environmental impacts are identified.

Date of Adoption of Negative Declaration:
Agency Address:

December 12, 2006
Town of New Windsor Planning Board
Town Hall – 555 Union Avenue
New Windsor, New York 12553
Tel. (845) 563-4615

Contact Person:

Genaro Argenio, Planning Board Chairman



RESULTS OF P.B. MEETING OF: November 14, 2007

PROJECT: Warwick Prop. Senior Housing P.B. # 07-01

LEAD AGENCY:

NEGATIVE DEC:

AUTHORIZE COORD. LETTER: Y ___ N ___
TAKE LEAD AGENCY: Y ___ N ___

M) ___ S) ___ VOTE: A ___ N ___
CARRIED: Y ___ N ___

M) ___ S) ___ VOTE: A ___ N ___
CARRIED: Y ___ N ___

PUBLIC HEARING: WAIVED: ___ CLOSED: ___

M) Schles S) G VOTE: A 3 N 0 SCHEDULE P.H.: Y N ___

SEND TO O.C. PLANNING: Y Send
SEND TO DEPT. OF TRANSPORTATION: Y ___

Need Corrected Plans before P.H.

REFER TO Z.B.A.: M) ___ S) ___ VOTE: A ___ N ___

RETURN TO WORK SHOP: Y ___ N ___

APPROVAL:

M) ___ S) ___ VOTE: A ___ N ___ APPROVED: ___

NEED NEW PLANS: Y ___ N ___

CONDITIONS - NOTES:

<i>Get Fire approval in writing</i>
<i>Applicant to attend Work Shop.</i>
<i>3 dumpsters is sufficient as long as emptied twice/week</i>
<i>Add walkway for pedestrians to access Rt. 32 area - Remove crosswalk to RAL Plumbing sidewalk</i>
<i>Need Landscape plan</i>

NEW_WINDSOR_SENIOR_HOUSING_(07-01)

MR. ARGENIO: Next on the agenda is New Windsor Senior Housing, Warwick Properties senior citizen housing plan. The application proposes development of 96 one bedroom senior citizen housing units on the 4.1 acre parcel. This is just behind Rite-Aid guys, if you remember. Application was previously reviewed at the 24 January, 2007 and 12 September, 2007 planning board meetings. I see Mr. Pfau is here to represent this. Mr. Pfau, what I'd like you to do if you would is bring us, I don't want a tour of the entire project from day one, but please bring us up to speed relative to the changes and upgrades and things of that nature that you have accomplished since the last time we saw you. As you're aware, fire is a big issue, you can update us on that as well.

MR. PFAU: I'll go through step by step. First though we went to the Zoning Board of Appeals earlier in the month and we received four variances for the project. And briefly what they are is we received a variance for density where 18 units per acre is allowed, we received a variance for 25 units per acre. The second variance was for parking requirement which is one space per unit and we received a variance for .72 spaces per unit.

MR. ARGENIO: Did you clean your bulk tables up? There was a pretty big issue with the bulk tables.

MR. PFAU: Yes, we had the new modifications to net area and parking calculations.

MR. ARGENIO: Mark, do you agree with that?

MR. EDSALL: Yes, we cleaned that up as part of the referral to the ZBA.

MR. PFAU: The third variance was a setback from proposed buildings to the parking areas, there's a

minimum requirement of 25 foot and we exceed that and in most cases if you take a look at the cover sheet or any of the sheets really the parking and the side lot location relative to the building we do not meet that 25 foot setback and we received a variance for that as well. And the fourth variance which was a variance for the inside of the building we received two variances based on the architectural of the building, basically one had to do with--

MR. BABCOCK: Thresholds.

MR. PFAU: Yes, doorway thresholds, there is to be lifts within the doorway thresholds. And the other one had to do with the heights of the outlets in the buildings themselves so those are the four variances.

MR. ARGENIO: What do you do pick the outlets up higher?

MR. BABCOCK: Actually the town requirements are 24 inches and the state requirements are 16, he needs to follow state guidelines.

MR. PFAU: So those are the four variances that we received.

MR. ARGENIO: Good thing Mr. Mendelbaum is here to steer you.

MR. PFAU: Yes and then we also received a letter from Mark Edsall earlier before we made our submission to the planning board to respond to the comments but basically what you see now is there's 90 units total in this layout as opposed to the 96 previous. And what we have done is the parking area which goes in between this new building we're required to widen that width out from 24 foot to 30 foot which we have done. And we have also increased the radius within that parking area for the vehicles. We have also provided a turnaround

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at the end of the proposed parking area and we removed the outside access drive and put in a 6 foot wide paved sidewalk. Otherwise really the only thing that the planning board, the only difference is we made modifications to the storm water design and some minor details on that.

MR. ARGENIO: Do you have a crash gate going into the firehouse parking lot?

MR. PFAU: No, we don't.

MR. ARGENIO: Why not?

MR. PFAU: Well, our pavement doesn't, we don't connect pavement to pavement.

MR. BABCOCK: They made a T turnaround there.

MR. PFAU: This is all grass in the back area here.

MR. EDSALL: How far away from the pavement is your, the end of your pavement?

MR. PFAU: Oh, it's about a foot off the property line.

MR. EDSALL: No, from their pavement to your pavement, just so that I'm concerned about people using it when they shouldn't be.

MR. MENDELBAUM: It's quite a bit grass and field in between us, I would say over 200 feet.

MR. ARGENIO: Michael Babcock or Michael Blythe, why don't I have approval here from the fire department?

MR. BABCOCK: You should.

MR. ARGENIO: Why don't I have it?

MS. MASON: Don't have anything in writing.

MR. BABCOCK: They sent it to us.

MR. ARGENIO: I don't have it.

MR. BABCOCK: Yeah, Mr. Chairman, I can tell you we definitely have that, I met with them myself to solve this problem. It was, I don't know why we don't have it, it should be in the file there.

MR. ARGENIO: Do you have anything else cause I have some housekeeping items?

MR. BABCOCK: Just so you know the fire inspectors required the T turnarounds, they required that there be less than 300 foot travel distance around the building, so if they have to bring a ladder they required that there be four Siamese connections, one in each corner of the building, they put that out and that the plan be listed, that the buildings be fully sprinklered.

MR. ARGENIO: Siamese connections will be an architectural issue.

MR. BABCOCK: Should be on the site plan.

MR. ARGENIO: Are they on the site plan?

MR. BABCOCK: Yes, based on that we sent that plan and I met with the fire inspectors and they sent a memo, I don't know why it's not in the file but we'll make sure it gets there, stating that they, based on that, they approved it, they did at the end of the letter they did recommend, they said they wanted to have a recommendation that there be a driving lane around these buildings, it's only a recommendation, it's not code.

MR. ARGENIO: It's not a requirement, it's an important

distinction.

MR. BABCOCK: Yes.

MR. ARGENIO: Danny, you follow that?

MR. GALLAGHER: Yes.

MR. ARGENIO: It's an important distinction what you would like and what's required are two quite different issues. Why don't you have a landscaped plan? Curious.

MR. PFAU: It's in progress.

MR. ARGENIO: It's something we typically want.

MR. PFAU: Absolutely, no question.

MR. ARGENIO: Mr. Pfau, let me ask you this kind of generic open ended question. We have seen this a few times, there's been meetings at Town Hall about that. Are you attending the workshops with Mark Edsall? Because I find it surprising that there's four full pages of comments here. If you're attending the workshops usually Mark is more thorough than that, maybe he's not been more thorough on this one in giving you the input that you need at the workshops.

MR. MENDELBAUM: Joe has not attended any of them.

MR. ARGENIO: He's not? Why not? And Mr. Mendelbaum, the reason I say it is cause we want to move, I mean we want to, this is an important issue in the town senior housing.

MR. MENDELBAUM: I agree with you a hundred percent.

MR. ARGENIO: So you will attend them moving forward?

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MR. PFAU: Absolutely. I believe someone from our office has attended some workshops, you know, we have been basically concentrating on getting the zoning board variances and we just received those and I actually don't know how many works shops we have actually had on this.

MR. ARGENIO: Okay, so somebody from your office with some level of authority and ability to change the drawings and make decisions will attend moving forward?

MR. PFAU: Absolutely.

MR. ARGENIO: That's good. I want to read this comment to you. The site plan submitted should provide dimensions for buildings to property lines certainly necessary even though you do have the variances, curb/sidewalks to buildings and/or property lines, general dimensions for buildings, parking space dimensions, layout and aisle dimensions, limits of work and construction types, et cetera, all as needed to understand this site as proposed and lay out the work once the site plan is approved. That's important to us and probably more important to Mark, so when he does do his reviews he doesn't have to scale from structure to property line. I think you should, you know, Mark, the paving section is nine inches thick, I think that's great for obvious reasons. Mark has a note about the color of the striping and he says yellow, I like white, better contrast, but it's, I won't dictate that to you, just a thought.

MR. MENDELBAUM: We usually do white and yellow for fire lanes.

MR. ARGENIO: I like white, obviously the law will require blue in the handicapped areas and I don't want to get into too much minutia but I think you should consider in the no parking zones and those drop dead zones for the firemen, I think you should consider red.

Is that a violation of code?

MR. MENDELBAUM: I think red became a state law.

MR. EDSALL: I don't think so.

MR. ARGENIO: Can we do red or is there a problem for the firemen?

MR. BABCOCK: I don't know.

MR. EDSALL: The only disadvantage in red is that it tends to get dark and not be noticed as much as something that's like a bright OSHA yellow.

MR. ARGENIO: I'm not the engineer, I have seen red before, Wal-Mart's doing red and it works well, that's why I'm suggesting it.

MR. EDSALL: As long as it's a bright enough color is all we're trying to accomplish.

MR. MENDELBAUM: Yellow seems to stand out.

MR. ARGENIO: Okay, Neil and Danny, if you have something, don't feel like you have to wait for me to finish, chime in.

MR. SCHLESINGER: I have a question. I see a dumpster area detail but I don't see where the dumpster is located.

MR. PFAU: Right near the turnaround.

MR. SCHLESINGER: One dumpster for two buildings?

MR. PFAU: That's correct.

MR. SCHLESINGER: That big enough?

MR. PFAU: It's two dumpsters within.

MR. SCHLESINGER: I see the detail, matter of fact you're showing three dumpsters.

MR. BABCOCK: There's got to be some type of recycling center so it's going to be more than one, more than two, more than three.

MR. ARGENIO: Is that enough for that amount of units?

MR. BABCOCK: The whole thing is that it depends on how many times it's going to be emptied. If they empty it twice a week, it probably is, if they empty it once a week, it's probably not.

MR. SCHLESINGER: You're going to want to keep the place clean and tidy.

MR. MENDELBAUM: Our standard is twice a week, we have always done that, we don't like stuff to build up and if we feel three dumpsters is not working we can always get another one.

MR. SCHLESINGER: Well, they have dumpsters for different recycling, I understand that.

MR. MENDELBAUM: We use a two yarder and we use three of those plus recycling bins.

MR. SCHLESINGER: Sounds a little small to me but you want to keep the area clean, we'd like to see you keep it clean.

MR. MENDELBAUM: We build it big enough, we can actually put eight in there if we feel that's necessary.

MR. ARGENIO: Mr. Pfau, I want to make a kind of general comment to you. One of the things we discussed

about this project early on was how great the location is because of its proximity to all the facilities. I want you to look at the project and make sure you show us and I don't mean show us, I want to make sure you delineate a fashion and means for the parking because there's not a lot of parking here, we know there's not going to be a lot of cars for the pedestrians to get from the facility to the sidewalk facilities out on Route 32 to go to Rite-Aid, to go across the street to rent a video, to go to the bank, to go to the post office, to go to K-Mart.

MR. PFAU: Is that something I can just give the board?

MR. ARGENIO: I'd like to see it on the drawing.

MR. PFAU: Just a drawing for the board?

MR. ARGENIO: No, I'd like to see it in the set as part of the plans and I'm not looking for a runway here, I'm talking about a plan that takes them from your facility or Mr. Mendelbaum's facility to the pedestrian avenues up on Route 32. I don't think it's difficult but I'd like to make sure that they're not walking on the edge of a 24 foot wide traveled area where vehicular traffic is traveling.

MR. MENDELBAUM: It's showing sidewalks going across and meeting the sidewalks at RAL.

MR. ARGENIO: I don't see that from the facility to 32.

MR. PFAU: Well, there's a, you see our sidewalk goes up to a crosswalk and this is the first part of existing sidewalk right here.

MR. EDSALL: Is that sidewalk in the easement or on the site plan next door?

MR. PFAU: That's on the site plan next door.

MR. EDSALL: How can you take all your pedestrians and put them onto the site plan next door? Is there an easement there?

MR. PFAU: I'd have to review that.

MR. ARGENIO: You should take a look at it.

MR. PFAU: Putting a sidewalk two feet away from another sidewalk.

MR. EDSALL: Maybe on the other side of the drive, have it go all the way out to 32.

MR. MENDELBAUM: Other side is probably better.

MR. EDSALL: Point being you've got--

MR. ARGENIO: Avoid the road crossing, take a look at it, it's something--

MR. PFAU: Would you like me to remove the crosswalk?

MR. EDSALL: Reroute it.

MR. ARGENIO: Look at me, yes, yes.

MR. PFAU: My concern is that RAL could come in and change the whole site plan, something else could be built there and that eliminates all your function.

MR. ARGENIO: Mark has a comment about the box culvert, I'm not twisted up about it, he is, I will read his comment, Mr. Pfau, adequate capacity should be verified as part of the SWPPP submittal.

MR. PFAU: We've done that.

MR. ARGENIO: Probably right but I mean I think--

MR. PFAU: It's a 5 x 10 by the way is the size.

MR. EDSALL: If not already done only because I wanted to at the workshop go over with you where you stand with the responses on the SWPPP.

MR. ARGENIO: Key word workshop. I put the culvert in across the street and it seems to me I think you're right, it's about a 5 x 10 with a closure structure and typically the engineer who designs the culvert or who, it's a different engineer that designs the culvert than designs the site, so I don't see that as a problem. I'm not going to get into a lot of this, there's clean-up things here, there's, Mark, did you check that 12 inch water main business?

MR. EDSALL: Yes, I, no, actually the fire inspectors were checking, they were not quite sure if it was a service line to a site plan if it had to be 12. So I in my comments said that it had to be at least 8 but it may have to be 12 depending on the determination but we'll work all that out.

MR. SCHLESINGER: Not to jump the gun cause we're not there yet but there's, I have another reason for bringing this up at this time and I'm not familiar with the codes and I don't know whether you can address this or Mark but this is senior citizen housing on a three story building. Obviously you're going to have elevators, obviously you're going to have emergency exits. Is there any special code that needs to be addressed to this type of construction to this type of building being that it's three stories and a senior citizen?

MR. MENDELBAUM: Just got to meet New York State Building Code.

MR. SCHLESINGER: No extra elevators, no extra--

MR. BABCOCK: There may be but there is a special section for this based on the construction type, based on the number of occupants, based on their age, based on it will tell you through the code book what he's required to put in.

MR. MENDELBAUM: When we get your approvals and go to the state we'll have a complete architectural which goes to the New York State Division of Housing for review and it's similar to what you're doing back and forth comments and tell us exactly what they want, the Division of Housing, and they follow New York State Code.

MR. ARGENIO: I'd imagine if you didn't comply you'd have funding issues.

MR. BABCOCK: Yes, that's the whole issue.

MR. ARGENIO: Again, Danny, you're noticeably mute in this whole thing, do you have anything?

MR. GALLAGHER: I was going to mention the light poles but I notice Mark has a comment on that.

MR. ARGENIO: I want to read something to you, Mr. Pfau, and I'm going to skip a lot of Mark's comments because I'm of the belief that there are things that need to be taken care of, they're certainly not unimportant but we don't need to take up this board's time in as much as Mark has been very concise in the things he's addressed and you need to address them and they're pretty clear. But I want to read this to you. It should be noted that the above comments do not address storm water and SWPPP issues for the site which were the subject of separate review performed for the applicant with comments issued on 10/25/07, almost a month ago, almost a month ago. As also discussed with the applicant on 10/29/07 we have not yet received any

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response or resubmittal for this aspect of the development and it is possible that the corrections needed to comply with the state and town regulations may have other impacts on the site plan. Where are you at with that issue?

MR. PFAU: We're a hundred percent done.

MR. ARGENIO: Why don't we have them?

MR. PFAU: We just completed them. There was substantial comments again with regard to the storm water, they're a hundred percent done and I actually have the drawings with me this evening that reflect those changes but I didn't think tonight was the night to submit them.

MR. ARGENIO: Myra, where are we at with county?

MS. MASON: It's been submitted.

MR. ARGENIO: We have not heard back from them?

MS. MASON: No.

MR. PFAU: I will tell you that I have the revised site plans with those comments responded to and the layout, the site features did not change at all and I have a set of those plans that I can give to Mark if you'd like.

MR. ARGENIO: No, you know what I think you should do, there's a couple of things here, he's got comments, you need to address the comments, not all of them are killers, there's a lot of clean-up issues.

MR. EDSALL: It's mostly clean-up, I attempted to go through and get as much on the list so they can go through and fix it all at one swipe.

MR. ARGENIO: I would like you to craft some sort of landscape plan, it's an important area of the town, the Rosenbergs across the street spent a lot of money on landscaping, they did a great job, certainly not advocating that you do the same thing they did but you need to do something. And I also in the venue of public safety I think it's important that you think through the access from your facility to 32, whatever that is, I don't, I'd prefer it if it didn't involve senior citizens crossing that driveway, I'd prefer that.

MR. PFAU: That's fine.

MR. ARGENIO: I mean I don't know how much further we can go. Dan and Neil, do you guys have anything else that you'd like to maybe hit or Mark, am I missing anything there? Is there anything else we can do procedurally to help you?

MR. BABCOCK: I see one thing, I'm sorry to barge in, the number 6 it says board should determine if there's a public hearing.

MR. EDSALL: That's just what I was going to mention.

MR. BABCOCK: Maybe you're going to have a public hearing or not, if you can determine that.

MR. ARGENIO: I don't know how we cannot have a public hearing, frankly, it's not going to hold the applicant up. Am I right? We haven't heard from county yet.

MR. EDSALL: No, then I would suggest if you're going to have one you authorize it tonight and try to set the date.

MR. ARGENIO: They have one at zoning?

MR. BABCOCK: They did have one, there was a few people

there, I think one gentleman talked, he was from Kingwoods Gardens, he asked a couple questions about the drainage, was there going to be anymore water going down the stream, they're going to put in the ponds and stuff.

MR. ARGENIO: There's a massive culvert here, I mean--

MR. BABCOCK: I'm just telling you what he asked. They assured him that it wasn't a problem.

MR. ARGENIO: To have the public hearing we'll vote on it, it certainly doesn't affect you folks timewise, does not affect you folks timewise. Danny?

MR. SCHLESINGER: Yeah, I agree, I'll make a motion.

MR. GALLAGHER: I think we need one. I think that there's a lot of changes.

MR. SCHLESINGER: I'll make a motion to schedule a public hearing.

MR. GALLAGHER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board schedule a public hearing for the Warwick Properties site plan. I'll have a roll call.

ROLL CALL

MR. SCHLESINGER AYE
MR. GALLAGHER AYE
MR. ARGENIO AYE

MR. ARGENIO: Mr. Pfau, you will attend the work session with Mark?

MR. PFAU: Absolutely.

MR. ARGENIO: You have completed the SWPPP?

MR. PFAU: Complete, a hundred percent complete.

MR. ARGENIO: You'll get that to him?

MR. PFAU: And this list, I mean, I skimmed through it quickly but I say within a few days time.

MR. EDSALL: There's no killers on my list, I think the biggest thing they've got to be fixed but there's--

MR. ARGENIO: But there's nothing here that's gonna stymie this.

MR. EDSALL: The most important thing, get one copy of the SWPPP directly into Myra's office or put two into Myra and I'll pick mine up from her, we don't need anymore than two I would think as long as the SWPPP is in order, that's the key element.

MS. MASON: And the corrected plan.

MR. EDSALL: Corrected plan, the SWPPP is going to address all the storm water and finish issues so we'll get over that hump right away go ahead and make the other revisions and we can get that in.

MR. ARGENIO: Mike, get with Myra and see that the file's updated.

MR. BABCOCK: I remember that, that that went to Jennifer and that's why.

MS. MASON: I think they were looking at the building plans and stuff.

MR. ARGENIO: Anything else I can do for you?

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MR. PFAU: No, thank you.



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 AIRPORT CENTER DRIVE
SUITE 202
NEW WINDSOR, NEW YORK 12553

(845) 567-3100
FAX: (845) 567-3232
E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WARWICK PROPERTIES SENIOR CITIZEN HOUSING SITE PLAN
(TOTALLY AFFORDABLE PROJECT PER 300-18 and 300-18A)

PROJECT LOCATION: OFF NYS ROUTE 32
SECTION 46 – BLOCK 1 – LOT 46

PROJECT NUMBER: 07-01

DATE: 14 NOVEMBER 2007

DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF NINETY-SIX (96) 1-BEDROOM SENIOR CITIZEN HOUSING UNITS ON THE 4.1+ ACRE PARCEL. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 24 JANUARY 2007 AND 12 SEPTEMBER 2007 PLANNING BOARD MEETINGS.

1. At the September meeting, the Board considered the site plan and made a referral recommendation to the Zoning Board of Appeals. It is my understanding variances have been granted by the ZBA on 11-5-07; all variances should be specifically and accurately referenced on the next plans submitted.

As the Board may recall, there were corrections required to the bulk table prior to the referral to the ZBA. These corrections were made and are included on these plans for this meeting.

2. We have reviewed the application submittal for this meeting, from a layout and site plan basis, and have the following comments:

Drawing 1 (Cover)

- This plan appears to function as an introductory sheet, but it is noted that there is no 30' scale site plan in the set. A "survey plan", "grading plan", "utility plan", "erosion control plan", "lighting plan", but no site plan. This is problematic since a plan needs to be prepared which dimensionally lays out the site and the key improvements. I suggest a complete 30' scale site plan be prepared and included in the submittal. For convenience, I will list any general site plan comments under this sheet.

REGIONAL OFFICES

- 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
- 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

- The Site Plan submitted should provide dimensions for buildings to property lines, curbs/sidewalks to buildings and/or property lines, general dimensions for buildings, parking space dimensions/layout and aisle dimensions, limits of work and construction types, etc., all as needed to understand the site as proposed and lay out the work once the site plan is approved.
- The handicapped parking spaces do not have the prescribed 8' x 19' blue cross-hatched access aisle (they are currently shown mixed in with areas understood to be no-parking areas). This needs to be clarified and cleaned up both on the Site Plan and coordinated with detail sheets.
- Color of any non-parking areas should be depicted on the site plan (yellow recommended).
- Sign locations should be shown on the Site Plan.
- The plan is premised on limited vehicle use at the site, with access primarily via pedestrian activity. As such, a complete and safe pedestrian access from the site to Route 32 is critical. It is unclear that a complete route is provided from the site to Route 32.
- The plans calls out "paved side walk" at the rear of the building. If this construction method is acceptable to the Planning Board, the limits of the paved walks should be depicted as in rear of buildings only.
- Given the pavement ending near the limit of the property at the Vails Gate Fire Co. (in the area of the "Turn Around"), and our understanding that the surface at the F.D. is "trafficable", is there any intent to install a gated fence along that side of the property?
- Please verify that the unidentified "box" at the south side of the property (between the buildings) is intended to be the dumpster enclosure. If so, the size shown on the plan is different than the detail on Sheet 7.
- Detail Sheet 1 depicts a Bench Detail. Where are they proposed? (I don't see them on a site plan).
- Detail Sheet 2 depicts NO PARKING signs. These should be shown on the site plan.

Drawing 2 (Survey Plan)

- No comments at this time.

Drawing 3 (Grading Plan)

- The existing and proposed contours on this plan should be more clearly identified with the numerical elevation.
- The size and construction of the proposed box culvert should be indicated. Adequate capacity should be verified as part of the SWPPP submittal. In addition, a dimension and capacity of the upstream drainage structures should be indicated. (if not already done).

Drawing 4 (Utility Plan)

- The water main connection is shown, but method of connection not indicated. The applicant should call out size and type of connection (ie diameter and tapping sleeve and valve assembly) for the connection. (note that Detail Sheet 2 appears to have proper reference).
- The watermain connection is shown within the NYSDOT right-of-way. A permit will be required for such connection.
- The size and material of the water main feeding the site should be indicated. (8" minimum required, unless increased size to 12" mandated by Code and Fire Inspector review).
- The plan is unclear if a master meter will be provided for the site plan, and where. A detail of the meter vault should be provided.
- Adequate vertical separation must be maintained between the proposed water main and all sewer and stormwater piping. Complete (or at minimum partial) profiles should be added to the plans to address elevation issues.
- Underground utilities (gas, electric, telephone, cable, etc.) is not indicated on the plan. A route should be shown, if only in general.
- The plan should reference the requirements for watermain and sewermain, manhole testing (and Town acceptance) prior to use of any of the private utility improvements.

Drawing 5 (Erosion Plan)

- Comments made separately as part of SWPPP review. Revise as required to comply with all Federal, State and Town regulations and laws.

Drawing 6 (Lighting Plan)

- The plan depicts a pole mounted and building mounted light detail. The plan shows only building mounted. Where are the poles proposed?
- Please add manufacturer's lighting isolux curve for the specific fixture onto the plan. (all fixtures if more than one is proposed).
- There are areas where lighting levels along sidewalks is less than 1.0 footcandle or 0.5 footcandle. This would appear unacceptable for a senior housing project. Recommend low level lighting along sidewalks (back side) be added.
- There appears to be no lighting indicated for any off site sidewalks to Route 32 (although I am not sure of where sidewalks are proposed off site). A safe pedestrian route from Route 32 to the site, with available lighting, is critical.
- Is any security or other lighting proposed for the rear of the buildings?

Drawing 7 (Detail 1)

- The dumpster enclosure detail is dimensionally different than that shown on the plans (for what I believe is the dumpster enclosure).
- We recommend that the Board require installation of a masonry type dumpster enclosure, with exterior finish (or coating) to match the proposed building. We recommend the Board mandate such change to result in a more aesthetic installation, which is more durable for long-term life.
- We don't object to post approval design of the box culvert, but the submittal should be made to the Town Building Department. Notwithstanding the same, the size (and verified capacity) of the box culvert and elevations must be resolved now, as part of site plan approval.
- Regarding the Parking lot Section, such detail should also apply to the access drive.
- It is my understanding that multifamily sites must have roadways equivalent to Town road structure. At minimum, I would recommend that the subbase of the access road and parking lot be equivalent to the recommended standard.
- No detail is provided for the paved walkways proposed for the rear of buildings.
- Pursuant to a policy memorandum dated 23 February 1989 from the Town Building Inspector, a complete detail for the handicapped parking space and associated sign(s) must be provided on the plans. The plan includes a detail; however, corrections are needed to comply with the following State and Town Code standards and guidelines for handicapped spaces:
 - All striping for the handicapped space must be blue. When a standard space adjoins a handicapped space, a double line should be installed, one blue, one white.
 - A sign is required in front of the cross-hatched access lane of the handicapped parking space. The sign must read "No Parking – Any Time".

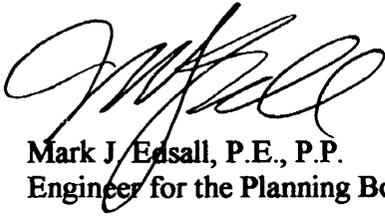
Drawing 8 (Detail 2)

- The second parking sign for handicapped parking spaces should be detailed (No Parking – Any Time" sign.
- Sign details do not indicate a sign width. Should be 12".

3. It should be noted that the above comments do not address the stormwater and SWPPP issues for the site, which were the subject of a separate review performed for the applicant, with comments issued on 10-25-07, as also discussed with the applicant on 10-29-07. We have not yet received any response or resubmittal for this aspect of the development, and it is possible that the corrections needed to comply with the State and Town regulations may have other impacts on the site plan.

4. This project is within a 500-foot distance from New York State Highway 32 and, as such, must be referred to the Orange County Planning Department as per New York State General Municipal Law (GML 239). Status of this referral should be discussed.
5. The Board should review the status of SEQRA and discuss any appropriate steps to be taken at this meeting.
6. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

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State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

DETERMINATION OF SIGNIFICANCE—Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which will not have a significant impact on the environment, therefore a **negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore a **CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore a **positive declaration will be prepared.**

* A Conditioned Negative Declaration is only valid for Unlisted Actions

NEW WINDSOR SENIOR HOUSING

Name of Action

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date

07-01

RECEIVED NOV 15 2007

PART I — PROJECT INFORMATION

Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION NEW WINDSOR SENIOR HOUSING		
LOCATION OF ACTION (Include Street Address, Municipality and County) NEW YORK STATE ROUTE 32, NEW WINDSOR, ORANGE COUNTY, NY		
NAME OF APPLICANT/SPONSOR WARWICK PROPERTIES		BUSINESS TELEPHONE (845 986-7012
ADDRESS ONE CRESCENT AVENUE		
CITY/PO WARWICK	STATE NY	ZIP CODE 10990
NAME OF OWNER (if different) SORBELLO BOUYEA KING		BUSINESS TELEPHONE ()
ADDRESS 505 NORTH RIVERSIDE ROAD		
CITY/PO HIGHLAND	STATE NY	ZIP CODE 12528
DESCRIPTION OF ACTION Ninety (90) units of 1 bedroom totally affordable senior housing, with 1, 2 bedroom superintendent's apartment, 450' of proposed road and parking with associated improvements.		

Please Complete Each Question— Indicate N.A. if not applicable

A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other _____

2. Total acreage of project area: _____ acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	1± acres	0 acres
Forested	3.14± acres	1.14± acres
Agricultural (Includes orchards, cropland, pasture, etc.)	0 acres	0 acres
Wetland (Freshwater or tidal as per Articles 24, 25 of ECL)	0 acres	0 acres
Water Surface Area	0 acres	0 acres
Unvegetated (Rock, earth or fill)	0 acres	0 acres
Roads, buildings and other paved surfaces	0 acres	2± acres
Other (Indicate type) <u>Lawn</u>	0 acres	1± acres

3. What is predominant soil type(s) on project site? _____

- a. Soil drainage: Well drained 35 % of site Moderately well drained 65 % of site
 Poorly drained _____ % of site

- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? _____ acres. (See 1 NYCRR 370).

4. Are there bedrock outcroppings on project site? Yes No

- a. What is depth to bedrock? 25' _____ (in feet)

5. Approximate percentage of project site with slopes: 0-10% 11-15% 16-20% 21-25% 26-30% 31-35% 36-40% 41-45% 46-50% 51-55% 56-60% 61-65% 66-70% 71-75% 76-80% 81-85% 86-90% 91-95% 96-100%
 0-10% 11-15% 16-20% 21-25% 26-30% 31-35% 36-40% 41-45% 46-50% 51-55% 56-60% 61-65% 66-70% 71-75% 76-80% 81-85% 86-90% 91-95% 96-100%
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? Yes No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No
8. What is the depth of the water table? > 5' (in feet)
9. Is site located over a primary, principal, or sole source aquifer? Yes No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?
 Yes No According to Pietrzak & Pfau Engineering & Surveying, PLLC
 Identify each species _____
12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations)
 Yes No Describe _____
13. Is the project site presently used by the community or neighborhood as an open space or recreation area?
 Yes No If yes, explain _____
14. Does the present site include scenic views known to be important to the community?
 Yes No
15. Streams within or contiguous to project area: Silver Stream
 a. Name of Stream and name of River to which it is tributary Moodna Creek
16. Lakes, ponds, wetland areas within or contiguous to project area:
 a. Name _____ b. Size (In acres) _____
17. Is the site served by existing public utilities? Yes No
 a) If Yes, does sufficient capacity exist to allow connection? Yes No
 b) If Yes, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- a. Total contiguous acreage owned or controlled by project sponsor 4.14± acres.
- b. Project acreage to be developed: 4.14± acres initially; 4.14± acres ultimately.
- c. Project acreage to remain undeveloped 0 acres.
- d. Length of project, in miles: N/A (If appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed N/A %;
- f. Number of off-street parking spaces existing 0; proposed 67.
- g. Maximum vehicular trips generated per hour _____ (upon completion of project)?
- h. If residential: Number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|------------|------------|-----------------|-------------|
| Initially | _____ | _____ | <u>0</u> | _____ |
| Ultimately | _____ | _____ | <u>90</u> | _____ |
- i. Dimensions (in feet) of largest proposed structure 3 story height; 220±' width; 225±' length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? 0 ft.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards.
3. Will disturbed areas be reclaimed? Yes No N/A
- a. If yes, for what intended purpose is the site being reclaimed? Landscaping
- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 3.5± acres.
5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?
 Yes No
6. If single phase project: Anticipated period of construction _____ months, (including demolition).
7. If multi-phased:
- a. Total number of phases anticipated 2 (number).
- b. Anticipated date of commencement phase 1 9 month 2008 year, (including demolition).
- c. Approximate completion date of final phase _____ month _____ year.
- d. Is phase 1 functionally dependent on subsequent phases? Yes No
8. Will blasting occur during construction? Yes No
9. Number of jobs generated: during construction 12; after project is complete 2.
10. Number of jobs eliminated by this project 0.
11. Will project require relocation of any projects or facilities? Yes No If yes, explain _____
12. Is surface liquid waste disposal involved? Yes No
- a. If yes, indicate type of waste (sewage, industrial, etc.) and amount _____
- b. Name of water body into which effluent will be discharged _____
13. Is subsurface liquid waste disposal involved? Yes No Type _____
14. Will surface area of an existing water body increase or decrease by proposal? Yes No
Explain _____
15. Is project or any portion of project located in a 100 year flood plain? Yes No
16. Will the project generate solid waste? Yes No
- a. If yes, what is the amount per month 3 tons
- b. If yes, will an existing solid waste facility be used? Yes No
- c. If yes, give name Licensed Hauler; location To Be Determined
- d. Will any wastes not go into a sewage disposal system or into a sanitary landfill? Yes No
- e. If Yes, explain _____
17. Will the project involve the disposal of solid waste? Yes No
- a. If yes, what is the anticipated rate of disposal? _____ tons/month.
- b. If yes, what is the anticipated site life? _____ years.
18. Will project use herbicides or pesticides? Yes No
19. Will project routinely produce odors (more than one hour per day)? Yes No
20. Will project produce operating noise exceeding the local ambient noise levels? Yes No
21. Will project result in an increase in energy use? Yes No
If yes, indicate type(s) Electric
22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.
23. Total anticipated water usage per day 7200± gallons/day.
24. Does project involve Local, State or Federal funding? Yes No
If Yes, explain Federal, State and County funding possible

25. Approvals Required:

Submittal Date

City, Town, Village Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Place Floating Zone</u>	_____
City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Site Plan</u>	_____
City, Town Zoning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Variance</u>	_____
City, County Health Department	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Other Local Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Other Regional Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
State Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____

C. Zoning and Planning Information

- Does proposed action involve a planning or zoning decision? Yes No
If Yes, indicate decision required:
zoning amendment zoning variance special use permit subdivision site plan
new/revision of master plan resource management plan other _____
- What is the zoning classification(s) of the site? R-4
- What is the maximum potential development of the site if developed as permitted by the present zoning?

- What is the proposed zoning of the site? Totally affordable senior housing
- What is the maximum potential development of the site if developed as permitted by the proposed zoning?

- Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No
- What are the predominant land use(s) and zoning classifications within a 1/4 mile radius of proposed action?
Design shopping, residential, multi-family residential
- Is the proposed action compatible with adjoining/surrounding land uses within a 1/4 mile? Yes No
- If the proposed action is the subdivision of land, how many lots are proposed? N/A
a. What is the minimum lot size proposed? _____
- Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No
- Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? Yes No
a. If yes, is existing capacity sufficient to handle projected demand? Yes No
- Will the proposed action result in the generation of traffic significantly above present levels? Yes No
a. If yes, is the existing road network adequate to handle the additional traffic? Yes No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Joseph J. Plau, P.E. Date 2/11/07
Signature [Signature] Title Applicant's Engineer

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

**RESOLUTION OF THE PLANNING BOARD CONTAINING ITS REPORT
ON THE SPECIAL USE PERMIT APPLICATION
FOR A SENIOR HOUSING DEVELOPMENT**

*Vails Gate Senior Housing
PB # 07-01*

WHEREAS, an application was made to the Town Board of the Town of New Windsor for special use permit by Warwick Properties (the "applicant") for a project described as the "Vails Gate Senior Housing" development;

WHEREAS, the subject site consists of 4.1 acres of land and comprised of one tax map parcel in the Town of New Windsor identified on the tax map as section 46, block 1, and lot 46 (SBL 46-1-46) located near Route 32 in the Town of New Windsor, New York;

WHEREAS, the action involves a request for a special use permit and site plan approval for ninety-six (96) one-bedroom housing units to be restricted as senior housing, and related site improvements;

WHEREAS, the applicant has also applied to the Planning Board for site plan approval;

WHEREAS, the proposed development is subject to the Town of New Windsor Zoning Code § 300-18(J) setting forth the procedures applicable for senior citizen housing special use permits;

WHEREAS, the applicant has submitted a fully executed short form Environmental Assessment Form ("EAF") pursuant to the New York State Environmental Quality Review Act ("SEQRA");

WHEREAS, New York General Municipal Law § 239 requires the referral of both the special use permit and site plan applications to the Orange County Planning Department ("OCPD") for its review and comment;

WHEREAS, on June 28, 2007 the Town Board referred the application to the Planning Board for its consideration and report pursuant to Zoning Law § 300-18(J)(3); and

WHEREAS, the Planning Board wishes to act on the Town Board's request for a report, and to take certain procedural steps in connection with the special use permit application;

NOW, THEREFORE, the Planning Board resolves as follows:

1. The Planning Board finds that the proposed location is appropriate for a senior citizen housing development, given its location to nearby businesses in Vails Gate, and further that there is a need for housing for senior citizens in the Town of New Windsor; and

2. The Planning Board directs that this resolution shall serve as the Planning Board's report under Zoning Law § 300-18(J)(3), and that a copy of this resolution be provided to the Town Board for its review; and

3. Both the special use permit application and site plan application approvals are actions subject to SEQRA. Given that the Planning Board must review the site plan application which will contain the specific engineering and design details regarding the project, the Planning Board hereby declares its intent to serve as lead agency for SEQRA purposes, and further directs that a lead agency circulation notice be prepared and sent to all other involved and interested agencies;

4. Given that both the special use permit application and site plan application approvals are actions subject to SEQRA, the Planning Board recommends that the Town Board defer further action on the special use permit application until after the requirements of SEQRA are completed.

Upon motion made by Member VanLeeuwen, seconded by Member Schlesinger, the foregoing resolution was adopted as follows:

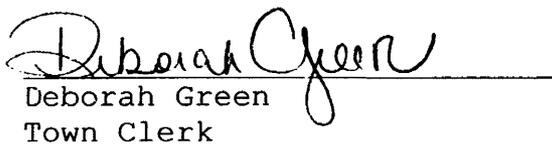
Member, Daniel Gallagher	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Howard Brown	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Neil Schlesinger	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Member, Henry Vanleeuwen	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
Chairman, Genaro Argenio	<input checked="" type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent
- - -				
Alternate, Henry Schieble	<input type="radio"/> Aye	<input type="radio"/> Nay	<input type="radio"/> Abstain	<input type="radio"/> Absent


Genaro Argenio, Chairman

Dated: July 25, 2007
New Windsor, New York

Filed in the Office of the Town Clerk on this 12th day
of ~~May~~, 2007.

July
Supt.


Deborah Green
Town Clerk

TOWN OF NEW WINDSOR

555 Union Avenue
New Windsor, New York 12553
Telephone: (845) 563-4610
Fax: (845) 563-4693

INFRASTRUCTURE COMMITTEE

PROJECT REVIEW SHEET

TO: PLANNING BOARD

P.B. FILE: 07-01 DATE RECEIVED: TAX MAP #: 46-1-46

THE MAPS AND/OR PLANS FOR: *Jonah Mandelbaum*

Applicant or Project Name: New Windsor Senior Housing

SITE PLAN: , SUBDIVISION: ,

LOT LINE CHANGE: , SPECIAL PERMIT: **X**

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE
RETURNED TO PLANNING BOARD WITH:

X NO RECOMMENDATIONS

THE FOLLOWING RECOMMENDATIONS:

Notes:

Signature: *Joyce A. Green* Date: *8/8/07*
Reviewed by: Date:

**OFFICE OF THE PLANNING BOARD
TOWN OF NEW WINDSOR
ORANGE COUNTY, NY
NOTICE OF DISAPPROVAL OF PLANNING BOARD APPLICATION**

PLANNING BOARD FILE NUMBER: 07-01

DATE: 10-19-07

APPLICANT:

Warwick Properties
1 Crescent Avenue
Warwick, NY 10990

PLEASE TAKE NOTICE THAT YOUR APPLICATION:

DATED: Revised 10/30/07

FOR: SITE PLAN

#2 ZBA - 11-5-07
APPROVED

LOCATED AT: Off NYS Route 32

ZONE: R-4

DESCRIPTION OF EXISTING SITE: SEC: 65 BLOCK: 2 LOT: 29

IS DISAPPROVED ON THE FOLLOWING GROUNDS:

Variance for Senior housing density
(18units/acre permitted = 66) (25units/acre proposed = 91)

Variance for off-street parking
(91 spaces required) (66 spaces provided)

Variance to Section 300-18-H(7)(a)[4] (Each principal building will be not less than 25 feet from any parking area, roadway and/or curb. If such area includes a sidewalk, the setback shall be measured from the building side of the walk.

Variance to provisions of Section 300-18 I:

	<u>REQUIRED</u>	<u>PROVIDED</u>	<u>VARIANCE REQUESTED</u>
300-18-I [3] [e] - Door Thresholds	Flush w/floor	meet NYS H.C. Code	To Comply w/NYS
300-18-I [4] [i] - Door Thresholds	Flush w/floor	meet NYS H.C. Code	To Comply w/NYS
300-18-I [4] [g] - Electric outlets	24" off floor	16" off floor (Per National Electric Code)	8"

TOWN OF NEW WINDSOR CODE: Senior Housing Regulations – Section 300-18 & 300-18.1

Mark J. Edsall, P.E., P.P.

Mark J. Edsall, P.E., P.P. @
Engineer for the Planning Board

NOTICE OF DISAPPROVAL OF PLANNING BOARD APPLICATION - Continued

REQUIREMENTS

P.B. # **07-01**

ZONE: **R-4**

USE: **Senior Citizen Housing (Town Bd. Spec.Pmt)**

	REQUIRED	PROPOSED	VARIANCE REQUESTED
SITE DENSITY	18 units/acre =66	25 units/acre =91	25 units
MIN. LOT AREA (Net)	2.0	3.7	-
REQUIRED FRONT YARD	25 ft	31 ft	-
REQUIRED SIDE YARD	25 ft	25 ft	-
REQUIRED TOTAL SIDE YARD	50 ft	50 ft	-
REQUIRED REAR YARD	25 ft	25 ft	-
REQUIRED FRONTAGE	-	-	-
MAX. BLDG. HT.	3 stories or 50'	3 stories < 50'	-
FLOOR AREA RATIO	-	-	-
MIN. LIVABLE AREA			
DEVELOPMENTAL COVERAGE	85%	<85%	-
O/S PARKING SPACES	91 spaces	66 spaces	25 spaces

PLEASE COMPLETE THE ENCLOSED ZONING BOARD APPLICATION AND RETURN TO THE ZONING BOARD SECRETARY AS INSTRUCTED IN THE APPLICATION PACKAGE. YOU WILL THEN BE PLACED ON THE NEXT AVAILABLE AGENDA FOR THE ZONING BOARD OF APPEALS.

CC: Z.B.A., APPLICANT, P.B. ENGINEER, P.B. FILE



MEMORANDUM

TO: Dominic Cordisco, Esq.

CC: George A. Green, Supervisor

FROM: Michael Blythe, Esq.

DATE: October 31, 2007

SUBJECT: Warwick Properties (New Windsor Senior Housing)

It appears that the developer is operating one or more of its other projects under either Private Housing Finance Law Section 125 or PHFL 577(1)(a). Pursuant to that law, Warwick Properties or its counterpart has projects in Warwick, Goshen and Montgomery each of which is paying a PILOT agreement to the respective towns. This is merely to alert you that no final approvals (other than SEQRA) should be granted by the Planning Board until any potential PILOT issue has been analyzed and resolved. If you have any questions please do not hesitate to contact me.

MDB



TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS
Regular Session - Date: OCTOBER 22, 2007
AGENDA

7:30 p.m. – Roll Call

Motion to accept minutes of 8/27/07; 9/10/07; 9/24/07 meetings as written.

PRELIMINARY MEETINGS:

1. **CHRISTOPHER MEE (07-53)** Request for 1 ft. Front Yard Setback and; 5 ft. Side Yard Setback for proposed 10/ X 22' Deck at 738 Mt. Airy Road in an R-3 Zone (66-1-8)
2. **WILLIAM HIGHTOWER (07-54)** Request for 8 ft. Rear Yard Setback for existing detached deck and; 3 ft. Side Yard Setback and 8 ft. Rear Yard Setback for existing 8' X 12' shed and; 18 ft. Rear Yard Setback for existing enclosed porch at 15 Valewood Drive in an R-4 Zone (39-3-23)
3. **EVE FREDA (dba Freda Home Professional Office/RLF Management Inc.) (07-55)** Request for Variance to the provisions for Home Professional Offices which restricts the operation to employ no more than one person. Applicant proposes to employ five employees in the business. Applicant proposes a total of seven off-street parking spaces (Definitions - Section 300-89) in an R-4 Zone (47-1-35) **As referred by Planning Board:**
4. **NEW WINDSOR SENIOR PROJECT (07-56)** Request for variances to construct senior housing project in Vails Gate area (as referred by Planning Board (07-01)) in an R-4 Zone (46-1-46)

PUBLIC HEARINGS:

5. **ANTHONY GILLMEIER (07-43)** Request for 4.5ft side yard setback and; 6ft rear yard setback for existing shed at 112 Cedar Avenue in an R-4 zone (18-3-12)
6. **JEFFREY DUNKO (07-48)** Request for 4 ft. Side Yard Setback and; 5 ft. Rear Yard Setback for proposed pool at 2518 Constitution Way (The Reserve) in an R-3 Zone (77-7-18)
7. **FRANCES HALES (07-51)** Request for 15.5 ft Side Yard Setback and; 2.5 ft Total Side Yard Setback and; 19 ft. Rear Yd Setback for proposed addition at 109 Erie Ave in an R-4 Zone (26-1-10)
8. **JOANN MANGIARACINA (07-52)** (As referred by the Planning Board) Request for :

REQUIRED SIDE YARD - SILO	40 ft.	2.3 ft	37.7 ft.
REQUIRED SIDE YARD - BARN	40 ft.	24.3 ft.	15.7 ft.

for existing Barn and Silo at 122 Toleman Road in an R-3 Zone (56-1-56)

9. **JONATHAN GODFREY (07-49)** Request for 5 ft. Side Yard Setback and; Variance of [300-11-A-3 No accessory building shall project nearer to the street on which the principal building fronts than such principal building.] for proposed pole barn at 271 Riley Road in an R-3 Zone (35-1-86.2)
10. **LAPIDUS/KOCH (07-57)** Request for variance of 4,164 s.f. of minimum lot area for Lot #1 (As referred by Planning Board) located on Lake Road in an R-4 Zone (58-5-1)

(NEXT MEETING – MONDAY, NOVEMBER 5, 2007 – 7:30 P.M.)

July 25, 2007

DISCUSSION

VAILS GATE SENIOR HOUSING (07-01)

MR. ARGENIO: Discussion item number six, Vails Gate senior housing to the town board. We talked about this a few times, gentlemen, and nothing has really changed, just that either there is procedural items that have to be conducted in a certain fashion.

MR. VAN LEEUWAN: So moved Mr. Chairman.

MR. ARGENIO: Wait a second. I want everybody to know what we're doing. Mike, don't leave in case I need you. Dominic, would you share with us briefly how this procedure goes just so the other board members have the benefit of understanding it? I understand it, but I want them to have the benefit of it.

MR. CORDISCO: I will be happy to do so. This of course is the first application that's coming in under the town's new law, it's section 300-18J of your zoning law for affordable senior housing. Actually for senior housing this happens to be a totally affordable project that's being proposed.

The law contemplates that there would be a joint application, actually requires that there would be a joint application to both the town board and the town board would consider whether or not it would grant a special use permit for the project. The special use permit serves the function of saying that the site is an appropriate location for senior housing in the town.

And at the same time the planning board application that would also come in would be the site specific application, the site plan where the planning board would be looking at the design and engineering details and zoning compliance issues for that site plan.

The law of course also requires that there's compliance with SEQRA and SEQRA is something that has to be conducted and has to be completed and satisfied before either the special use permit could be granted or the planning board

July 25, 2007

could grant site plan approval.

It's probably preferable that the planning board would serve as lead agency for a coordinated review because the planning board is going to be looking at the detailed engineered drawings for this particular site. So they would be able to evaluate impacts such as storm water and traffic which is what the planning board typically does.

MR. ARGENIO: Certainly we have much more experience than that.

MR. CORDISCO: Correct. Procedurally where the applicant is now there have been applications filed with both the town board for special use permit and with the planning board for site plan approval. The town board has written to the planning board asking for its recommendation on the special use permit and that's a process that's contained in the existing law that the town board will basically refer to the planning board and ask the question do you concur, what is your opinion or recommendation as to whether or not this site is appropriate for senior housing.

MR. ARGENIO: So the question is then to the planning board from the town board, I'm going to try to summarize a little bit, we've all spoken about this at prior meetings, the question is is the Mandabout (phonetic spelling) site in Vails Gate behind Rite Aid, Dominic --

MR. EDSALL: I'm sorry, we're working on the resolution.

MR. ARGENIO: The question to the planning board is is the Mandabout site in Vails Gate behind Rite Aid appropriate for senior citizens housing, is that correct?

MR. CORDISCO: That's correct. And it's limited, I think, just to that particular issue.

MR. ARGENIO: Just to that particular issue

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and just to that particular site.

MR. CORDISCO: Right. It's not an approval of the site plan, it's not an approval of the particular layout that's been shown to date.

MR. ARGENIO: Understood. Neil, how are you with that?

MR. SCHLESINGER: I thought we already addressed it.

MR. ARGENIO: Neil, this is the formal maneuver. Yes, we did address it already.

MR. SCHLESINGER: Yes.

MR. ARGENIO: This is the formal part. Howard?

MR. BROWN: Yes, I feel it meets the guidelines that were set forth.

MR. ARGENIO: Dan, what do you think?

MR. GALLAGHER: I agree.

MR. ARGENIO: Mr. Van Leeuwen?

MR. VAN LEEUWEN: I make the motion.

MR. SCHLESINGER: Second.

MR. ARGENIO: I agree, too. I just had to vote whether or not we agree that that's an appropriate location.

MR. VAN LEEUWEN: The best location in town. Only location.

MR. CORDISCO: And if I could just go a little bit further, I've taken the liberty of preparing a written resolution for you to consider and I would suggest that you consider adopting that it actually contains a number of steps and they're all procedural in nature apart from the first one. The first one is that what you are already inclined to do that

July 25, 2007

the location is appropriate for senior housing, step number one. Step number two says that the, this resolution would serve as your report back to the town board. So we send the town board this resolution and it would serve as this, as the report that they've asked for.

Step number three acknowledges that the application for both special use permit and the site plan are subject to SEQRA and that the planning board would declare its intent to serve as lead agency for SEQRA and direct that that circulation notice be sent around.

And number four is a recommendation to the town board that given that SEQRA has yet to be completed that while they may receive a report they not take any action on granting the special use permit until after SEQRA is complete.

MR. ARGENIO: Okay. Let me close this, please. Do we need to accept what you just read in in the form of a motion, Dominic?

MR. CORDISCO: I think if you could adopt the resolution as written.

MR. ARGENIO: We will adopt the resolution.

MR. CORDISCO: As written, and I think it doesn't need to be anymore complicated than that.

MR. ARGENIO: Do we need a motion --

MR. CORDISCO: Yes, a motion and a second.

MR. VAN LEEUWEN: Motion.

MR. ARGENIO: Motion that we accept the motion that we adopt the resolution as written.

MR. SCHLESINGER: Yes, second.

MR. ARGENIO: Motion made and seconded that the Town of New Windsor Planning Board adopt the resolution for the senior housing in Vails Gate as written in the form it's in right now. If there's no further discussion from the

July 25, 2007

board members I will have a roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Thank you, Dominic.

**DRAKE LOEB HELLER
KENNEDY GOGERTY
GABA & RODD_{PLLC}
ATTORNEYS AT LAW**

555 Hudson Valley Avenue, Ste. 100
New Windsor, New York 12553

Phone: 845-561-0550
Fax: 845-561-1235
www.drakeloeb.com

James R. Loeb
Richard J. Drake
Glen L. Heller*
Marianna R. Kennedy
Gary J. Gogerty
Stephen J. Gaba
Adam L. Rodd

Dominic Cordisco
Jeanne N. Tully
Timothy P. McElduff, Jr.
Kathleen E. Sheridan

*LL.M. in Taxation

October 10, 2007

BY EMAIL AND FIRST CLASS MAIL

Michael Blythe, Esq.
Town Attorney
Town of New Windsor
555 Union Avenue
New Windsor, New York 12553

Re: Warwick Properties; Planning Board File No. 07-01
Our File No.: 12132 - 6085904

Dear Michael:

You asked for an update regarding the status of the SEQR review for this site plan application, which seeks approval for a 96 unit age-restricted development on a +/- 4.1 acre site adjacent to New York State Route 32 near Vail's Gate.

The plans and application material (including a short form EAF) were submitted and reviewed at the January 27, 2007 Planning Board meeting. At that time, the Town Board had yet to adopt the zoning amendments that would allow this particular project to move forward. As a result, the plans were reviewed on a concept basis only. Towards that end, the Planning Board consulting engineer provided comments on the conceptual plans, noting that the plans lacked any detail regarding bulk area compliance. In addition, the consulting engineer noted that even if the zoning amendments were adopted as proposed by the Town Board, the plans would likely require several variances.

Thereafter, the Town Board adopted the zoning amendments. Warwick Properties submitted revised plans on August 20, 2007. Those plans were reviewed at the September 12, 2007 Planning Board meeting. At that meeting, the consulting engineer noted that the revised plans were incomplete, for several reasons. First, information on the plans was inaccurate or incomplete. Second, from what information was included on the plans, several variances are necessary. The full extent of required variances could not be determined, however, as the plans lacked critical information. The Planning Board declared that the application was incomplete, and also agreed to refer the application to the ZBA once the applicant corrected the plans to provide the missing information. This is important as it would be wise to identify all necessary variances prior to the ZBA referral; that way, a second trip to the ZBA can be avoided. Lastly, the plans once again were reviewed solely on a conceptual basis. A detailed technical review will not occur until after the ZBA process has concluded.

It is my understanding that the applicant has yet to revise the plans, and thus the ZBA referral has not yet occurred. Furthermore, it is my understanding that the current

Writer's Direct
Phone: 845-458-7316
Fax: 845-458-7317
dcordisco@drakeloeb.com

plans were disapproved by the Fire Inspector. Obviously the plans will need to be modified to address the Fire Inspector's concerns.

Regarding SEQR in particular, there are two concerns. First, the ZBA will have to conduct its own SEQR review for the required variances. Second, the Planning Board, as lead agency for the development, will have to complete its SEQR review upon the application's return from the ZBA. Hopefully, at that time, the plans will be more complete, with all necessary variances in place, so a more detailed technical review can get underway.

At this point, any further SEQR action by the Planning Board would be premature. The applicant, to my knowledge, has yet to provide corrected plans, let alone any detailed information regarding the most obvious of SEQR impacts, including traffic, stormwater, and visual impacts.

That said, I am sure that the Planning Board recognizes that there is a strong need for a project serving the needs of New Windsor's seniors, and given that, I am sure that the Planning Board will expeditiously process a complete application when it one has been submitted.

The issues outlined above have been set forth in writing by the consulting engineer and provided to the applicant. I enclose copies for your use.

Should you require anything further, please do not hesitate to ask.

Very truly yours,



DOMINIC CORDISCO

DRC/rt
Enclosure

cc: Genaro Argenio ✓
Mark J. Edsall, P.E.

NEW_WINDSOR_SENIOR_HOUSING_(07-01)

MR. ARGENIO: New Windsor Senior Housing. This application proposes development of 96 one bedroom senior citizen housing units on 4.1 acre parcel. Application was reviewed on a concept basis. Can I have your names?

MR. MANDELBAUM: Jonah Mandelbaum, I'm the developer.

MR. EWALD: Travis Ewald from Pietrzak & Pfau.

MR. ARGENIO: Go ahead, what do you have to tell us?

MR. EWALD: We have proposed 96 affordable senior housing units to be constructed in two proposed buildings, a 42 unit and 54 unit building. On this building there will always be a super's apartment. Currently, we meet the zoning regulations for the senior housing district with the exception of lot density.

MR. ARGENIO: Wait a second, say that again.

MR. EWALD: I believe it's senior housing.

MR. ARGENIO: The whole statement.

MR. EWALD: Our bulk regulations meet the senior housing zoning regulations with the exception of lot density and I believe parking requirements.

MR. ARGENIO: Mark, we don't have senior housing regulations, do we?

MR. EDSALL: We've got an existing Section 300-18.

MR. EWALD: That's what I was referring to.

MR. EDSALL: But there are some pending zoning changes

that have not yet become law.

MR. ARGENIO: Go ahead.

MR. EWALD: Pretty much we have a sketch plan before you for review and comment.

MR. ARGENIO: So you meet it except for?

MR. EWALD: I believe we meet except for the density and the parking calculations.

MR. MINUTA: How over are you on the density?

MR. EWALD: We're proposing 24 units per acre and I believe it's 18 per acre, is that correct?

MR. ARGENIO: Mark, is that correct?

MR. EDSALL: Sorry? I was just going over one of these items.

MR. ARGENIO: He's proposing 24 units per acre, he says 18 are allowed under the current law.

MR. EDSALL: Current zoning allows 6.22.

MR. EWALD: Is 18 the one that's being reviewed?

MR. EDSALL: I don't know what form the Town Board's going to adopt, we don't have that as of yet.

MR. ARGENIO: Maybe he's referring to the senior zoning.

MR. CORDISCO: The draft.

MR. ARGENIO: The draft copy that's not law yet.

MR. EDSALL: There's two sections that are currently

proposed and under consideration by the Town Board, one's called senior citizen housing and then that has an affordable component, certain percentage, then there's another section of the code that's being considered that's called totally affordable senior citizen housing which would have 100 percent of the units meet the affordability requirements and I believe that one does have the higher density.

MR. ARGENIO: That's 18.

MR. EDSALL: As the last version I've heard about.

MR. ARGENIO: Why are you proposing 24 if--

MR. MANDELBAUM: To make it financially, what it costs to do the whole application when you consider density plus the market there if you check the market study in this area, actually, these are not enough, it's not enough, we can fill these in one day, the market study.

MR. ARGENIO: I'm not worried about filling them, I'm worried about it being too many units. This is not Monticello nor Port Jervis, it's New Windsor.

MR. MANDELBAUM: I understand.

MR. ARGENIO: Go ahead.

MR. EWALD: Basically we're seeking any input on the concept of the project and the location of the buildings and the proposed parking.

MR. ARGENIO: Okay, this is our first time seeing it, I'm going to tell you what I think and--

MR. VAN LEEUWEN: Can I ask a question?

MR. ARGENIO: Yeah.

MR. VAN LEEUWEN: What do you need from us tonight?

MR. MANDELBAUM: Honest, we were only here two days ago and we're on the agenda, we were waiting for your zoning to be, that would be in effect and so to have the zoning so we know what we're working with.

MR. ARGENIO: What they need, I think what you need is the, is to have the zoning in place so we can then I would think refer you to the zoning board, I would think that would be the way to go, but I'm going to just I'd like to give you a couple thoughts, Mr. Mandelbaum.

MR. MANDELBAUM: Call me Jonah.

MR. ARGENIO: Based on the numbers 6.2 to 8 to 24 is a lot of units but having said that I will tell you that I think that this is a great location for this project. I don't think I could think of a better location for this project cause when you get into that area of the Town there's certainly not a lot of room left, especially lots of this size and within walking distance of you have probably four pharmacists, Hannaford's, Shop Rite, Price Chopper, you have dry cleaning, you have entertainment, you have the insurance place, you have everything anybody could possibly need.

MR. MANDELBAUM: Within walking distance.

MR. ARGENIO: It's great but--

MR. VAN LEEUWEN: Can I say something? Correct me if I'm wrong, you have a contract on this, correct?

MR. MANDELBAUM: Correct.

MR. VAN LEEUWEN: And from what I heard from George today is that you're looking to back out of it?

MR. MANDELBAUM: I didn't hear it yet but they'll get back to me.

MR. VAN LEEUWEN: That's the problem, this actually was my idea, I brought Jonah into Town Hall and said we need senior citizens housing, we've needed it for years.

MR. ARGENIO: We have recognized that as a Town for years.

MR. VAN LEEUWEN: We never got it, okay, I have suggested this parcel before, he's paying a lot of money for this parcel, I was there during the negotiation.

MR. ARGENIO: I think it's a good location.

MR. VAN LEEUWEN: It's the best.

MR. MANDELBAUM: Our hands are tied.

MR. ARGENIO: This is behind RAL on Route 32.

MR. MANDELBAUM: Behind the pharmacy.

MR. ARGENIO: It's a great spot.

MR. MINUTA: The building to the north is RAL.

MR. SCHLESINGER: What's the dog leg up on the top?

MR. MANDELBAUM: That's part of the land.

MR. SCHLESINGER: That's the way the cookie crumbled?

MR. MANDELBAUM: That's the way it was from way back.

MR. SCHLESINGER: You're proposing putting in a road?

MR. EWALD: From here there's an easement right there.

MR. MANDELBAUM: Between RAL and CVS.

MR. MINUTA: The easement would be acceptable rather than road frontage or is that a zoning issue?

MR. EDSALL: Well, again, it's zoning cause there's a minimum frontage requirement and again I don't know what the new zoning if it's going to require frontage or if it's going to be treated like the commercial accessway where you need to only have access but you don't need to have frontage on a Town road right now, it would need to have a variance.

MR. ARGENIO: So Jonah, I think the feedback that you're getting here is that and correct me any of my members if you disagree is that it's a great place for that project, certainly is a great place for it and it's something that we have needed in the Town for years. My personal opinion is that's a lot of units and I don't know the economics of it, I don't pretend to know the economics of it and it's a lot of units but I think that it's a great place for it and in that area you're not going to find a piece of land like that.

MR. MANDELBAUM: I agree, we looked at land around the Town, we wanted that piece when it was definitely the location was ideal not because we think so also the higher authorities, the State Division of Housing who come to inspect the site and when I looked for specific sites, I looked for specific things that I know that they want and they do want the walking distance like you said, I mean, one place they visit the most is pharmacy and the supermarket and they're right there. Those are two places where seniors go the most. So it's right there, they can just walk, they don't need a car, they don't need anything, so the location is definitely ideal, just now the zoning is in the air

right now.

MR. ARGENIO: You were in the audience when I went on my lecture about planning board being an administrative body, I assume, I'm sure you've been around the block, matter of fact I know you've been around the block cause I've done a little bit of research and you're certainly aware that what you're proposing here we're going to have to send you to the zoning board but what I think I need you to do, you've got a little bit of feedback from us and certainly Mr. Van Leeuwen was not ambiguous or vague, I don't think I was ambiguous or vague either, I think we like this project but in my opinion, it's very dense, there's a lot of units there. What you need to do is come up with a plan that you want to go forward with and maybe it's this plan and list what you need there for zoning, what variances you're going to need.

MR. MANDELBAUM: With the current zoning that's all we have to work with.

MR. ARGENIO: With the current zoning or I don't know what the status is of that law, I mean, the planning board reviewed the senior housing regulations a few months ago and we signed off on it a long time ago, I don't know what the status is.

MR. VAN LEEUWEN: It's imminent.

MR. ARGENIO: Next week?

MR. VAN LEEUWEN: Probably.

MR. ARGENIO: I would wait till the senior zoning is passed and then I would come back and I would do my plan and my variance request based on that as long as it does go into effect.

MR. BABCOCK: Mr. Chairman, can I just say one thing, I

think that they're going to need these variances no matter what, even the new zoning, they have said that they're not going to meet the density of what the draft is, so I think they should just prepare it now because they're going to need variances from whatever code if the zoning happens to change in the meantime we can change the numbers as it goes.

MR. ARGENIO: That's what I'm saying when Jonah and his engineer prepare it they should prepare it based on--

MR. BABCOCK: Today's code, they should base it on today's code and we'll get you headed to the right direction.

MR. MANDELBAUM: Two sets of plans?

MR. ARGENIO: I don't want two sets of plans.

MR. MANDELBAUM: Just said new zoning might be implemented next week so if it's implemented we can set up a map based on that zoning, wait for the new zoning and just get going.

MR. ARGENIO: Henry seems to be fairly informed and I know from experience that he normally is fairly informed or he wouldn't be speaking out of school.

MR. MANDELBAUM: We'll wait for the new zoning.

MR. ARGENIO: Thank you.

MR. MINUTA: The size of the unit and number of bedrooms?

MR. MANDELBAUM: They're all one bedroom around 700 square feet plus or minus, might be 678.

MR. BROWN: What's the minimum age?

January 24, 2007

53

MR. MANDELBAUM: You qualify.

MR. ARGENIO: I think it's 55.

MR. MANDELBAUM: Put your name on the list now. Everything we've done always has been a one bedroom where two and three bedrooms for the superintendent lives on the site full time. The age limit is 55 but on the average they're all about in their 70's, there isn't an age limit, believe it or not, used to be under the 60's but under executive order, they made it 55 so that's the age we have to go by and also have certain income criteria, very strict, strict income criteria designated by HUD for each county within the whole country and based on that, there's a percentage of that income and a formula that we work by, we have to give that to the state, application to the state is about 12 inches thick and that's one of those things, hurry up, give it to us and hurry up and wait.

MR. ARGENIO: Okay, you have your direction. Thank you.

(Whereupon, Mr. VanLeeuwen left the room.)



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)
 WILLIAM J. HAUSER, P.E. (NY & NJ)
 MARK J. EDSALL, P.E. (NY, NJ & PA)
 JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
 33 AIRPORT CENTER DRIVE
 SUITE 202
 NEW WINDSOR, NEW YORK 12553

(845) 567-3100
 FAX: (845) 567-3232
 E-MAIL: MHENY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
 MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WARWICK PROPERTIES SENIOR CITIZEN HOUSING SITE PLAN
PROJECT LOCATION: OFF NYS ROUTE 32
 SECTION 46 – BLOCK 1 – LOT 46
PROJECT NUMBER: 07-01
DATE: 24 JANUARY 2007
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF NINETY-SIX (96) 1-BEDROOM SENIOR CITIZEN HOUSING UNITS ON THE 4.1+ ACRE PARCEL. THE APPLICATION WAS REVIEWED ON A CONCEPT BASIS.

1. In addition to the normal review requirements for site plans, the application is subject to Section 300-18 of the Town Code. That section requires as a first step issuance of a Special Permit from the Town Board.
2. We are aware the Town Board is considering amendments to the Code for Senior Citizen Housing projects; however, to date these are not law. As such, the project must be reviewed relative to the current 300-18 provisions. As such, the bulk information on the plan is incorrect. The current values are as follows:

- Lot Area 5 Acres (min)
- Unit Density 7000 s.f. per unit (ie 6.22 units per net acre).
- Lot Width 20 ft. (min)
- Front Yard 30 ft. (min)
- Side Yard 35 ft. (min) (if provided).
- Rear Yard 100 ft. (min)
- Street Frontage 15 ft. (min)
- Building Height 35 ft. (min)
- FAR N/A
- Livable Area 1000 s.f. (min) (per unit)
- Development Coverage 50% (max)
- Off-Street parking 2 spaces per unit

Based on the application submitted, it would appear several variances are required.

REGIONAL OFFICES

- 111 WHEATFIELD DRIVE – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •
- 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

3. The applicant should correct the bulk table and add two additional columns, "Provided" and "Variance Required" which would indicate the exact values proposed for the application and the exact amount of variance required for each item, such that a proper referral can be made.

Respectfully Submitted,

Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

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NW07-01-24Jan07.doc



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. MCGOEY, P.E. (NY & PA)
 WILLIAM J. HAUSER, P.E. (NY & NJ)
 MARK J. EDSALL, P.E. (NY, NJ & PA)
 JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
 33 AIRPORT CENTER DRIVE
 SUITE 202
 NEW WINDSOR, NEW YORK 12553

(845) 567-3100
 FAX: (845) 567-3232
 E-MAIL: MHEHY@MHEPC.COM

WRITER'S E-MAIL ADDRESS:
 MJE@MHEPC.COM

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS

PROJECT NAME: WARWICK PROPERTIES SENIOR CITIZEN HOUSING SITE PLAN
PROJECT LOCATION: OFF NYS ROUTE 32
 SECTION 46 – BLOCK 1 – LOT 46
PROJECT NUMBER: 07-01
DATE: 12 SEPTEMBER 2007
DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF NINETY-SIX (96) 1-BEDROOM SENIOR CITIZEN HOUSING UNITS ON THE 4.1+ ACRE PARCEL. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 24 JANUARY 2007 PLANNING BOARD MEETING.

1. The application is for a "Totally Affordable" Senior Housing Complex, and is subject to Sections 300-18 and 300-18A of the Town Code.

Based on the submittal required, the applicant is indicating a need for a referral to the Zoning Board of Appeals since full zoning compliance with those sections is not obtained based on the application before the Board. The applicant notes variances are required for unit density (number of housing units on property) and for on-site parking. I have reviewed the bulk information on the plan, such that a referral can be prepared by the Planning Board. Note the following:

- The "net" lot area must also deduct the stream/wetland area. Please provide final "net area" value on plan to be referred to ZBA. [see 300-18.1 E (1) (a)].
- The superintendent's unit is included in the unit count as a unit. As such the unit count is 97, not 96. [see 300-18 E (1) (b)].
- Site density and parking values should be corrected on the plans submitted for referral to the ZBA, as per above listed code provisions.
- It would appear that the plan may require a variance from 300-18-H (7) [4] since the buildings are not spaced a minimum of 25 ft. from all parking areas. This should be reflected on the plan.
- The applicant should carefully review the layout provisions of 300-18 and 300-18A to verify no other area type variances are required.

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 • 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

2. A referral to the Zoning Board of Appeals is necessary at this time. *It is my recommendation that the Board deem the application "incomplete"*, since the Board can take no action on this application until such time that all necessary variances are obtained.
3. A detailed review of the plans submitted has not been made at this time, as the focus of the attention is currently on the necessary variances for the project. Further reviews will be made following the ZBA action.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

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NW07-01-12Sept07.doc

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 09/12/2007

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 7-1

NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	09/12/2007	MUNICIPAL FIRE . SAME AS JANUARY REVIEW	09/12/2007	DISAPPROVED
ORIG	01/19/2007	MUNICIPAL HIGHWAY	01/24/2007	APPROVED
ORIG	01/19/2007	MUNICIPAL WATER	/ /	
ORIG	01/19/2007	MUNICIPAL SEWER	/ /	
ORIG	01/19/2007	MUNICIPAL FIRE . INSUFFICIENT FIRE LANES, SIZE AND OCCUPANCY WILL CALL FOR . FILRE LANES ON FRONT AND REAR OF THE BUILDINGS.	01/22/2007	DISAPPROVED
ORIG	01/19/2007	NYS DOT	/ /	

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 01/19/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES
ESCROW

FOR PROJECT NUMBER: 7-1
NAME: NEW WINDSOR SENIOR HOUSING PA2006-1075
APPLICANT: WARWICK PROPERTIES

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
01/11/2007	REC. CK. #0365	PAID		2000.00	
		TOTAL:	0.00	2000.00	-2000.00


1/22/07

TOWN OF NEW WINDSOR

SITE PLAN FEES

SPECIAL PERMIT: (FLAT FEE) \$250.00

APPLICATION FEE: \$ 125.00
ESCROW: (\$750.00 - \$2,000.00) \$ _____

MULTI-FAMILY ESCROW:
\$100.00 EA. FOR FIRST 40 UNITS \$ _____ (A)
EA. OVER 40: _____ @ \$25.00 / UNIT \$ _____ (B) TOTAL A & B: \$ _____

PLAN REVIEW FEE: (EXCEPT MULTI-FAMILY) \$ 125.00

PLAN REVIEW - MULTI-FAMILY: \$ 100.00 (A)
PLUS \$25.00/UNIT \$ _____ (B) TOTAL A & B: \$ _____

RECREATION FEE: (MULTI-FAMILY ONLY)

_____ UNITS @ \$2,000.00 PER UNIT \$ _____

PERFORMANCE BOND / COST ESTIMATE AMOUNT \$ _____

INSPECTION FEE:

2% PRIVATE IMPROVEMENTS \$ _____
4% PUBLIC IMPROVEMENTS \$ _____

TO BE DEDUCTED FROM ESCROW:

ESCROW POSTED: \$ _____

P.B. ENGINEER FEE \$ _____
P.B. ATTY. FEE \$ _____
MINUTES OF MEETING \$ _____
OTHER \$ _____
TOTAL DEDUCTION: \$ _____

REFUND: \$ _____
AMOUNT DUE: \$ _____

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#43-2007

01/19/2007

Pietrzak & Pfau Engineering

Received \$ 100.00 for Planning Board Fees, on 01/19/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

PB# 07-01

P.B. # 07-01 Application fee

Town of New Windsor
555 Union Avenue
New Windsor, NY 12553
(845) 563-4611

RECEIPT
#66-2007

01/26/2007

Pietrzak & Pfau Engineering

Received \$ 25.00 for Planning Board Fees, on 01/26/2007. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green
Town Clerk

Myra Mason

From: Mark Edsall [mje@mhepc.com]
Sent: Friday, May 18, 2007 8:53 AM
To: jerry@argeniobros.com
Cc: DCordisco@drakelob.com; jerry@argeniobros.com; Myra Mason; Michael Blythe
Subject: Vails Gate Senior Housing Application

Jerry

Mike Blythe called me yesterday to discuss the procedure for the subject application. I was out of the office on the road, so I was unable to solidify an answer. In addition to answering his question, I took a look at the submittal we have for the PB meeting on Wednesday for the Mandelbaum/VG Senior App.

First, it is important to note that this application is a little more complicated than a usual application. It is subject to the Senior Regs (300-18), is proposed as Totally Affordable (subject also to 300-18A), will require some bulk (area type) variances since it apparently (according to notes on the plan) does not meet the reduced bulk of 300-18A, and ultimately will need PB site plan approval (per 300-86).

Procedurally, I am not sure how the Town Board wants to deal with the application. Do they want to see it before it goes to the ZBA (or have them come to the TB after ZBA). Gerry, do you want to see it prior to ZBA, and if that is the case, the law anticipates a concurrent TB and PB review, this would segment that evaluation, since your initial evaluation is intended to advise the TB of the PB's recommendation for issuance of a special permit, not initiate site plan review. Mike Blythe, possibly you can find about the TB's desire ASAP. Gerry, please advise of your opinion.

As far as a referral to the ZBA, it can come from the PB or Bldg Insp. office. To do so, the plans bulk table must be complete. The one on the plan is not. It provides a net area, but has no wetlands, etc. depicted on the plan so there is no basis for the value. The lot coverage value is wrong, the permitted density is wrong, the front yard value is wrong, the side yard value is wrong, the rear yard value is wrong, the parking requirement is wrong. As such, it would be difficult to refer to the ZBA with so many errors.

Second, the senior regulations have a very specific list of items to be submitted for the initial submittal. Notwithstanding the need to go to ZBA, I would believe the initial submittal should have this content. Note the following checklist of submittal information required for a complete submittal, and the status for this application:

Senior Housing Submittal Checklist

Boundary Survey	depicted (no metes and bounds)
Depict Wetlands	not shown
Depict Topography	not shown
Zone Line (C & R-4)	not shown
Buildings, garages, driveways, walkways	shown
Existing utilities (utilites)	sewer shown (not water or other)
Unit Count and Bedroom Count not indicated)	Unit count shown (bedroom count)
Narrative (details, accessories, amenities)	not submitted

5/18/2007

Full Environmental Assessment Form

not submitted

Based on all of the above, I would submit to you all that:

- 1) we have an incomplete application.
- 2) we cant properly send it to the ZBA with so many errors.
- 3) it is inappropriate that the application be on the agenda next week, as it will just cause confusion.

Mark



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

MAIN OFFICE
33 Airport Center Drive
Suite 202
New Windsor, New York 12553

(845) 567-3100
fax: (845) 567-3232
e-mail: mheny@mhepc.com

Writer's e-mail address:
mje@mhepc.com

TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS
(300-18A Pre-Review – Non-Meeting)

PROJECT NAME: WARWICK PROPERTIES (MANDELBAUM) SITE PLAN
(A/K/A VAILS GATE SENIOR HOUSING PROJECT)
(TOTALLY AFFORDABLE SENIOR HOUSING PROJECT)

PROJECT LOCATION: OFF NYS ROUTE 32
SECTION 65 – BLOCK 2 – LOT 29

PROJECT NUMBER: NOT ASSIGNED

DATE: 19 MAY 2007 (Non-Meeting Pre-Review)

DESCRIPTION: THE APPLICATION PROPOSES THE DEVELOPMENT OF THE 4.14 +/-
ACRE PARCEL WITH NINETY-SIX (96) TOTALLY AFFORDABLE
SENIOR HOUSING UNITS WITHIN TWO (2) 3-STORY BUILDINGS.

1. The submittal has been made to the Planning Board as per the provisions of Section 300-18 J of the code. For reference purposes, such submittal is intended for purposes in support of the request of the applicant to obtain the necessary Special Permit from the Town Board, for which the Planning Board is required to make an initial concept review and provide a recommendation to the Town Board within 45 days of receipt.
2. We have reviewed the submittal received by the Planning Board and have deemed the submittal incomplete for purposes of compliance with Section 300-18 (J). Note the following submittal requirements and the status relative to the submittal received for this application:
 - Boundary Survey – depicted (no metes and bounds)
 - Depict Wetlands – not shown
 - Depict Topography – not shown
 - Zone Lines (C & R-4) – not shown
 - Buildings, garages, driveways, walkways – shown
 - Existing Utilities – sewer shown (not water or other utilities)
 - Unit Count and Bedroom Count – Unit count shown (bedroom count not indicated)
 - Narrative providing details, accessories, amenities – not submitted
 - Full Environmental Assessment Form – not submitted

REGIONAL OFFICES

- 111 Wheatfield Drive – Suite One • Milford, Pennsylvania 18337 • 570-296-2765 •
- 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

3. Given the fact that the only access to the site is via an easement, it is appropriate that the applicant include in the submittal package the deed and easement in support of such access.
4. We have performed a cursory review of the plan submitted and note the following bulk table corrections that must be made:
 - **Net Lot Area** – required is 2 Acres (not 5 as noted) (it is noted that the plan does not depict the wetlands area; therefore, there is no basis for the net area value on the plan. Wetlands must be depicted and subtraction calculated).
 - **Density** – permitted is 18 units per net acre (not 14 as noted).
 - **Development Coverage** – permitted is 85% maximum (not 75% as noted)
 - **Front Yard** – minimum permitted is 25 ft. (not 75 ft. as indicated).
 - **Side Yard** – minimum permitted is 25 ft. (not 50 ft. as indicated).
 - **Rear Yard** – minimum permitted is 25 ft. (not 50 ft. as indicated).
 - **Parking** – minimum is 1 space per unit (not 2 spaces as indicated).
 - **Bulk Values Proposed** – it is insufficient that the table merely indicate the provided value will be less or more than the code limitation. An actual value calculated based on the actual plan submitted is required.
 - **Variances Required** – another column must be added to the table which indicates all variance required and the value of the variance sought. (It would appear that fewer variances will be required once the bulk table is corrected).
5. Another issue which will require a decision from the Town Board is the sequence when the application will be forwarded to the Zoning Board of Appeals. The Senior regulations do not anticipate applications to the ZBA; therefore, no sequence is mandated. The Town Board will need to determine if they want an opportunity to review the submittal and receive a recommendation on the application before or after a referral is made to the ZBA. I have requested that Town Attorney Michael Blythe seek a determination in this regard.
6. It should be noted that this Pre-review should not be considered a full review in conformance with the Town Senior Housing Regulations, since the partial submittal received was incomplete. This partial review is provided as a courtesy and for the convenience of the applicant to assist them in preparing the required complete submission for consideration by the Town Board and Planning Board. Further, the applicant should be aware that the prescribed 45-day comment period does not commence until the regular meeting that the Planning Board receives the complete submittal.

Respectfully Submitted,

Mark J. Edsall, P.E., P.P.
Engineer for the Planning Board

**FIRE INSPECTORS
INTER-OFFICE CORRESPONDENCE**

TO: Genaro Argenio, Planning Board Chairman

FROM: Kenneth Schermerhorn, Asst. Fire Inspector

**SUBJECT: PB07-01
New Windsor Senior Housing
SBL: 65-2-29**

DATE: January 22, 2007

Fire Prevention Reference Number: FPS-07-002

A review of the above referenced site plan has been conducted and is unacceptable for the following reason:

- 1) Insufficient fire lanes, size and occupancy will call for fire lanes on front & rear of the buildings.**



**McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)
WILLIAM J. HAUSER, P.E. (NY & NJ)
MARK J. EDSALL, P.E. (NY, NJ & PA)
JAMES M. FARR, P.E. (NY & PA)

Main Office
33 Airport Center Drive
Suite #202
New Windsor, New York 12553
(845) 567-3100
e-mail: mheny@mhepc.com

Regional Office
507 Broad Street
Milford, Pennsylvania 18337
(570) 296-2765
e-mail: mhepa@mhepc.com

Writer's E-mail Address:
mje@mhepc.com

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

100-3

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: _____

WORK SESSION DATE: Nov 2006 PROJECT: NEW OLD _____

REAPPEARANCE AT W/S REQUESTED: _____ RESUB. REQ'D: _____

PROJECT NAME: NW Senior Housing

REPRESENTATIVES PRESENT: Jonah Madelbaum / Travis Ewald (P&P)

MUNICIPAL REPS PRESENT: BLDG INSP. _____ FIRE INSP. _____
ENGINEER PLANNER _____
P/B CHMN _____ OTHER Hank V.

ITEMS DISCUSSED: _____

STND CHECKLIST: _____

PROJECT TYPE

~~#~~ Zoning ~~#~~ issue
Stu Turner

DRAINAGE _____

SITE PLAN

DUMPSTER _____

SPEC PERMIT

SCREENING _____

L L CHG.

LIGHTING _____

SUBDIVISION

(Streetlights)

LANDSCAPING _____

OTHER

BLACKTOP _____

ROADWAYS _____

ESCROW
\$2,000.00

APPROVAL BOX _____

PROJECT STATUS: _____

ZBA Referral: _____ Y _____ N

Ready For Meeting _____ Y N

Recommended Mtg Date _____

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

PLANNING BOARD APPLICATION

TYPE OF APPLICATION (check appropriate item):

Subdivision _____ Lot Line Change _____ Site Plan XX Special Permit _____

Tax Map Designation: Sec. 65 Block 2 Lot 29
~~46~~ ~~1~~ ~~60~~

BUILDING DEPARTMENT REFERRAL NUMBER PA2006 - 1075

1. Name of Project New Windsor Senior Housing

2. Owner of Record Sorbello Bouyea King Phone _____

Address: 505 N. Riverside Road, Highland, NY 12528
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Warwick Properties Phone _____

Address: One Crescent Avenue, Warwick, NY 10990
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan Pietrzak & Pfau Engineering & Surveying, PLLC Phone 294-0606

Address: 262 Greenwich Avenue, Goshen, NY 10924
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney _____ Phone _____

Address _____
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Pietrzak & Pfau Engineering & Surveying 294-0606
(Name) (Phone)

7. Project Location: On the east side of New York State 32 600 feet
(Direction) (Street) (No.)
north of Old Temple Road
(Direction) (Street)

8. Project Data: Acreage 4.14± Zone R-4 School Dist. New Windsor

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes _____ No XX

***This information can be verified in the Assessor's Office.**

***If you answer yes to question 9, please complete the attached Agricultural Data Statement.**

10. Description of Project: (Use, Size, Number of Lots, etc.) _____
Proposed 96, 1 bedroom affordable housing units

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes _____ no X

12. Has a Special Permit previously been granted for this property? yes _____ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

TERESA PANICO
Notary Public, State of New York
Registration No. 01PA5028266
Qualified in Orange County
Commission Expires May 31, 2010

SWORN BEFORE ME THIS: _____

13th DAY OF December 2006

[Signature]
APPLICANT'S SIGNATURE

[Signature]
NOTARY PUBLIC

Jonah Mandelbaum
Please Print Applicant's Name as Signed

TOWN USE ONLY:

DATE APPLICATION RECEIVED

07-01
APPLICATION NUMBER

AGRICULTURAL DISTRICT NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York has before it an application for ~~Subdivision~~ Site Plan New Windsor Senior Housing for the proposed 96 unit, one bedroom affordable housing (briefly describe project)

As this project may be located within 500' of a farm operation located within an Agricultural District, the TOWN OF NEW WINDSOR is required to notify property owners of property containing a farm operation within this Agricultural District and within 500' of the proposed project.

Owner/Applicant Warwick Properties
Name

Address: One Crescent Avenue
Warwick, NY 10990

Project Location: 65-2-9
Tax Map # Sec., Block, Lot

Street: NYS Route 32

A map of this project is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y.

Date: _____

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr.,
Chairman

07-01

APPLICANT/OWNER PROXY STATEMENT
(for professional representation)

for submittal to the:
TOWN OF NEW WINDSOR PLANNING BOARD

Sorbello Bouyea King, deposes and says that he resides
(OWNER)

at 505 N. Riverside Road in the County of Ulster
(OWNER'S ADDRESS)

and State of New York and that he is the owner of property tax map

(Sec. _____ Block _____ Lot _____)
designation number (Sec. _____ Block _____ Lot _____) which is the premises described in

the foregoing application and that he authorizes:

Warwick Properties
(Applicant Name & Address, if different from owner)

Pietrzak & Pfau Engineering & Surveying, PLLC - 262 Greenwich Avenue, Goshen, NY
(Name & Address of Professional Representative of Owner and/or Applicant) 10924

to make the foregoing application as described therein.

Date: 12/13/06

Theresa Pancer
Witness' Signature

[Signature]
Owner's Signature

[Signature]
Applicant's Signature if different than owner

Representative's Signature

THIS FORM CANNOT BE WITNESSED BY THE PERSON OR REPRESENTATIVE OF THE COMPANY WHO IS BEING AUTHORIZED TO REPRESENT THE APPLICANT AND/OR OWNER AT THE MEETINGS.

07-01

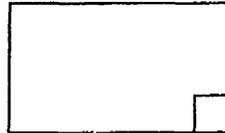
TOWN NEW WINDSOR PLANNING BOARD

SITE PLAN CHECKLIST

ITEM

- 1. XX Site Plan Title
- 2. XX Provide 4" wide X 2" high box (IN THE LOWEST RIGHT CORNER OF THE PLAN) for use by Planning Board in affixing Stamp of Approval. (ON ALL PAGES OF SITE PLAN).

SAMPLE:



- 3. XX Applicant's Name(s)
- 4. XX Applicant's Address
- 5. XX Site Plan Preparer's Name
- 6. XX Site Plan Preparer's Address
- 7. XX Drawing Date
- 8. XX Revision Dates
- 9. XX Area Map Inset and Site Designation
- 10. XX Properties within 500' of site
- 11. XX Property Owners (Item #10)
- 12. XX Plot Plan
- 13. XX Scale (1" = 50' or lesser)
- 14. _____ Metes and Bounds
- 15. XX Zoning Designation
- 16. XX North Arrow
- 17. XX Abutting Property Owners
- 18. XX Existing Building Locations
- 19. XX Existing Paved Areas
- 20. _____ Existing Vegetation
- 21. XX Existing Access & Egress

PROPOSED IMPROVEMENTS

- 22. _____ Landscaping
- 23. _____ Exterior Lighting
- 24. _____ Screening
- 25. _____ Access & Egress
- 26. _____ Parking Areas
- 27. _____ Loading Areas
- 28. _____ Paving Details (Items 25 - 27)
- 29. _____ Curbing Locations
- 30. _____ Curbing through section
- 31. _____ Catch Basin Locations
- 32. _____ Catch Basin Through Section
- 33. _____ Storm Drainage
- 34. _____ Refuse Storage
- 35. _____ Other Outdoor Storage
- 36. _____ Water Supply
- 37. _____ Sanitary Disposal System
- 38. _____ Fire Hydrants
- 39. _____ Building Locations
- 40. _____ Building Setbacks
- 41. _____ Front Building Elevations
- 42. _____ Divisions of Occupancy
- 43. _____ Sign Details
- 44. _____ Bulk Table Inset
- 45. _____ Property Area (Nearest 100 sq. ft.)
- 46. _____ Building Coverage (sq. ft.)
- 47. _____ Building Coverage (% of total area)
- 48. _____ Pavement Coverage (sq. ft.)
- 49. _____ Pavement Coverage (% of total area)
- 50. _____ Open Space (sq. ft.)
- 51. _____ Open Space (% of total area)
- 52. _____ No. of parking spaces proposed
- 53. _____ No. of parking spaces required

57-01

PROJECT I.D. NUMBER

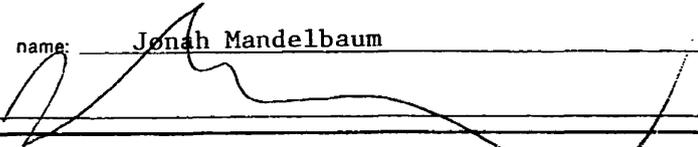
617.21

SEQR

Appendix C

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
 For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Warwick	2. PROJECT NAME New Windsor Senior Housing
3. PROJECT LOCATION: Municipality Town of New Windsor County Orange	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) Six hundred feet (600') north of the intersection of NYS Route 32 and Old Temple Hill Road.	
5. IS PROPOSED ACTION: <input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Construction of two (2) buildings - 96, 1 bedroom senior citizen housing units, with necessary water, sewer, drainage and electric.	
7. AMOUNT OF LAND AFFECTED: Initially <u>4.14±</u> acres Ultimately <u>4.14±</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals Town of New Windsor Planning Board - Site Plan Approval.	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Jonah Mandelbaum</u>	Date: <u>10/31/06</u>
Signature: 	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

1

07-01

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality; surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date

07-01

**State Environmental Quality Review
FULL ENVIRONMENTAL ASSESSMENT FORM**

Purpose: The full EAF is designed to help applicants and agencies determine, in an orderly manner, whether a project or action may be significant. The question of whether an action may be significant is not always easy to answer. Frequently, there are aspects of a project that are subjective or unmeasurable. It is also understood that those who determine significance may have little or no formal knowledge of the environment or may not be technically expert in environmental analysis. In addition, many who have knowledge in one particular area may not be aware of the broader concerns affecting the question of significance.

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible enough to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part 1:** Provides objective data and information about a given project and its site. By identifying basic project data, it assists a reviewer in the analysis that takes place in Parts 2 and 3.
- Part 2:** Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially-large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part 3:** If any impact in Part 2 is identified as potentially-large, then Part 3 is used to evaluate whether or not the impact is actually important.

DETERMINATION OF SIGNIFICANCE—Type 1 and Unlisted Actions

Identify the Portions of EAF completed for this project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF (Parts 1 and 2 and 3 if appropriate), and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact(s) and, therefore, is one which **will not** have a significant impact on the environment, therefore a **negative declaration will be prepared.**
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required, therefore a **CONDITIONED negative declaration will be prepared.***
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment, therefore a **positive declaration will be prepared.**

* A Conditioned Negative Declaration is only valid for Unlisted Actions

NEW WINDSOR SENIOR HOUSING

Name of Action

TOWN OF NEW WINDSOR, NY - COUNTY OF ORANGE

Name of Lead Agency

Genaro Argenio

Print or Type Name of Responsible Officer in Lead Agency

Planning Board Chairman

Title of Responsible Officer

Genaro Argenio

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

December 12, 2007

Date

PART 1 — PROJECT INFORMATION

Prepared by Project Sponsor

NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form, Parts A through E. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts 2 and 3.

It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.

NAME OF ACTION NEW WINDSOR SENIOR HOUSING		
LOCATION OF ACTION (Include Street Address, Municipality and County) NEW YORK STATE ROUTE 32, NEW WINDSOR, ORANGE COUNTY, NY		
NAME OF APPLICANT/SPONSOR WARWICK PROPERTIES		BUSINESS TELEPHONE (849 986-7012
ADDRESS ONE CRESCENT AVENUE		
CITY/PO WARWICK	STATE NY	ZIP CODE 10990
NAME OF OWNER (if different) SORBELLO BOUYEA KING		BUSINESS TELEPHONE ()
ADDRESS 505 NORTH RIVERSIDE ROAD		
CITY/PO HIGHLAND	STATE NY	ZIP CODE 12528
DESCRIPTION OF ACTION Ninety-six (96) units of 1 bedroom totally affordable senior housing, with 1, 2 bedroom superintendent's apartment, 450' of proposed road and parking with associated improvements.		

Please Complete Each Question— Indicate N.A. if not applicable

A. Site Description

Physical setting of overall project, both developed and undeveloped areas.

1. Present land use: Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Other _____

2. Total acreage of project area: _____ acres.

APPROXIMATE ACREAGE	PRESENTLY	AFTER COMPLETION
Meadow or Brushland (Non-agricultural)	<u>1±</u> acres	<u>0</u> acres
Forested	<u>3.14±</u> acres	<u>1.14±</u> acres
Agricultural (Includes orchards, cropland, pasture, etc.)	<u>0</u> acres	<u>0</u> acres
Wetland (Freshwater or tidal as per Articles 24, 25 of ECL)	<u>0</u> acres	<u>0</u> acres
Water Surface Area	<u>0</u> acres	<u>0</u> acres
Unvegetated (Rock, earth or fill)	<u>0</u> acres	<u>0</u> acres
Roads, buildings and other paved surfaces	<u>0</u> acres	<u>2±</u> acres
Other (Indicate type) <u>Lawn</u>	<u>0</u> acres	<u>1±</u> acres

3. What is predominant soil type(s) on project site? _____
- a. Soil drainage: Well drained 35 % of site Moderately well drained 65 % of site
 Poorly drained _____ % of site
- b. If any agricultural land is involved, how many acres of soil are classified within soil group 1 through 4 of the NYS Land Classification System? _____ acres. (See 1 NYCRR 370).
4. Are there bedrock outcroppings on project site? Yes No
- a. What is depth to bedrock? 5' _____ (in feet)

5. Approximate percentage of project site with slopes: 0-10% 10-15% 14 %
 15% or greater 18 %
6. Is project substantially contiguous to, or contain a building, site, or district, listed on the State or the National Registers of Historic Places? Yes No
7. Is project substantially contiguous to a site listed on the Register of National Natural Landmarks? Yes No
8. What is the depth of the water table? > 5' (in feet)
9. Is site located over a primary, principal, or sole source aquifer? Yes No
10. Do hunting, fishing or shell fishing opportunities presently exist in the project area? Yes No
11. Does project site contain any species of plant or animal life that is identified as threatened or endangered?
 Yes No According to Pietrzak & Pfau Engineering & Surveying, PLLC
Identify each species _____
12. Are there any unique or unusual land forms on the project site? (i.e., cliffs, dunes, other geological formations)
 Yes No Describe _____
13. Is the project site presently used by the community or neighborhood as an open space or recreation area?
 Yes No If yes, explain _____
14. Does the present site include scenic views known to be important to the community?
 Yes No
15. Streams within or contiguous to project area: Silver Stream
a. Name of Stream and name of River to which it is tributary Moodna Creek
16. Lakes, ponds, wetland areas within or contiguous to project area:
a. Name _____ b. Size (In acres) _____
17. Is the site served by existing public utilities? Yes No
a) If Yes, does sufficient capacity exist to allow connection? Yes No
b) If Yes, will improvements be necessary to allow connection? Yes No
18. Is the site located in an agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
19. Is the site located in or substantially contiguous to a Critical Environmental Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617? Yes No
20. Has the site ever been used for the disposal of solid or hazardous wastes? Yes No

B. Project Description

1. Physical dimensions and scale of project (fill in dimensions as appropriate)
- a. Total contiguous acreage owned or controlled by project sponsor 4.14± acres.
- b. Project acreage to be developed: 4.14± acres initially; 4.14± acres ultimately.
- c. Project acreage to remain undeveloped 0 acres.
- d. Length of project, in miles: N/A (If appropriate)
- e. If the project is an expansion, indicate percent of expansion proposed N/A %;
- f. Number of off-street parking spaces existing 0; proposed 67.
- g. Maximum vehicular trips generated per hour _____ (upon completion of project)?
- h. If residential: Number and type of housing units:
- | | One Family | Two Family | Multiple Family | Condominium |
|------------|------------|------------|-----------------|-------------|
| Initially | _____ | _____ | <u>0</u> | _____ |
| Ultimately | _____ | _____ | <u>96</u> | _____ |
- i. Dimensions (in feet) of largest proposed structure 3 story height; 220±' width; 225±' length.
- j. Linear feet of frontage along a public thoroughfare project will occupy is? 0 ft.

2. How much natural material (i.e., rock, earth, etc.) will be removed from the site? 0 tons/cubic yards
3. Will disturbed areas be reclaimed? Yes No N/A
- a. If yes, for what intended purpose is the site being reclaimed? Landscaping
- b. Will topsoil be stockpiled for reclamation? Yes No
- c. Will upper subsoil be stockpiled for reclamation? Yes No
4. How many acres of vegetation (trees, shrubs, ground covers) will be removed from site? 3.5± acres.
5. Will any mature forest (over 100 years old) or other locally-important vegetation be removed by this project?
 Yes No
6. If single phase project: Anticipated period of construction _____ months, (including demolition).
7. If multi-phased:
- a. Total number of phases anticipated 2 (number).
- b. Anticipated date of commencement phase 1 9 month 2008 year, (including demolition).
- c. Approximate completion date of final phase _____ month _____ year.
- d. Is phase 1 functionally dependent on subsequent phases? Yes No
8. Will blasting occur during construction? Yes No
9. Number of jobs generated: during construction 12; after project is complete 2
10. Number of jobs eliminated by this project 0
11. Will project require relocation of any projects or facilities? Yes No If yes, explain _____
12. Is surface liquid waste disposal involved? Yes No
- a. If yes, indicate type of waste (sewage, industrial, etc.) and amount _____
- b. Name of water body into which effluent will be discharged _____
13. Is subsurface liquid waste disposal involved? Yes No Type _____
14. Will surface area of an existing water body increase or decrease by proposal? Yes No
Explain _____
15. Is project or any portion of project located in a 100 year flood plain? Yes No
16. Will the project generate solid waste? Yes No
- a. If yes, what is the amount per month 3 tons
- b. If yes, will an existing solid waste facility be used? Yes No
- c. If yes, give name Licensed Hauler; location To Be Determined
- d. Will any wastes **not** go into a sewage disposal system or into a sanitary landfill? Yes No
- e. If Yes, explain _____
17. Will the project involve the disposal of solid waste? Yes No
- a. If yes, what is the anticipated rate of disposal? _____ tons/month.
- b. If yes, what is the anticipated site life? _____ years.
18. Will project use herbicides or pesticides? Yes No
19. Will project routinely produce odors (more than one hour per day)? Yes No
20. Will project produce operating noise exceeding the local ambient noise levels? Yes No
21. Will project result in an increase in energy use? Yes No
If yes, indicate type(s) Electric
22. If water supply is from wells, indicate pumping capacity N/A gallons/minute.
23. Total anticipated water usage per day 7200± gallons/day.
24. Does project involve Local, State or Federal funding? Yes No
If Yes, explain Federal, State and County funding possible

25. Approvals Required:

**Submittal
Date**

City, Town, Village Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Place Floating Zone</u>	_____
City, Town, Village Planning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Site Plan</u>	_____
City, Town Zoning Board	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<u>Variance</u>	_____
City, County Health Department	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Other Local Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Other Regional Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
State Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____
Federal Agencies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	_____	_____

C. Zoning and Planning Information

1. Does proposed action involve a planning or zoning decision? Yes No
 If Yes, indicate decision required:
zoning amendment zoning variance special use permit subdivision site plan
new/revision of master plan resource management plan other _____
2. What is the zoning classification(s) of the site? R-4
3. What is the maximum potential development of the site if developed as permitted by the present zoning?

4. What is the proposed zoning of the site? Totally affordable senior housing
5. What is the maximum potential development of the site if developed as permitted by the proposed zoning?

6. Is the proposed action consistent with the recommended uses in adopted local land use plans? Yes No
7. What are the predominant land use(s) and zoning classifications within a 1/4 mile radius of proposed action?
Design shopping, residential, multi-family residential
8. Is the proposed action compatible with adjoining/surrounding land uses within a 1/4 mile? Yes No
9. If the proposed action is the subdivision of land, how many lots are proposed? N/A
 a. What is the minimum lot size proposed? _____
10. Will proposed action require any authorization(s) for the formation of sewer or water districts? Yes No
11. Will the proposed action create a demand for any community provided services (recreation, education, police, fire protection)? Yes No
 a. If yes, is existing capacity sufficient to handle projected demand? Yes No
12. Will the proposed action result in the generation of traffic significantly above present levels? Yes No
 a. If yes, is the existing road network adequate to handle the additional traffic? Yes No

D. Informational Details

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

E. Verification

I certify that the information provided above is true to the best of my knowledge.

Applicant/Sponsor Name Joseph J. Pfau, P.E. Date _____

Signature _____ Title Applicant's Engineer

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

Part 2—PROJECT IMPACTS AND THEIR MITIGATION JDE
Responsibility of Lead Agency

General Information (Read Carefully)

- In completing the form the reviewer should be guided by the question: Have my responses and determinations been **reasonable**? The reviewer is not expected to be an expert environmental analyst.
- The **Examples** provided are to assist the reviewer by showing types of impacts and wherever possible the threshold of magnitude that would trigger a response in column 2. The examples are generally applicable throughout the State and for most situations. But, for any specific project or site other examples and/or lower thresholds may be appropriate for a Potential Large Impact response, thus requiring evaluation in Part 3.
- The impacts of each project, on each site, in each locality, will vary. Therefore, the examples are illustrative and have been offered as guidance. They do not constitute an exhaustive list of impacts and thresholds to answer each question.
- The number of examples per question does not indicate the importance of each question.
- In identifying impacts, consider long term, short term and cumulative effects.

Instructions (Read carefully)

- Answer each of the 20 questions in PART 2. Answer **Yes** if there will be any impact.
- Maybe** answers should be considered as **Yes** answers.
- If answering **Yes** to a question then check the appropriate box (column 1 or 2) to indicate the potential size of the impact. If impact threshold equals or exceeds any example provided, check column 2. If impact will occur but threshold is lower than example, check column 1.
- Identifying that an impact will be potentially large (column 2) does not mean that it is also necessarily **significant**. Any large impact must be evaluated in PART 3 to determine significance. Identifying an impact in column 2 simply asks that it be looked at further.
- If reviewer has doubt about size of the impact then consider the impact as potentially large and proceed to PART 3.
- If a potentially large impact checked in column 2 can be mitigated by change(s) in the project to a small to moderate impact, also check the **Yes** box in column 3. A **No** response indicates that such a reduction is not possible. This must be explained in Part 3.

IMPACT ON LAND

1. Will the proposed action result in a physical change to the project site?
 NO YES

Examples that would apply to column 2

- Any construction on slopes of 15% or greater, (15 foot rise per 100 foot of length), or where the general slopes in the project area exceed 10%.
- Construction on land where the depth to the water table is less than 3 feet.
- Construction of paved parking area for 1,000 or more vehicles.
- Construction on land where bedrock is exposed or generally within 3 feet of existing ground surface.
- Construction that will continue for more than 1 year or involve more than one phase or stage.
- Excavation for mining purposes that would remove more than 1,000 tons of natural material (i.e., rock or soil) per year.
- Construction or expansion of a sanitary landfill.
- Construction in a designated floodway.
- Other impacts _____

2. Will there be an effect to any unique or unusual land forms found on the site? (i.e., cliffs, dunes, geological formations, etc.) NO YES

• Specific land forms: _____

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

IMPACT ON WATER

3. Will proposed action affect any water body designated as protected?
(Under Articles 15, 24, 25 of the Environmental Conservation Law, ECL)
NO YES

Examples that would apply to column 2

- Developable area of site contains a protected water body.
- Dredging more than 100 cubic yards of material from channel of a protected stream.
- Extension of utility distribution facilities through a protected water body.
- Construction in a designated freshwater or tidal wetland.
- Other impacts: _____

4. Will proposed action affect any non-protected existing or new body of water?
NO YES

Examples that would apply to column 2

- A 10% increase or decrease in the surface area of any body of water or more than a 10 acre increase or decrease.
- Construction of a body of water that exceeds 10 acres of surface area.
- Other impacts: _____

5. Will Proposed Action affect surface or groundwater quality or quantity?
NO YES

Examples that would apply to column 2

- Proposed Action will require a discharge permit.
- Proposed Action requires use of a source of water that does not have approval to serve proposed (project) action.
- Proposed Action requires water supply from wells with greater than 45 gallons per minute pumping capacity.
- Construction or operation causing any contamination of a water supply system.
- Proposed Action will adversely affect groundwater.
- Liquid effluent will be conveyed off the site to facilities which presently do not exist or have inadequate capacity.
- Proposed Action would use water in excess of 20,000 gallons per day.
- Proposed Action will likely cause siltation or other discharge into an existing body of water to the extent that there will be an obvious visual contrast to natural conditions.
- Proposed Action will require the storage of petroleum or chemical products greater than 1,100 gallons.
- Proposed Action will allow residential uses in areas without water and/or sewer services.
- Proposed Action locates commercial and/or industrial uses which may require new or expansion of existing waste treatment and/or storage facilities.
- Other impacts: _____

6. Will proposed action alter drainage flow or patterns, or surface water runoff?
NO YES

Examples that would apply to column 2

- Proposed Action would change flood water flows.

Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

IMPACT ON CRITICAL ENVIRONMENTAL AREAS

14. Will Proposed Action impact the exceptional or unique characteristics of a critical environmental area (CEA) established pursuant to subdivision 6 NYCRR 617.14(g)? NO YES
 List the environmental characteristics that caused the designation of the CEA.

Examples that would apply to column 2

- Proposed Action to locate within the CEA?
- Proposed Action will result in a reduction in the quantity of the resource?
- Proposed Action will result in a reduction in the quality of the resource?
- Proposed Action will impact the use, function or enjoyment of the resource?
- Other impacts: _____

IMPACT ON TRANSPORTATION

15. Will there be an effect to existing transportation systems? NO YES

Examples that would apply to column 2

- Alteration of present patterns of movement of people and/or goods.
- Proposed Action will result in major traffic problems.
- Other impacts: _____

IMPACT ON ENERGY

16. Will proposed action affect the community's sources of fuel or energy supply? NO YES

Examples that would apply to column 2

- Proposed Action will cause a greater than 5% increase in the use of any form of energy in the municipality.
- Proposed Action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two family residences or to serve a major commercial or industrial use.
- Other impacts: _____

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes	<input type="checkbox"/> No

NOISE AND ODOR IMPACTS

17. Will there be objectionable odors, noise, or vibration as a result of the Proposed Action? NO YES

Examples that would apply to column 2

- Blasting within 1,500 feet of a hospital, school or other sensitive facility.
- Odors will occur routinely (more than one hour per day).
- Proposed Action will produce operating noise exceeding the local ambient noise levels for noise outside of structures.
- Proposed Action will remove natural barriers that would act as a noise screen.
- Other impacts: _____

IMPACT ON PUBLIC HEALTH

18. Will Proposed Action affect public health and safety? NO YES

Examples that would apply to column 2

- Proposed Action may cause a risk of explosion or release of hazardous substances (i.e. oil, pesticides, chemicals, radiation, etc.) in the event of accident or upset conditions, or there may be a chronic low level discharge or emission.
- Proposed Action may result in the burial of "hazardous wastes" in any form (i.e. toxic, poisonous, highly reactive, radioactive, irritating, infectious, etc.)
- Storage facilities for one million or more gallons of liquified natural gas or other flammable liquids.
- Proposed action may result in the excavation or other disturbance within 2,000 feet of a site used for the disposal of solid or hazardous waste.
- Other impacts: _____

IMPACT ON GROWTH AND CHARACTER OF COMMUNITY OR NEIGHBORHOOD

19. Will proposed action affect the character of the existing community? NO YES

Examples that would apply to column 2

- The permanent population of the city, town or village in which the project is located is likely to grow by more than 5%.
- The municipal budget for capital expenditures or operating services will increase by more than 5% per year as a result of this project.
- Proposed action will conflict with officially adopted plans or goals.
- Proposed action will cause a change in the density of land use.
- Proposed Action will replace or eliminate existing facilities, structures or areas of historic importance to the community.
- Development will create a demand for additional community services (e.g. schools, police and fire, etc.)
- Proposed Action will set an important precedent for future projects.
- Proposed Action will create or eliminate employment.
- Other impacts: _____

1 Small to Moderate Impact	2 Potential Large Impact	3 Can Impact Be Mitigated By Project Change
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No
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<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Yes <input type="checkbox"/> No

20. Is there, or is there likely to be, public controversy related to potential adverse environmental impacts? NO YES

If any action in Part 2 is identified as a potential large impact or if you cannot determine the magnitude of impact, proceed to Part 3

Part 3—EVALUATION OF THE IMPORTANCE OF IMPACTS

Responsibility of Lead Agency

Part 3 must be prepared if one or more impact(s) is considered to be potentially large, even if the impact(s) may be mitigated.

Instructions

Discuss the following for each impact identified in Column 2 of Part 2:

1. Briefly describe the impact.
2. Describe (if applicable) how the impact could be mitigated or reduced to a small to moderate impact by project change(s).
3. Based on the information available, decide if it is reasonable to conclude that this impact is important.

To answer the question of importance, consider:

- The probability of the impact occurring
- The duration of the impact
- Its irreversibility, including permanently lost resources of value
- Whether the impact can or will be controlled
- The regional consequence of the impact
- Its potential divergence from local needs and goals
- Whether known objections to the project relate to this impact.

(Continue on attachments)

TAX LOT - 65-2-29
TOTALLY AFFORDABLE SENIOR CITIZEN HOUSING

	REQUIRED (MIN.)	PROPOSED	VARIANCE NEEDED
LOT AREA (NET ACRE)	2	3.7	
FRONT YARD (FT.)	25	31	
REAR YARD (FT.)	25	25	
SIDE YARD (FT.)	25	25	
LOT DENSITY (UNITS/ACRE)	18	25	
PARKING (SPACES/UNIT)	1	0.72	0.28

	REQUIRED (MAX.)	PROPOSED
BUILDING HEIGHT (FT.)	3 STORIES OR 50'	3 STORIES
DEVELOPMENT COVERAGE (%)	85	<85

*SITE PLAN APPROVAL BY PLANNING BOARD REQUIRED

*SPECIAL PERMIT BY TOWN BOARD REQUIRED

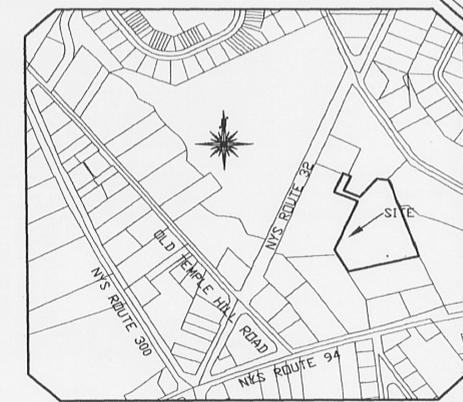
THE FOLLOWING ZONING VARIANCES WERE RECEIVED ON 11/6/07:

- 300-18A E(1)(b): VARIANCE FOR 25 UNITS/ACRE
- 300-18A E(1)(h): VARIANCE FROM 91 REQUIRED PARKING SPACES TO 66 SPACES
- 300-18 H(7)(a)[4]
- 300-18 I

NOTES:

- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- CERTIFICATION INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY, AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
- REFERENCES FILED MAP # 13-99 ENTITLED "NW PARTNERS, L.P. & VAILS GATE FIRE CO. INC." AND FILED ON JAN 27 1999.
- SUBJECT TO AN UP TO DATE AND ACCURATE TITLE REPORT.
- SUBJECT TO ANY EASEMENTS AND AGREEMENTS, IF ANY.
- PROJECT TO BE SERVED BY PUBLIC WATER & SEWER.
- THE PROJECT IS LOCATED OUTSIDE ANY 100 YEAR FLOOD PLANS.
- THE STYLE AND CONSTRUCTION SPECIFICATIONS OF THE BREAK AWAY GATE SHALL BE AS PER A FIELD DETERMINATION BY THE FIRE INSPECTOR AND FIRE DEPARTMENT.

NEW WINDSOR SENIOR HOUSING



LOCATION PLAN
SCALE: 1"=500'

SHEET INDEX

SHEET 1	SITE PLAN
SHEET 2	SURVEY PLAN
SHEET 3	GRADING PLAN
SHEET 4	UTILITY PLAN
SHEET 5	EROSION CONTROL PLAN
SHEET 6	LIGHTING PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 8	DETAILS 1
SHEET 9	DETAILS 2

AREA = 4.14± ACRES

TAX MAP SEC. 65 BLK. 2 LOT 29

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING SIGN
---	PROPOSED HANDICAPPED PARKING
---	PROPOSED NO PARKING SIGN
---	PROPOSED HANDICAPPED PARKING SIGN

RECORD OWNER/APPLICANT

WARWICK PROPERTIES
 1 CRESCENT AVENUE
 WARWICK, NEW YORK 10990

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
9/16/07	GENERAL REVISIONS	MAF
6/4/07	REVISE ZONING	TBE
4/30/07	ORIGINAL PREPARATION DATE	TBE

MAP CHECK DATE:	INITIALED BY:
06/03/08	--

PIETRZAK & PFAU
 ENGINEERING & SURVEYING, PLLC
 282 GOSWEN AVENUE, SUITE A GOSWEN, NEW YORK 10824 (945) 204-0000
 2 HAMILTON AVENUE MONTICELLO, NEW YORK 12701 (845) 796-4646

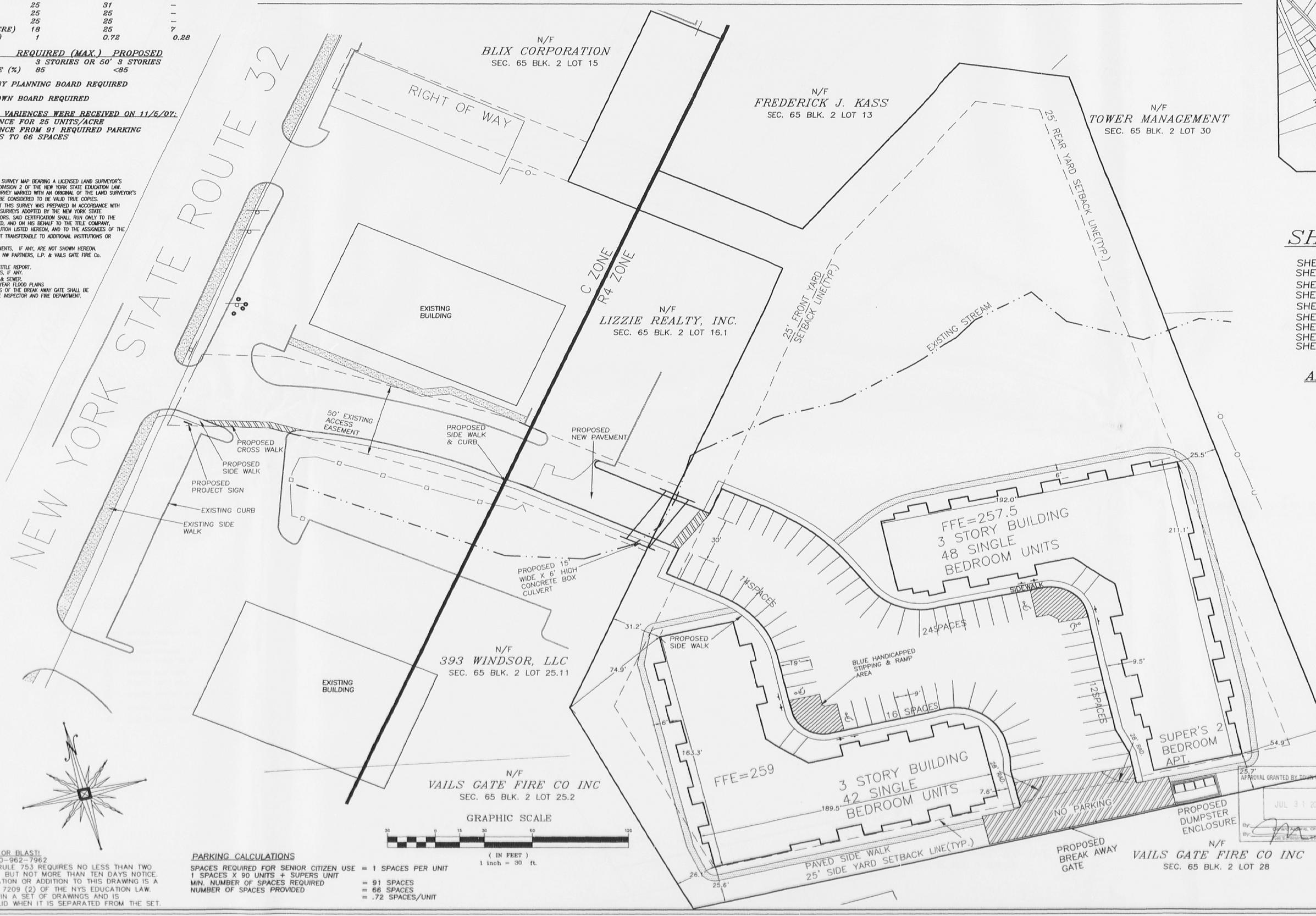
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
 JUL 31 2008
 By: [Signature] [Title]

NEW WINDSOR SENIOR HOUSING
 TOWN OF NEW WINDSOR
 COUNTY OF ORANGE, NEW YORK
 PROJECT TITLE

SITE PLAN
 SEC. 65 BLK. 2 LOT 29

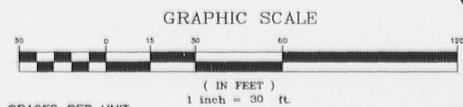
O.C.H.D. SHEET NO.	DEC. SHEET NO.	DRAWING NUMBER
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SCALE: 1"=30' CAD REFERENCE: 26126WORK PROJECT NUMBER: 26126.01



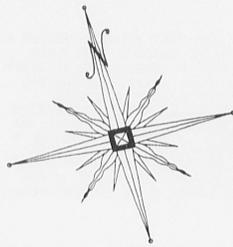
PARKING CALCULATIONS

SPACES REQUIRED FOR SENIOR CITIZEN USE	= 1 SPACES PER UNIT
1 SPACES X 90 UNITS + SUPERS UNIT	= 91 SPACES
MIN. NUMBER OF SPACES REQUIRED	= 66 SPACES
NUMBER OF SPACES PROVIDED	= 72 SPACES/UNIT



UFPO
 BEFORE YOU DIG, DRILL OR BLAST!
 -CALL TOLL FREE 1-800-962-7962
 -NY INDUSTRIAL CODE RULE 753 REQUIRES NO LESS THAN TWO WORKING DAYS NOTICE, BUT NOT MORE THAN TEN DAYS NOTICE.
 -UNAUTHORIZED ALTERATION OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NYS EDUCATION LAW.
 -THIS DRAWING IS ONE IN A SET OF DRAWINGS AND IS INCOMPLETE AND INVALID WHEN IT IS SEPARATED FROM THE SET.

07-01



- NOTES:
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
 - ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
 - CERTIFICATION INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, SAID CERTIFICATION SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY, AND LENDING INSTITUTION LISTED HEREIN, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
 - CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS UNDERGROUND IMPROVEMENTS MAY EXIST WHICH WERE NOT LOCATED AT THE TIME OF THIS SURVEY.
 - REFERENCES: A MAP ENTITLED "PLAN FOR N.W. PARTNERS, L.P. & VALS GATE FIRE COMPANY, INC." FILED WITH THE ORANGE COUNTY CLERK'S OFFICE ON JANUARY 27, 1999 AS MAP NO. 13-99.
 - A SEWER DISTRICT MAP ENTITLED "SEWER DISTRICT 20, PHASE 2A" AS PREPARED BY MCGOY, HOUSER AND EDSELL CONSULTING ENGINEERS, P.C. DEED LIBER 2580, PAGE 255; LIBER 1622, PAGE 183; LIBER 1758, PAGE 607; LIBER 12074, PAGE 1363; LIBER 4787, PAGE 305; LIBER 4472, PAGE 210; LIBER 5198, PAGE 39; LIBER 6075, PAGE 36; LIBER 2831, PAGE 223.
 - SUBJECT TO AN UP TO DATE AND ACCURATE TITLE REPORT.
 - SUBJECT TO ANY EASEMENTS AND AGREEMENTS, IF ANY.
 - SUBJECT TO ANY RIparian RIGHTS BY OTHERS TO THE WATER COURSES SHOWN HEREON.
 - ALL FEATURES MAY NOT BE SHOWN HEREON.

AREA = 4.14± ACRES
TAX MAP SEC. 65 BLK. 2 LOT 29

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP HAS BEEN PREPARED FROM AN ACTUAL FIELD SURVEY COMPLETED ON AUGUST 17, 2006

WARWICK PROPERTIES, LLC

KINGSWOOD GARDEN CONDOMINIUM
SEC. 72 BLK. 8 LOT 1

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/21/07	DRAFTING REVISIONS	CJS
10/17/07	DRAFTING	CJS
8/16/07	GENERAL REVISIONS	WCF
6/4/07	ORIGINAL PREPARATION DATE	TBE

MAP CHECK DATE: 00/00/00 INITIALED BY: --

PIETRZAK & PFAU
ENGINEERING & SURVEYING, PLLC
282 GREENWICH AVENUE, SUITE A
GARDEN CITY, NY 11530
(465) 294-0008

2 HAMILTON AVENUE
MONTICELLO, NY 12701
(845) 796-4646

MICHAEL J. PIETRZAK, P.E.
LICENSE NO. 06559

JOSEPH A. PFAU, P.E.
LICENSE NO. 07610

JOSEPH A. PIETRZAK, P.E.
LICENSE NO. 07658

P.L. LOCKER BY BOOKS
N.J.P.L.L. LICENSE NO. 30386

DATE: 7-23-08

NEW WINDSOR SENIOR HOUSING
TOWN OF NEW WINDSOR
COUNTY OF ORANGE, NEW YORK

PROJECT TITLE: **SURVEY PLAN**
SEC. 65 BLK. 2 LOT 29

DRAWING TITLE: UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

O.C.H.D. SHEET NO. 2 OF 7 D.E.C. SHEET NO. 2 OF 7 DRAWING NUMBER 26126WORK PROJECT NUMBER 26126.01

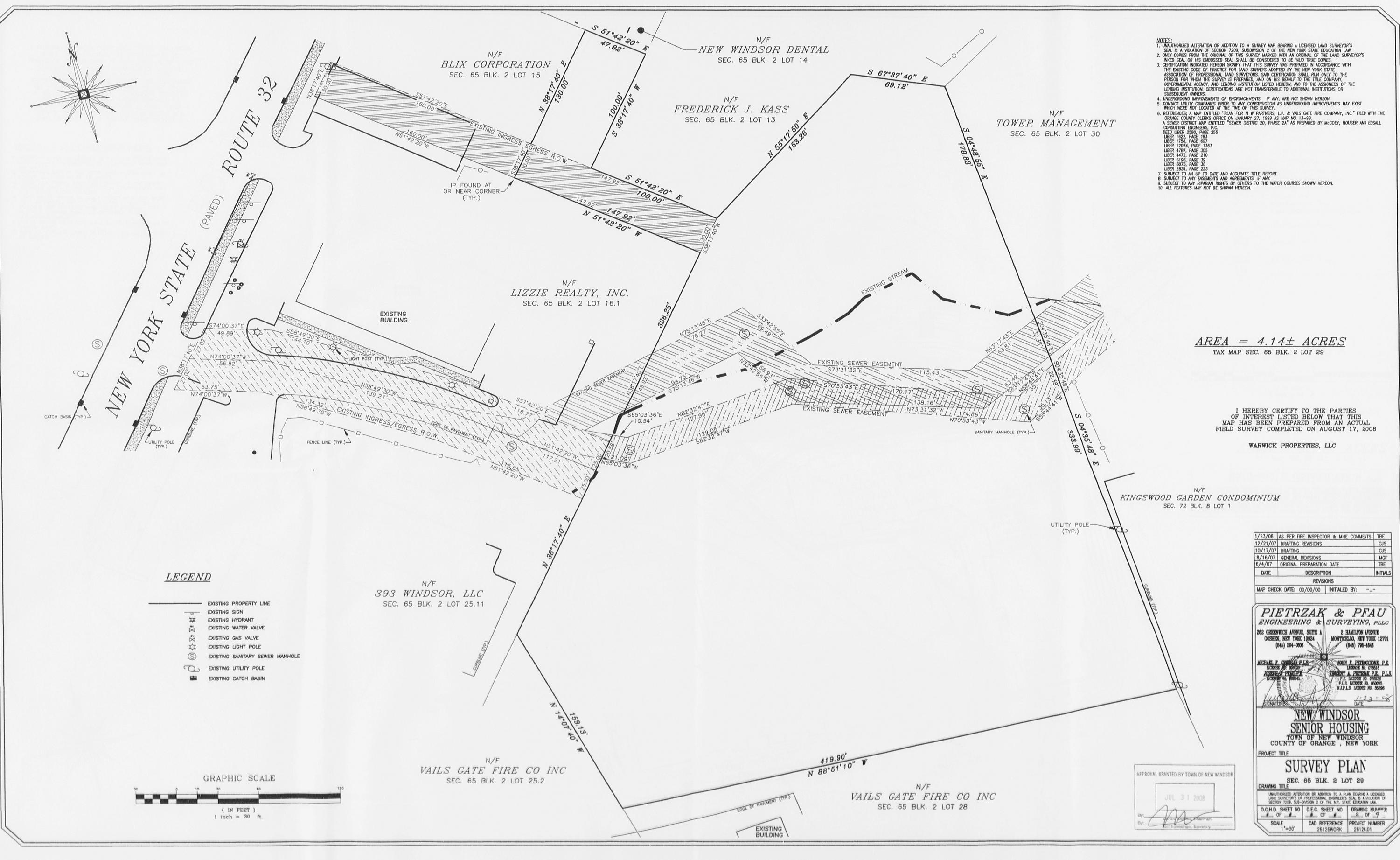
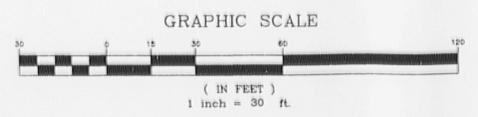
SCALE: 1"=30'

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JUL 31 2008

By: [Signature]
Town Engineer, Secretary

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING SIGN
 - EXISTING HYDRANT
 - EXISTING WATER VALVE
 - EXISTING GAS VALVE
 - EXISTING LIGHT POLE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING UTILITY POLE
 - EXISTING CATCH BASIN



I HEREBY CERTIFY THAT THE ONSET WETLANDS HAVE BEEN FLAGGED IN ACCORDANCE W/ CRITERIA ESTABLISHED IN THE 1987 'CORPS OF ENGINEERS WETLAND DELINEATION MANUAL', TECHNICAL REPORT Y-87-1. THIS DETERMINATION WAS BASED ON THE PRESENCE OF HYDROPHYTIC VEGETATION, HYDRIC SOILS, & WETLAND HYDROLOGY. I HEREBY FURTHER CERTIFY THE PROPOSED DISTURBANCE OF THESE REGULATED WETLANDS IS LESS THAN A TENTH OF AN ACRE (0.01ac.) & MEETS ALL REQUIREMENTS OF A NATION WIDE PERMIT No. 39.

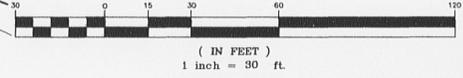
BIORETENTION MAINTENANCE REQUIREMENTS:

1. SEDIMENT SHALL BE CLEANED OUT OF THE PRETREATMENT AREA WHEN IT ACCUMULATES TO A DEPTH OF MORE THAN SIX INCHES.
2. VEGETATION WITHIN THE PRETREATMENT AREA SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
3. TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.
4. SEDIMENT SHALL BE REMOVED FROM BIORETENTION AREA WHEN ACCUMULATION EXCEEDS ONE INCH.
5. WHEN WATER PONDS ON BIORETENTION AREA FOR MORE THAN 48 HOURS, THE TOP FEW INCHES SHALL BE REMOVED AND REPLACED WITH FRESH MATERIAL. THE REMOVED MATERIAL SHALL BE DISCARDED IN AN ACCEPTABLE MANNER.
6. AREAS DEVOID OF MULCH SHALL BE RE-MULCHED ON AN ANNUAL BASIS.
7. DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED AS NEEDED.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING SIGN
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SIAMSESE CONNECTION
- - - EXISTING 2' CONTOUR LINE
- - - EXISTING 10' CONTOUR LINE
- - - PROPOSED CONTOUR LINE
- WET WETLANDS LINE
- W PROPOSED WATER MAIN
- W APPROXIMATE EXISTING WATER MAIN
- PROPOSED BIORETENTION
- PROPOSED RIPRAP
- PROPOSED PAVED SIDEWALK
- PROPOSED AREA OF JUTE MESH STABILIZATION

GRAPHIC SCALE



RECORD OWNER/APPLICANT
WARWICK PROPERTIES
1 CRESCENT AVENUE
WARWICK, NEW YORK 10990

AREA = 4.14± ACRES
 TAX MAP SEC. 65 BLK. 2 LOT 29

ENGINEER'S CERTIFICATION

THE PROPOSED SEWAGE DISPOSAL SYSTEM(S) AND WATER SUPPLY SYSTEM(S) SHOWN ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS. THE DESIGN(S) ARE BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOT(S) AT THE DESIGN LOCATION AT THE TIME OF DESIGN.

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
8/16/07	GENERAL REVISIONS	MGF
6/4/07	ORIGINAL PREPARATION DATE	TBE

DATE	DESCRIPTION	INITIALS
REVISIONS		
MAP CHECK DATE: 00/00/00	INITIALED BY: --	

PIETRZAK & PFAU
ENGINEERING & SURVEYING, PLLC
 282 GOSWICK AVENUE, SUITE 1 GOSWICK, NEW YORK 10924 (845) 284-0808
 2 HAMILTON AVENUE MONTICELLO, NEW YORK 12701 (845) 798-4848

MICHAEL J. COCHRAN P.L.S. LEISER JR. 07016
 JESSIE J. PFAU P.E. LEISER JR. 07016
 JOHN A. PIETRZAK P.L.S. LEISER JR. 07016
 P.E. LICENSE NO. 070006
 N.Y.P.E. LICENSE NO. 35398
 DATE 1/23/08

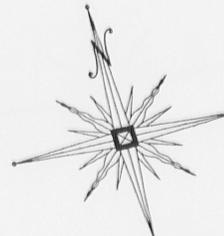
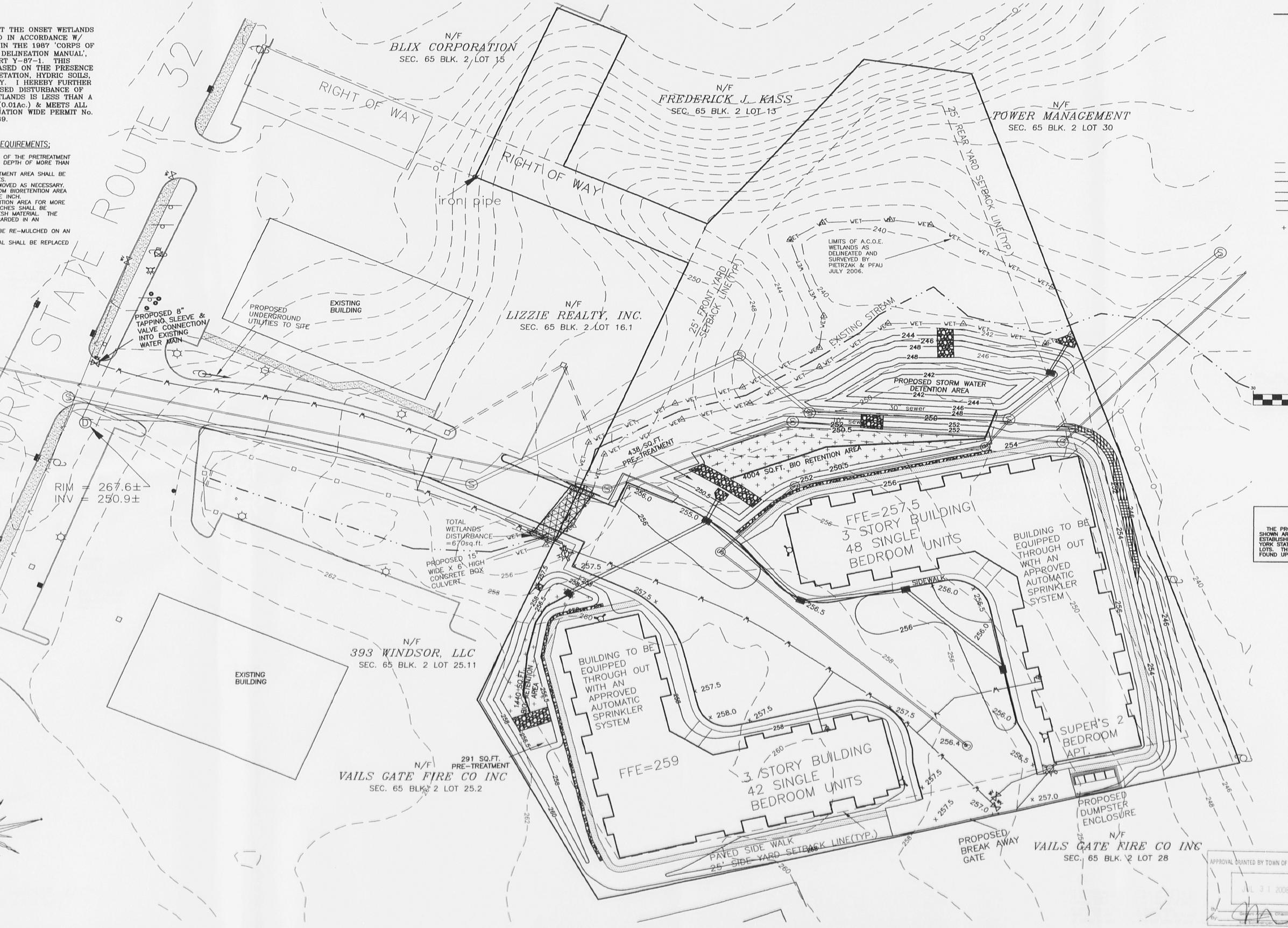
NEW WINDSOR SENIOR HOUSING
 TOWN OF NEW WINDSOR
 COUNTY OF ORANGE, NEW YORK
 PROJECT TITLE

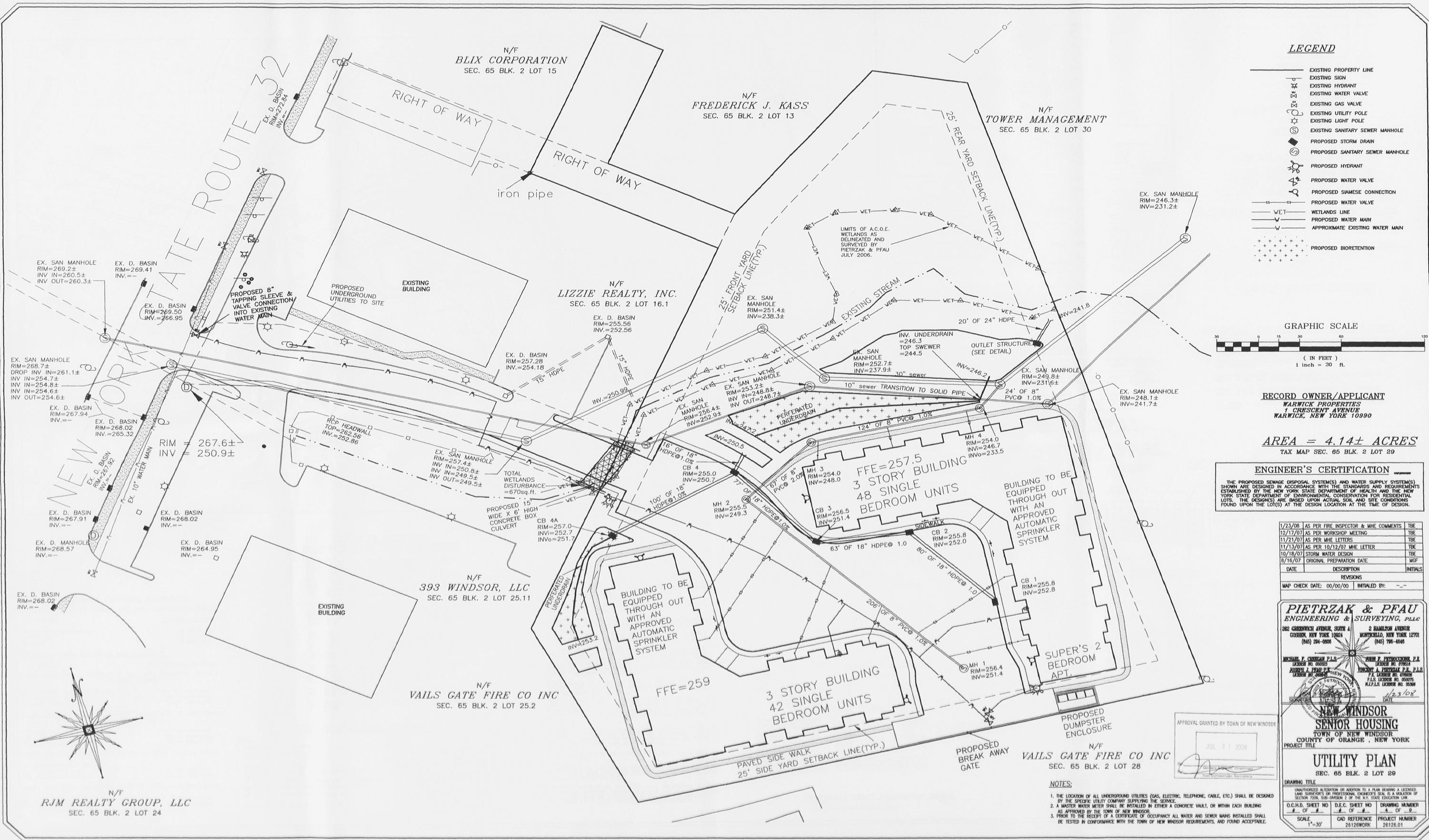
GRADING PLAN
 SEC. 65 BLK. 2 LOT 29

O.C.H.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER
3	3	3
OF 3	OF 3	OF 3
SCALE 1"=30'	CAD REFERENCE 26126WORK	PROJECT NUMBER 26126.01

APPROVAL OBTAINED BY TOWN OF NEW WINDSOR
 JUL 31 2008

NEW YORK STATE ROUTE 32

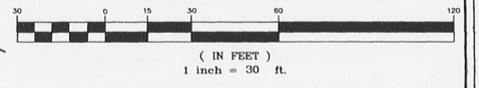




LEGEND

- EXISTING PROPERTY LINE
- EXISTING SIGN
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SIAMESE CONNECTION
- PROPOSED WATER VALVE
- WETLANDS LINE
- PROPOSED WATER MAIN
- APPROXIMATE EXISTING WATER MAIN
- PROPOSED BIORETENTION

GRAPHIC SCALE



RECORD OWNER/APPLICANT
WARWICK PROPERTIES
 CRESCENT AVENUE
 WARWICK, NEW YORK 10990

AREA = 4.14± ACRES
 TAX MAP SEC. 65 BLK. 2 LOT 29

ENGINEER'S CERTIFICATION

THE PROPOSED SEWAGE DISPOSAL SYSTEM(S) AND WATER SUPPLY SYSTEM(S) SHOWN ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS. THE DESIGN(S) ARE BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOT(S) AT THE DESIGN LOCATION AT THE TIME OF DESIGN.

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
8/16/07	ORIGINAL PREPARATION DATE	MGF

REVISIONS
 MAP CHECK DATE: 00/00/00 INITIALED BY: --

PIETRZAK & PFAU
 ENGINEERING & SURVEYING, PLLC
 282 GREENWICH AVENUE, SUITE A
 GOSHEN, NEW YORK 10824
 (845) 284-0000

2 HAMILTON AVENUE
 MONTICELLO, NEW YORK 12701
 (845) 796-4646

MICHAEL P. COCHRAN, P.E.
 LICENSE NO. 60683

JOHN P. PIETRZAK, P.E.
 LICENSE NO. 67816

ASSIST. P.E. JOHN A. PIETRZAK, P.E.
 LICENSE NO. 67816

ASSIST. P.E. JOHN A. PIETRZAK, P.E.
 LICENSE NO. 67816

DATE: 1/23/08

APPROVAL GRANTED BY TOWN OF NEW WINDSOR
 JUL 31 2008

NEW WINDSOR
 SENIOR HOUSING
 TOWN OF NEW WINDSOR
 COUNTY OF ORANGE, NEW YORK

UTILITY PLAN
 SEC. 65 BLK. 2 LOT 29

DRAWING TITLE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 1 OF THE N.Y. STATE EDUCATION LAW.

O.C.H.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER
4 OF 4	4 OF 4	4 OF 4

SCALE: 1"=30'

CAD REFERENCE: 26126WORK

PROJECT NUMBER: 26126.01

NOTES:

1. THE LOCATION OF ALL UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) SHALL BE DESIGNED BY THE SPECIFIC UTILITY COMPANY SUPPLYING THE SERVICE.
2. A MASTER WATER METER SHALL BE INSTALLED IN EITHER A CONCRETE VAULT, OR WITHIN EACH BUILDING AS APPROVED BY THE TOWN OF NEW WINDSOR.
3. PRIOR TO THE RECEIPT OF A CERTIFICATE OF OCCUPANCY ALL WATER AND SEWER MAINS INSTALLED SHALL BE TESTED IN CONFORMANCE WITH THE TOWN OF NEW WINDSOR REQUIREMENTS, AND FOUND ACCEPTABLE.

N/F
RJM REALTY GROUP, LLC
 SEC. 65 BLK. 2 LOT 24

N/F
393 WINDSOR, LLC
 SEC. 65 BLK. 2 LOT 25.11

N/F
VAILS GATE FIRE CO INC
 SEC. 65 BLK. 2 LOT 25.2

N/F
VAILS GATE FIRE CO INC
 SEC. 65 BLK. 2 LOT 28

N/F
LIZZIE REALTY, INC.
 SEC. 65 BLK. 2 LOT 16.1

N/F
FREDERICK J. KASS
 SEC. 65 BLK. 2 LOT 13

N/F
TOWER MANAGEMENT
 SEC. 65 BLK. 2 LOT 30

N/F
BLIX CORPORATION
 SEC. 65 BLK. 2 LOT 15

EX. SAN MANHOLE
 RIM=269.2±
 INV IN=260.5±
 INV OUT=260.3±

EX. D. BASIN
 RIM=269.41
 INV. =--

EX. D. BASIN
 RIM=269.50
 INV.=266.95

EX. SAN MANHOLE
 RIM=268.7±
 DROP INV IN=261.1±
 INV IN=254.7±
 INV IN=254.8±
 INV IN=254.6±
 INV OUT=254.6±

EX. D. BASIN
 RIM=267.94
 INV. =--

EX. D. BASIN
 RIM=268.02
 INV.=265.32

RIM = 267.6±
 INV = 250.9±

EX. D. BASIN
 RIM=267.91
 INV. =--

EX. D. BASIN
 RIM=268.02
 INV. =--

EX. D. BASIN
 RIM=268.02
 INV. =--

EX. D. BASIN
 RIM=257.28
 INV.=254.18

EX. D. BASIN
 RIM=255.56
 INV.=252.56

EX. SAN MANHOLE
 RIM=251.4±
 INV=238.3±

EX. SAN MANHOLE
 RIM=253.2±
 INV IN=248.8±
 INV OUT=248.7±

EX. SAN MANHOLE
 RIM=256.4±
 INV=252.9±

EX. SAN MANHOLE
 RIM=248.8±
 INV=231.6±

EX. SAN MANHOLE
 RIM=249.8±
 INV=231.6±

EX. SAN MANHOLE
 RIM=248.1±
 INV=241.7±

EX. SAN MANHOLE
 RIM=254.0
 INV=248.0

EX. SAN MANHOLE
 RIM=256.5
 INV=251.4

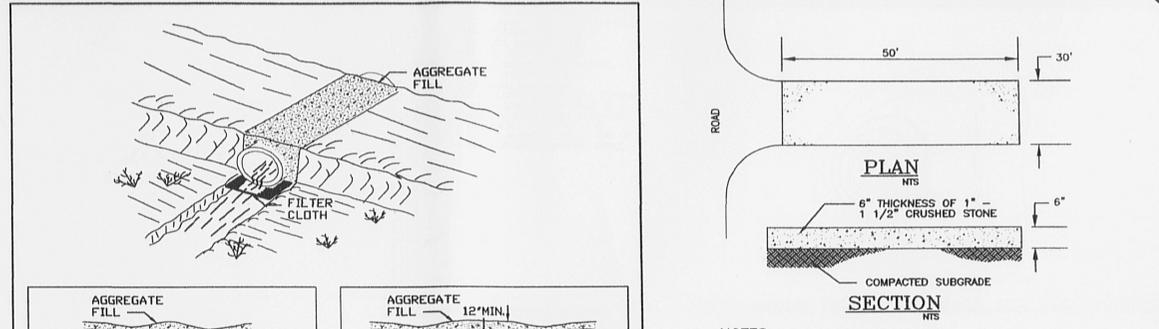
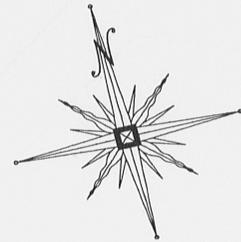
EX. SAN MANHOLE
 RIM=255.8
 INV=252.0

EX. SAN MANHOLE
 RIM=255.4
 INV=251.4

EX. SAN MANHOLE
 RIM=255.8
 INV=252.8

EX. SAN MANHOLE
 RIM=255.4
 INV=251.4

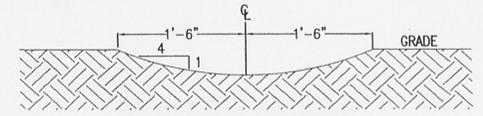
EX. SAN MANHOLE
 RIM=255.4



NOTES:

- ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC R.O.W.
- A CRUSHED STONE VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHERE A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. THE BLANKET SHALL BE COMPOSED OF 6" DEPTH OF 1"-1 1/2" CRUSHED STONE SHALL BE AT LEAST 30' X 50' AND SHALL BE PLACED ON COMPACTED SUB-GRADE.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



SWALE CROSS SECTION
N.T.S.

GENERAL EROSION CONTROL NOTES

- CONSTRUCTION EQUIPMENT SHALL NOT UNNECESSARILY CROSS LIVE STREAMS OR DRAINAGE SWALES EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER APPROVED METHODS.
- WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
- ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.
- WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL OF THE ATTACHED DRAWINGS.

CONSTRUCTION AND EROSION CONTROL SEQUENCE

- MEASURES WILL BE TAKEN TO PREVENT SOIL EROSION DURING PROJECT CONSTRUCTION. ALL FRESHLY DISTURBED AREAS THAT WILL REMAIN DISTURBED FOR MORE THAN A PERIOD OF FOURTEEN (14) DAYS WILL BE STABILIZED BY TEMPORARY SEEDING.
- ALL DISTURBED AREAS WILL BE MINIMIZED IN SIZE AND SPECIAL CARE WILL BE TAKEN AS TO THEIR LOCATION WITH PROXIMITY TO OTHER FACILITIES. SPECIFICALLY, THE FOLLOWING MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION:
- A SEDIMENTATION BARRIER CONSISTING OF A FILTER FABRIC CHECK DAM WILL BE PLACED THROUGHOUT THE SITE. PLACEMENT IS SHOWN ON THE EROSION CONTROL PLAN (*ALSO SEE STREAM, DRAINAGE SWALES, AND EMBANKMENTS NOTE.)
 - CREATE DIVERSION SWALES TO DIVERT OFF-SITE WATER PRIOR TO ENTERING THE SITE. INSTALL A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WHERE THE CONSTRUCTION ACCESS ROAD INTERSECTS BONIFACE DRIVE, ROUGH GRADE PROPOSED ENTRANCE ROAD, AND INSTALL CATCH BASINS W/ TEMP. INLET PROTECTION.
 - AFTER VEGETATION IS CLEARED FROM AREAS TO BE GRADED, FILLED, OR EXCAVATED, TOPSOIL WILL BE STOCKPILED AND STABILIZED WITH A TEMPORARY RYE GRASS COVER. AREAS ARE PLANNED ONLY TO BE CLEARED PRIOR TO CONSTRUCTION ACTIVITY.
 - ROUGH EXCAVATION OF THE PROPOSED STORM WATER DETENTION POND AND OUTLET SHALL BE PERFORMED. UPON COMPLETION OF ROUGH EXCAVATION OF DETENTION POND, OUTER SLOPES SHALL IMMEDIATELY BE STABILIZED WITH PERMANENT SEEDING MIXTURES, MULCH AND JUTE NETTING, AS SPECIFIED IN THE SEEDING SCHEDULE. AFTER GRADING, BERMS AND SWALES WILL BE CREATED TO DIVERT RUNOFF FROM NEWLY GRADED AREAS TO DETENTION POND, PREVENTING EROSION UNTIL GROUND COVER HAS DEVELOPED. INSTALL TEMPORARY INLET PROTECTION MEASURES AS DRAINAGE INFRASTRUCTURE IS COMPLETED.
 - ANY AREA WHICH WILL BE UNIMPROVED FOR 14 DAYS OR MORE WILL BE SEEDING WITH A TEMPORARY RYE GRASS MIXTURE. WATER BARS WILL BE CONSTRUCTED AT SUITABLE INTERVALS (VARIES DEPENDING ON SLOPE) ALONG ROUGH OR GRADED ROADWAY TO CONVEY STORMWATER TO RETENTION POND.
 - AFTER AREAS ADJACENT TO ROADS HAVE BEEN GRADED AND PERMANENT VEGETATIVE COVER HAS BEEN INSTALLED AND ESTABLISHED, THE SEDIMENT FILTERS ON STORM DRAINAGE INLET WILL BE REMOVED.
 - AFTER CONSTRUCTION IS COMPLETED, TEMPORARY DIVERSION SWALES WILL BE REMOVED. STOCKPILED TOPSOIL WILL BE SPREAD TO FINISH GRADES AND PERMANENT LAWNS AND LANDSCAPING WILL BE ESTABLISHED. REMOVE SILT FENCING, IN REVERSE ORDER INSTALLED.
 - ALL NEWLY SEEDING VEGETATIVE COVER ON ALL DISTURBED AREAS OF THE SITE WILL BE MAINTAINED. WASHOUTS OR IMPROPERLY GROWING AREAS WILL BE CORRECTED AS THEY OCCUR.

EROSION CONTROL MAINTENANCE REQUIREMENTS

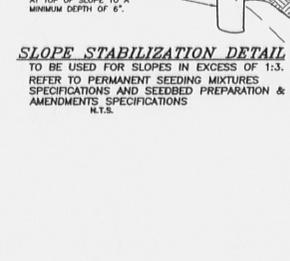
THE MAINTENANCE OF EROSION CONTROL DEVICES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE JOB SUPERINTENDENT WILL MONITOR THE CONDITION OF ALL THE DEVICES, CLEAN OR REPLACE STRUCTURES AS CLIMATIC CONDITIONS REQUIRE. THE DEVELOPER WILL ALSO BE SUBJECT TO THE DIRECTIVE OF THE DESIGN ENGINEER AND TOWN REPRESENTATIVES TO INCLUDE TOWN ENGINEER, HIGHWAY SUPERINTENDENT AND BUILDING INSPECTOR.

- GENERAL CONTRACTOR AND ALL CONTRACTORS SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE APPROVED PLANS AND MAY BE SUBJECT TO ADDITIONAL EROSION CONTROL REQUIREMENTS AS CONDITIONS MAY ARISE IN THE FIELD OR AS DIRECTED BY THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE APPROVED PLANS, MANUFACTURER'S RECOMMENDATIONS AS DIRECTED BY THE DESIGN ENGINEER AND TOWN REPRESENTATIVES INCLUDING TOWN ENGINEER, HIGHWAY SUPERINTENDENT AND BUILDING INSPECTOR.
- NO EROSION CONTROL STRUCTURES SHALL BE REMOVED UNTIL ALL WORK UPSTREAM THEREFROM HAS BEEN COMPLETED, INCLUDING STABILIZATION AND APPROVED BY THE DESIGN ENGINEER AND TOWN REPRESENTATIVES.
- ALL CONSTRUCTION EQUIPMENT SHALL HAVE PROPERLY SIZED MAINTAINED MUFFLERS.
- ALL CONSTRUCTION EQUIPMENT SHALL BE TURNED OFF WHEN NOT IN USE.

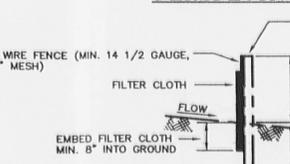
STREAMS, DRAINAGE SWALES AND EMBANKMENTS

- FILTER FABRIC IS TO BE MIRAFI 140 AS MANUFACTURED BY THE CELANESE CORPORATION OR APPROVED EQUAL.
- EROSION MATTING IS TO BE ENKAMAT TYPE 7010 AS MANUFACTURED BY THE AMERICAN ENKA COMPANY OR EQUAL.
- STABILIZATION FABRIC IS TO BE G.T.F. 150 EXXON GEOTEXTILE FABRIC AS MANUFACTURED BY THE EXXON CHEMICAL COMPANY OR EQUAL.
- ALL CONSTRUCTION ACTIVITIES IN OR EXISTING AROUND DRAINAGE SWALES OR WETLANDS ARE TO BE PROVIDED WITH TEMPORARY EROSION CONTROL STRUCTURES AS SHOWN IN DETAIL. LOCATED IMMEDIATELY DOWNSTREAM FROM SUCH ACTIVITY. THESE STRUCTURES ARE TO BE IN PLACE AS SHOWN PRIOR TO THE START OF ANY UP-STREAM CONSTRUCTION ACTIVITY.
- CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES ARE TO BEGIN WITH THE FARTHEST DOWNSTREAM (THE SILT FENCE) AND THENCE PROCEEDING UPSTREAM.
- AFTER CONSTRUCTION, OR AS DIRECTED BY THE ENGINEER, THE TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE REMOVED IN REVERSE ORDER WITH THE MOST UPSTREAM STRUCTURE REMOVED FIRST AND THENCE PROCEEDING DOWNSTREAM TO THE SILT FENCE.
- ALL TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE LEFT IN PLACE, MAINTAINED AND REPLACED AS NEEDED UNTIL ALL WORK UPSTREAM THEREFROM HAS BEEN COMPLETED AND ALL RELATED CONTROL STRUCTURES HAVE BEEN REMOVED.
- ALL EMBANKMENTS ARE TO BE GRADED AND SEEDING IMMEDIATELY UPON BEING LAIN BACK.
- STABILIZATION OF THE SWALES WILL INCLUDE SEEDING AND STRAW MULCH ON SLOPES LESS THAN 5% AND JUTE NETTING OR EQUAL ON SLOPES EXCEEDING 5%.
- TOPSOIL AND/OR EARTH STOCKPILE SHALL BE LOCATED OUTSIDE OF EXISTING DRAINAGE SWALES, WETLANDS AND ADJACENT AREAS. SILT FENCES WILL BE PLACED ALONG THE TOE OF THE PILES AND THESE PILES SHALL RECEIVE TEMPORARY SEEDING.

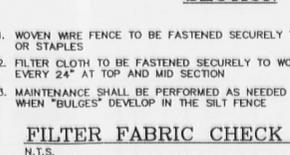
SLOPE STABILIZATION DETAIL



PERSPECTIVE



SECTION



- NOTES:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

FILTER FABRIC CHECK DAM DETAIL
N.T.S. CAD/EC1

ENGINEER'S CERTIFICATION

THE PROPOSED SEWAGE DISPOSAL SYSTEM(S) AND WATER SUPPLY SYSTEM(S) SHOWN ARE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS ESTABLISHED BY THE NEW YORK STATE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS. THE DESIGN(S) ARE BASED UPON ACTUAL SOIL AND SITE CONDITIONS FOUND UPON THE LOT(S) AT THE DESIGN LOCATION AT THE TIME OF DESIGN.

PERMANENT SEEDING MIXTURES

SPECIES	APPLICATION RATE
MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS	
EMPIRE BIRDSFOOT TREFOIL	8 LBS./ACRE
TALL FESCUE	20 LBS./ACRE
RYEGRASS	5 LBS./ACRE
GENERAL RECREATION AREAS AND LAWNS	
SUNNY SITES (WELL, MODERATELY WELL AND SOMEWHAT POORLY DRAINED SOILS)	
65% KENTUCKY BLUEGRASS BLEND	85-114 LBS./ACRE
20% PERENNIAL RYEGRASS	26-35 LBS./ACRE
15% FINE FESCUE	19-26 LBS./ACRE
SUNNY DROUGHTY SITES (SOMEWHAT EXCESSIVELY TO EXCESSIVELY DRAINED SOILS)	
65% FINE FESCUE	114-143 LBS./ACRE
15% PERENNIAL RYEGRASS	26-33 LBS./ACRE
20% KENTUCKY BLUEGRASS BLEND	35-44 LBS./ACRE
SHADY DRY SITES (WELL TO SOMEWHAT POORLY DRAINED SOILS)	
80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND	105-138 LBS./ACRE
20% PERENNIAL RYEGRASS	25-37 LBS./ACRE
SHADY WET SITES (SOMEWHAT POOR TO POORLY DRAINED SOILS)	
70% ROUGH BLUEGRASS	60-91 LBS./ACRE
80% SHADE TOLERANT KENTUCKY BLUEGRASS BLEND	25-39 LBS./ACRE

TEMPORARY SEEDING SCHEDULE

SEED	MULCH
1. TEMPORARY SEEDING SEASON: MARCH 1 TO JUNE 15 AUGUST 15 TO SEPT. 15	- STRAW, WOOD CHIPS, OR APPROVED FABRICS MAY BE USED AS MULCH
2. SEEDING: 4 LBS. ANNUAL (OR PERENNIAL) RYE/1000 SF. FERTILIZING: 16 LBS. 10-20-10 COMMERCIAL FERTILIZER/1000 SF. MULCH W/ CUTBACK ASPHALT MEDIUM CURING 80 LBS. SALT HAY OR STRAW/1000 SF. (MC-250 OR MC-800 @ 363 GAL./ACRE)	- STRAW MULCH CAN BE APPLIED BY MECHANICAL BLOWERS OR BY HAND TO PRODUCE A LOOSE LAYER 3/4" THICK
	- WOOD CHIPS SHALL BE SPREAD EVENLY OVER THE DISTURBED AREA TO A THICKNESS OF 2"
	- GENERALLY, 3 TONS OF MULCH PER ACRE ARE SUFFICIENT
	- STRAW MULCH SHALL BE FINE GRADE

TEMPORARY INLET PROTECTION DETAIL
CAD/EC10 N.T.S.

FOR USE IN NON-ROADWAY AREAS

DATE	DESCRIPTION	INITIALS
12/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
8/16/07	ORIGINAL PREPARATION DATE	MGF

MAP CHECK DATE: 00/00/00 INITIALED BY: --

PIETRZAK & PFAU ENGINEERING & SURVEYING, PLLC
282 GARDENVIEW AVENUE SUITE A GOSHEN, NEW YORK 10924 (914) 294-0098
2 HAMILTON AVENUE MONTICELLO, NEW YORK 12701 (914) 798-4848

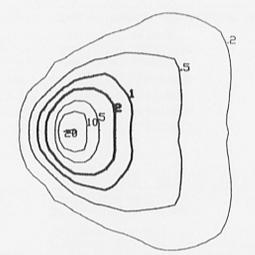
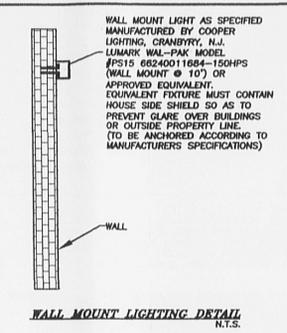
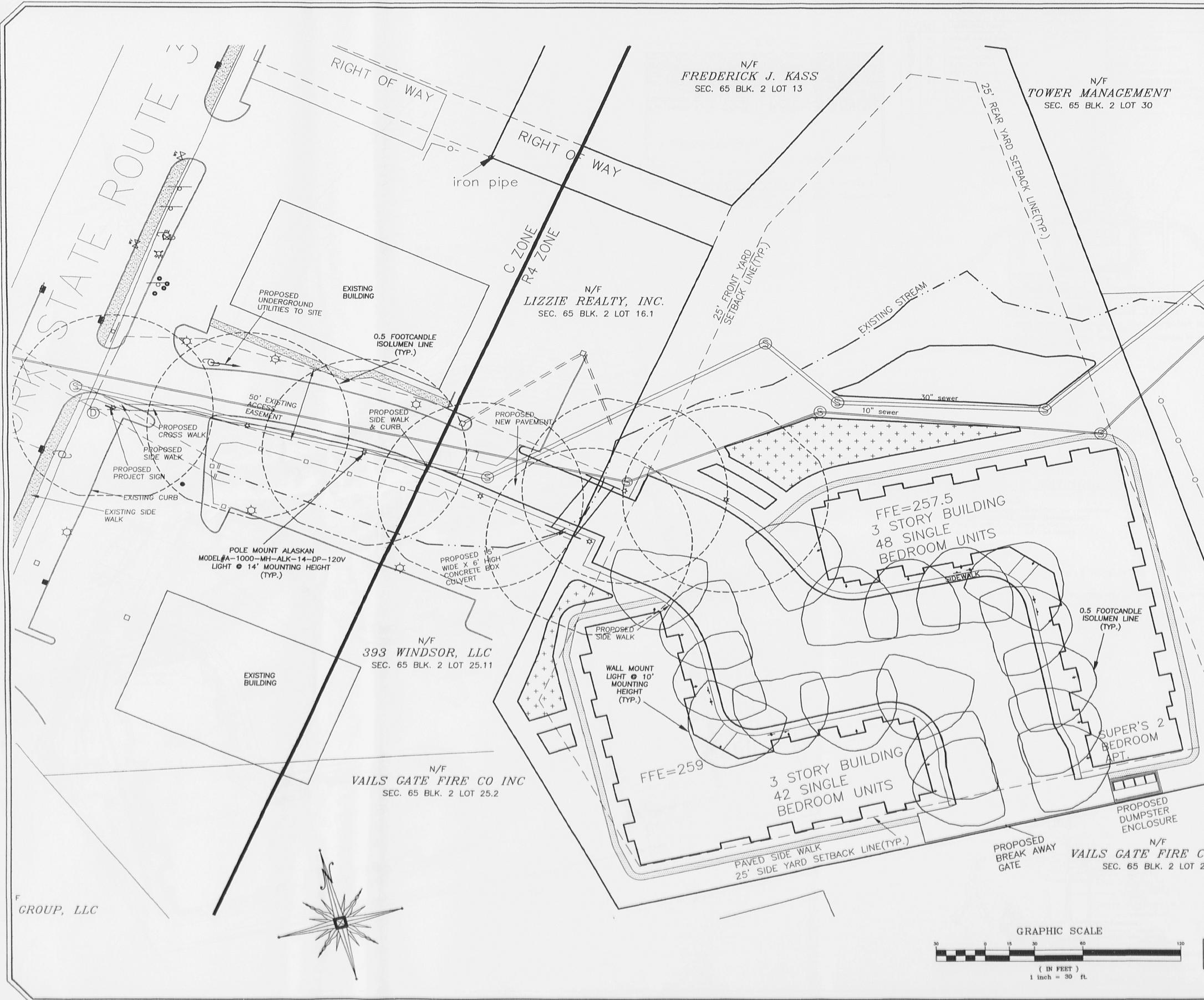
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
JUL 31 2008
By: [Signature]
Town Engineer, Secretary

NEW WINDSOR SENIOR HOUSING
TOWN OF NEW WINDSOR COUNTY OF ORANGE, NEW YORK

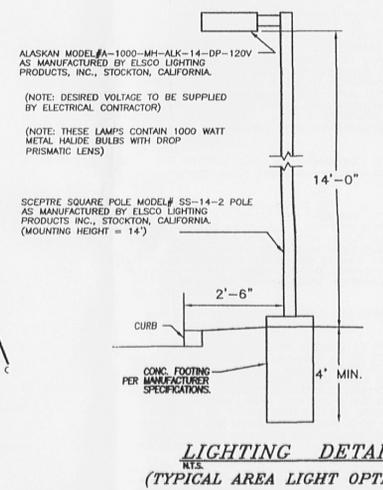
PROJECT TITLE
EROSION CONTROL PLAN
SEC. 65 BLK. 2 LOT 29

DRAWING TITLE
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

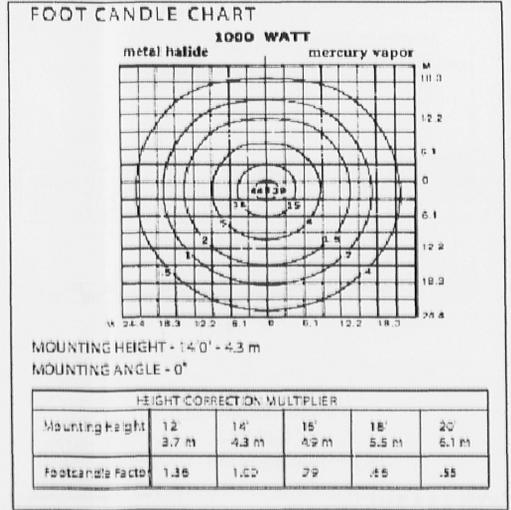
O.C.H.D. SHEET NO. 1 OF 1 D.E.C. SHEET NO. 5 OF 9
SCALE: 1"=50' CAD REFERENCE: 2612WORK PROJECT NUMBER: 26126.01



- NOTES:
1. LIGHTS ALONG EXTERIOR PROPERTY LINE TO BE SHIELDED SO AS TO MINIMIZE SPILLER OF GLARE ONTO ADJOINING PROPERTIES.
 2. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
 3. FLOOD LIGHTS WITH MOTION SENSORS ARE TO BE INSTALLED ON THE REAR SIDE OF THE BUILDING.



RECORD OWNER/APPLICANT
WARWICK PROPERTIES
1 CRESCENT AVENUE
WARWICK, NEW YORK 10980



DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
4/19/07	ORIGINAL PREPARATION DATE	TBE

REVISIONS

MAP CHECK DATE: 06/06/00 INITIALED BY: --

PIETRZAK & PFAU
ENGINEERING & SURVEYING, PLLC

282 GREENWICH AVENUE, SUITE A
OSSEEN, NEW YORK 10924
(845) 294-0008

2 HAMILTON AVENUE
MONTICELLO, NEW YORK 12701
(845) 796-4646

MECHANICAL ENGINEER P.E.
MICHAEL J. CORNINE P.E.
LICENSE NO. 07856

CIVIL ENGINEER P.E.
JOSEPH A. PFAU P.E.
LICENSE NO. 07856

REGISTERED PROFESSIONAL ENGINEER
MICHAEL J. PIETRZAK P.E.
LICENSE NO. 07856

REGISTERED PROFESSIONAL ENGINEER
TIMOTHY A. PIETRZAK P.E.
LICENSE NO. 07856

REGISTERED PROFESSIONAL ENGINEER
P.L.S. LICENSURE NO. 07856

REGISTERED PROFESSIONAL ENGINEER
K.J.P.L.S. LICENSURE NO. 07856

DATE: 1/23/08

NEW WINDSOR
SENIOR HOUSING

TOWN OF NEW WINDSOR
COUNTY OF ORANGE, NEW YORK

PROJECT TITLE
LIGHTING PLAN
SEC. 65 BLK. 2 LOT 29

DRAWING TITLE

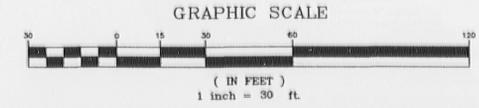
UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

O.C.H.D. SHEET NO	D.E.C. SHEET NO	DRAWING NUMBER
# OF #	# OF #	# OF #

SCALE: 1"=40'

CAD REFERENCE: 26126WORK

PROJECT NUMBER: 26126.01



THIS PLAN FOR LIGHTING DESIGN PURPOSES ONLY. FOR ALL OTHER DESIGN INFORMATION REFER TO OTHER SHEETS OF THIS DRAWING SET.

SCHEDULE OF PLANTS

SYM.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	DESCRIPTION / COMMENTS
●	PC	PYRUS CALLERYANA	BRADFORD PEAR	2 1/2' - 3' CAL., 10 - 14' HT. B&B	3	UNIFORM, STRAIGHT CENTRAL LEADER, SYMMETRICAL BRANCH PATTERN
●	TH	THUJA OCCIDENTALIS	EMERALD ARBORVITAE	6' HT., B&B	25	HEAVY, VIGOROUS, SYMMETRICAL PLANTS
●	PS	PINUS STOBUS	WHITE PINE	6-7' HT., B&B	23	HEAVY, VIGOROUS, SYMMETRICAL PLANTS
●	II	ILEX CRENATA	CHINA GIRL HOLLY	21/2-3' HT., 5 GAL. CONTAINERS	62	HEAVY, VIGOROUS, SYMMETRICAL PLANTS
●	BT	BERBERIS THUNBERGI	RED JAPANESE BARBERY	30-36", B&B	192	HEAVY, VIGOROUS, SYMMETRICAL SPECIMENS
●	EA	EUDONYMUS ALATUS COMPACTUS	DWARF WINGED EUONYMUS	32-34", B&B	59	HEAVY, VIGOROUS, SYMMETRICAL SPECIMENS
●	VO	VIBURNUM OPULUS	EUROPEAN CRANBERRY VIBURNUM	34-36", B&B	74	HEAVY, VIGOROUS, SYMMETRICAL SPECIMENS
●	MA	MOLLIS AZALEA	MOLLIS AZALEA 'CHRISTOPHER WREN'	24-30", B&B	57	HEAVY, VIGOROUS, SYMMETRICAL SPECIMENS

PLANTING NOTES

ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PRUNED TO REMOVE DEAD OR DYING BRANCHES. SHRUBS AND TREES SHALL BE PRUNED IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES FOR THE SPECIE OF PLANT BEING PRUNED.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATING FOR PLANTING WORK. CONTRACTOR MUST REQUEST FIELD LOCATIONS FROM THE VARIOUS UTILITY COMPANIES PRIOR TO BEGINNING THE WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING LOCAL ORDINANCES GOVERNING THE WORK.

FINAL LOCATIONS FOR PLANTS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT AND VILLAGE ENGINEER AFTER STAKE OUT BY THE CONTRACTOR.

THIS LANDSCAPE PLAN DOES NOT CONTAIN OR IMPLY ANY PROVISIONS FOR CONTRACTORS, LABORERS, OR TRANSIENTS' SAFETY OR SECURITY, WHICH IS THE SOLE RESPONSIBILITY OF CONTRACTORS, OWNERS AND OPERATORS.

PROVIDE AMENDED TOPSOIL BACKFILL FOR ALL NEWLY PLANTED MATERIAL. TOPSOIL FOR BACKFILL SHALL COMPLY WITH THE FOLLOWING SPECIFICATIONS: ORGANIC MATTER CONTENT - MIN. 5% PH RANGE - 5.0 TO 6.5 CLASSIFICATION - SANDY LOAM OR LOAM AGGREGATE - FREE OF STONES 1/2" OR GREATER

BACKFILL MIXTURE FOR DECIDUOUS TREES AND SHRUBS SHALL BE AMENDED AS FOLLOWS: 1 PART APPROVED TOPSOIL TO 2 PARTS ROTTED LEAF COMPOST OR PEAT MOSS, THOROUGHLY MIXED.

BACKFILL MIXTURE FOR EVERGREEN TREES AND SHRUBS SHALL BE AMENDED AS FOLLOWS: 1 PART APPROVED TOPSOIL TO 3 PARTS ROTTED LEAF COMPOST OR PEAT MOSS, THOROUGHLY MIXED.

COMMERCIAL FERTILIZER SHALL BE ADDED TO THE BACKFILL MIXTURE IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. COMMERCIAL FERTILIZER FOR ALL TREES AND SHRUBS SHALL BE HIGH PHOSPHOROUS FERTILIZER WITH AN EQUIVALENT RATING OF 5 - 10 - 5 (NITROGEN, PHOSPHOROUS AND POTASSIUM). EVERGREEN TREES AND SHRUBS TOPDRESS WITH A HIGH NITROGEN GRANULAR FERTILIZER SUCH AS HOLLYTONE, OR APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. FOR DECIDUOUS TREES AND SHRUBS, TOPDRESS WITH A HIGH PHOSPHOROUS GRANULAR FERTILIZER, SUCH AS 5 - 10 - 5, COMPLETE GARDEN FERTILIZER, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED IN DURING BACKFILLING AND AFTER PLANTING/MULCHING HAS BEEN COMPLETED.

PLANT BEDS, HEDGES, GROUPINGS, ETC. SHALL BE UNIFORMLY MULCHED OVER THE ENTIRE BED AREA WITH 3" THICK DOUBLE SHREDDED OAK BARK MULCH, BLACK IN COLOR. PALETTE MULCH OR OTHER SHREDDED WOOD MULCH IS NOT ACCEPTABLE. PRIOR TO INSTALLATION OF MULCH, SUBMIT A SAMPLE TO THE LANDSCAPE ARCHITECT ALONG WITH SOURCE AND LOCATION OF ORIGIN AND PHONE NUMBER OF THE SUPPLIER. NO MULCH SHALL BE INSTALLED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

ALL BED LINES SHALL BE SMOOTHLY AND UNIFORMLY DEFINED WITH A GARDEN SPADE.

ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER AT ITS SOURCE, PRIOR TO SHIPMENT TO THE JOBSITE. ALL SPECIMEN ORNAMENTALS, DECIDUOUS TREES, EVERGREEN TREES SHALL BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND THE LANDSCAPE ARCHITECT OR ENGINEER FOR COMPLIANCE WITH THE PLANT LIST. APPROVED PLANTS SHALL BE TAGGED WITH LOCKING SEALS WHICH WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT OR ENGINEER AFTER DELIVERY/PLANTING IN ORDER FOR PAYMENT TO BE MADE TO THE CONTRACTOR.

ALL PLANT MATERIAL SHALL BE HIGH QUALITY SPECIMEN GRADE MATERIAL IN VIGOROUS HEALTHY CONDITION. STANDARD FOR PLANT MATERIAL SHALL BE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, WASHINGTON, D.C.

SLOPE AREAS OF GREATER THAN 2:1 SHALL BE STABILIZED UTILIZING CROWN VETCH.

SLOPE AREAS OF GREATER THAN 1:1 SHALL BE STABILIZED UTILIZING PERMANENT EROSION CONTROL MATS IN ADDITION TO CROWN VETCH.

TOPSOIL & SEEDING NOTES

AREAS DESIGNATED TO BE TOPSOILED AND SEEDED SHALL BE TREATED AS FOLLOWS:

ESTABLISH SUBGRADE TO A SMOOTH, UNIFORM SURFACE ELEVATION 4 INCHES BELOW FINISHED GRADE.

REMOVE ALL SURFACE STONES 2' OR GREATER FROM THE TOP 2' OF THE SUBGRADE.

SPREAD HIGH PHOSPHOROUS GRANULAR FERTILIZER OVER THE SUBGRADE AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET.

SPREAD APPROVED TOPSOIL OVER THE ENTIRE AREA TO A UNIFORM 4" DEPTH (MINIMUM), TO THE REQUIRED FINISHED GRADE ELEVATIONS. REMOVE ALL STONES 3/4" DIA. OR GREATER FROM THE ENTIRE DEPTH OF TOPSOIL. APPLY PULVERIZED LIMESTONE TO THE TOPSOIL AT A RATE DETERMINED BY SOIL TESTING TO MEET REQUIRED PH REQUIREMENTS.

SPREAD HIGH NITROGEN FERTILIZER (20 - 10 - 10) OVER THE ENTIRE AREA AND RAKE INTO THE TOP 1" OF SOIL AT A RATE OF 3 POUNDS PER 1000 SQUARE FEET.

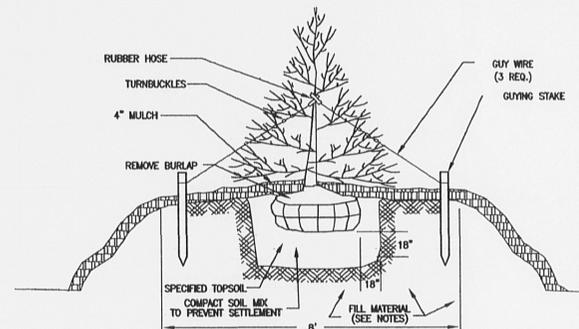
SPREAD SEED MIXTURE UNIFORMLY OVER THE ENTIRE AREA AT A RATE OF 4 POUNDS PER 1000 SQUARE FEET. LIGHTLY RAKE SEED INTO THE TOP 1/4" OF SOIL. MIST THE ENTIRE SEED BED THOROUGHLY WITH CARE NOT TO CREATE EROSION OF SEEDBED.

STRAW MULCH (UNIFORMLY BLOWN ON) TO A 1/2" BLANKET AND IMMEDIATELY WATER THE MULCH BLANKET.

TOPSOIL SHALL BE AS SPECIFIED UNDER PLANTING NOTES.

SEED MIXTURE SHALL BE AS FOLLOWS:
20% APPROVED VARIETY OF KENTUCKY BLUEGRASS
20% FINE BLADED, TURF TYPE, TALL FESCUE
30% APPROVED VARIETY OF PERENNIAL RYE GRASS
30% CREEPING RED FESCUE.

CONTRACTOR SHALL SUBMIT SEED CERTIFICATION PRIOR TO SEEDING.



BERM W/ EVERGREEN TREES

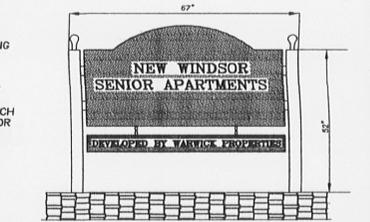
- AREAS OF PROPOSED FILL MATERIAL TO BE RUN OF BANK GRAVEL COMPACTED IN 12" MAXIMUM LIFTS AS REQUIRED.
- AREAS OF PROPOSED FILL MATERIAL SHOULD CONFORM TO ASTM STANDARD OF 85% COMPACTION

BIORETENTION AREA PLANTINGS:

- DESCHAPISA CAESPITOSA, TUFTED HAIRGRASS
- GLYCERIA STRIATA, FOWL MANNAGRASS
- JUNCUS EFFUSUS, SOFT RUSH
- PANICUM VIRGATUM, SWITCH GRASS

PLANTING SCHEDULE:

- EACH SPECIES TO BE PLANTED USING EITHER 1 1/2" PLUGS AND/OR SEED.
- THE PLUGS SHALL BE RANDOMLY MIXED AND PLANTED WITH AN APPROXIMATE SPACING OF 2'-6" ON CENTER.
- THE SEEDING SHALL CONSIST OF EQUAL PARTS PER SPECIES AND BROADCAST OVER IT'S RESPECTIVE AREA AT A RATE OF 1 POUND PER 2,000 SQ.FT.



ENTRANCE SIGN DETAIL

SIGN COLORS: DARK GREEN TEXT W/ GOLD TRIM ON SALT BUSH BEIGE BACKGROUND

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	ORIGINAL PREPARATION DATE	TBE

REVISIONS

MAP CHECK DATE: 00/00/00 INTAILED BY: --

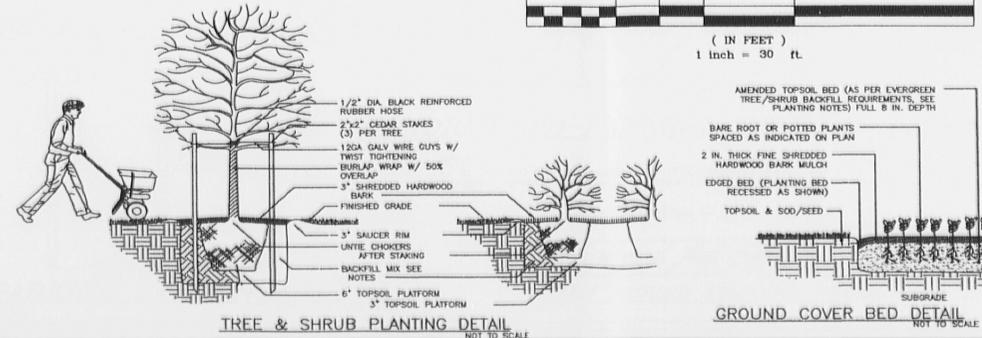
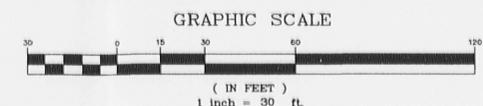
PIETRZAK & PFAU ENGINEERING & SURVEYING, PLLC
282 GODDWIN AVENUE, SUITE A, GOSHEN, NEW YORK 10924 (845) 294-0808
2 HAMILTON AVENUE, MONTICELLO, NEW YORK 12701 (845) 798-4646

NEW WINDSOR SENIOR HOUSING
TOWN OF NEW WINDSOR
COUNTY OF ORANGE, NEW YORK

LANDSCAPE PLAN
SEC. 85 BLK. 2 LOT 20

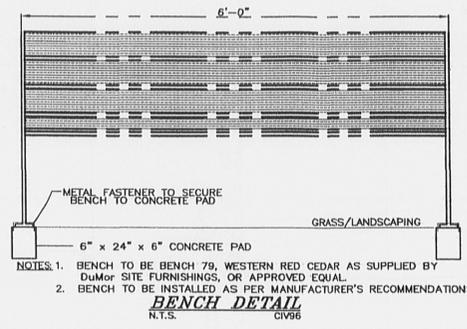
DRAWING TITLE: LANDSCAPE PLAN
SCALE: 1"=30'
CAD REFERENCE: 26126WORK
PROJECT NUMBER: 26126.01

THIS PLAN FOR LANDSCAPING DESIGN PURPOSES ONLY. FOR ALL OTHER DESIGN INFORMATION REFER TO OTHER SHEETS OF THIS DRAWING SET.

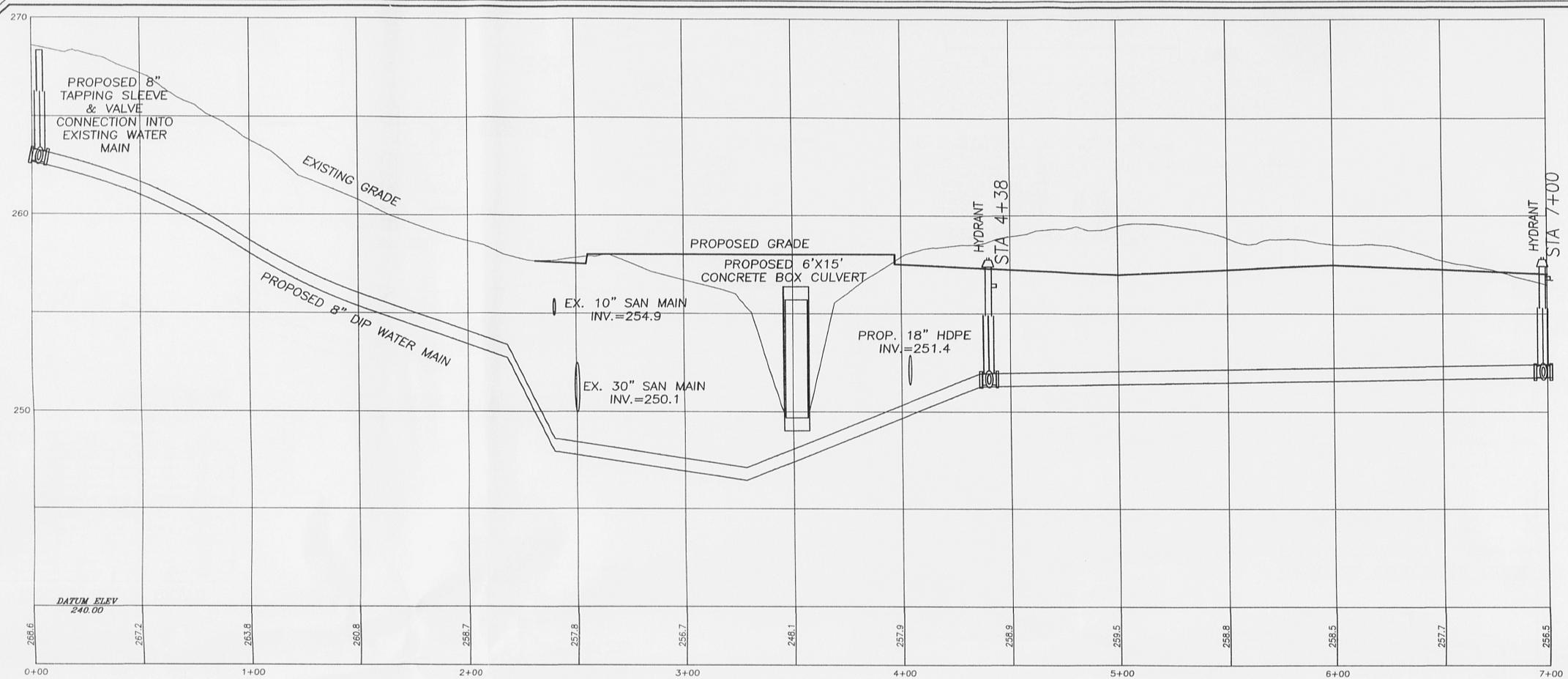


TREE & SHRUB PLANTING DETAIL

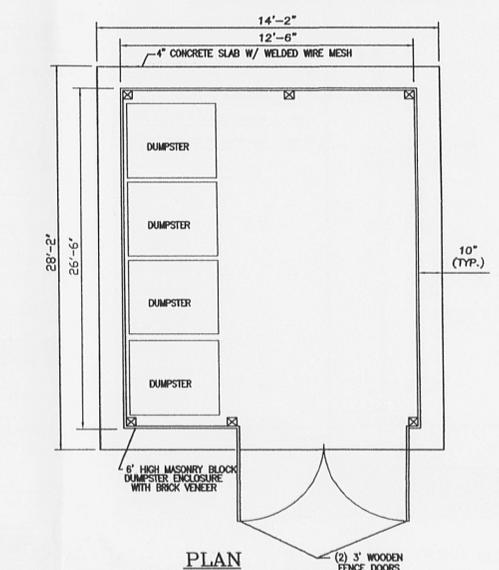
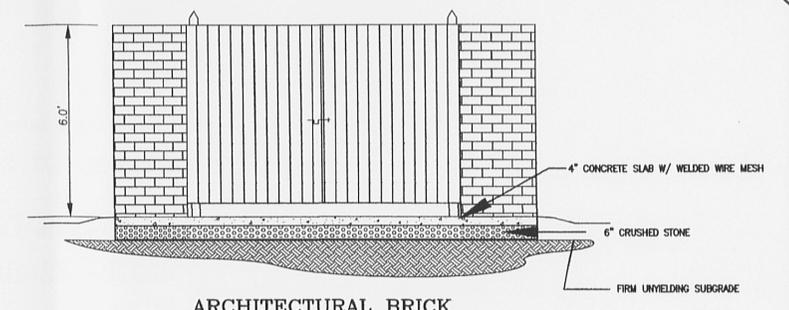
GROUND COVER BED DETAIL



BENCH DETAIL
N.T.S.

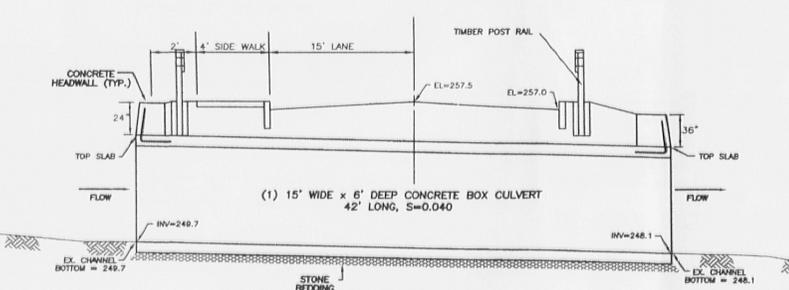


PROPOSED WATER MAIN PROFILE
SCALE:
HORIZONTAL 1"=30'
VERTICAL 1"=3'

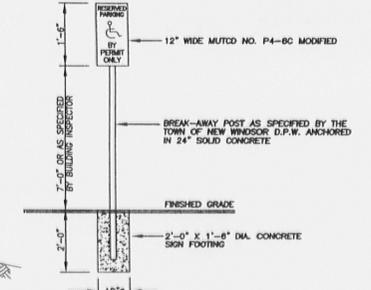


PLAN DUMPSTER AREA DETAIL
NOTE: ALL DUMPSTERS TO HAVE A LID TO MITIGATE ODORS.

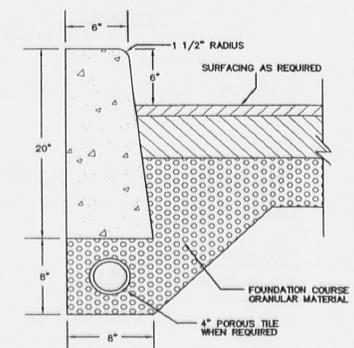
APPROVAL GRANTED BY TOWN OF NEW WINDSOR
JUL 31 2008
By: [Signature]
Town of New Windsor



SECTION N.T.S.

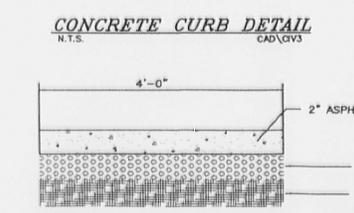


HANDICAP SIGN DETAIL CIV87 N.T.S.

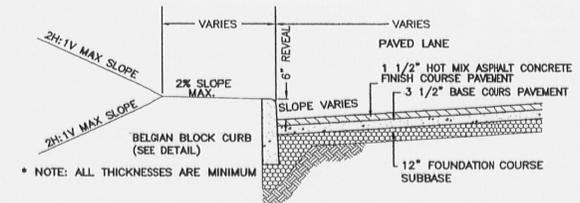


CONCRETE CURB DETAIL CAD/CIV3 N.T.S.

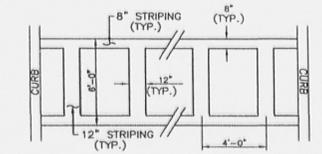
NOTES:
1. CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT TEN (10) FOOT INTERVALS. CONCRETE TO BE 1:2:3 MIX DESIGN, AIR ENTRAINMENT WITH DUREX OR EQUAL.
2. CONCRETE TO TEST 4000 PSI AT 28 DAYS



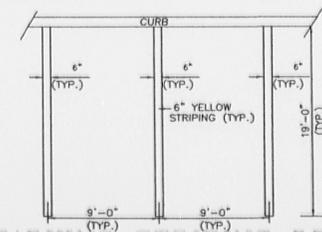
PAVED SIDEWALK DETAIL N.T.S.
* FOR USE IN THE REAR OF THE PROPOSED BUILDINGS AS SHOWN



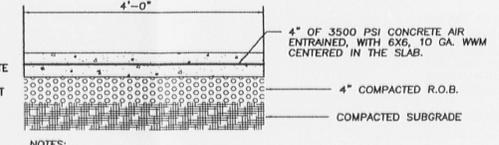
TYPICAL PARKING LOT SECTION N.T.S.
* NOTE: PAVEMENT SECTION ALSO APPLIES TO ACCESS DRIVE



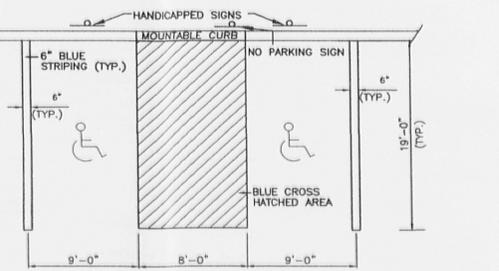
CROSSWALK STRIPING DETAIL CIV92 N.T.S.



PARKING STRIPING DETAIL CAD/CIV91 N.T.S.

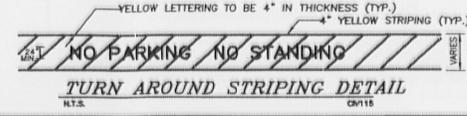


CONCRETE SIDEWALK DETAIL N.T.S.

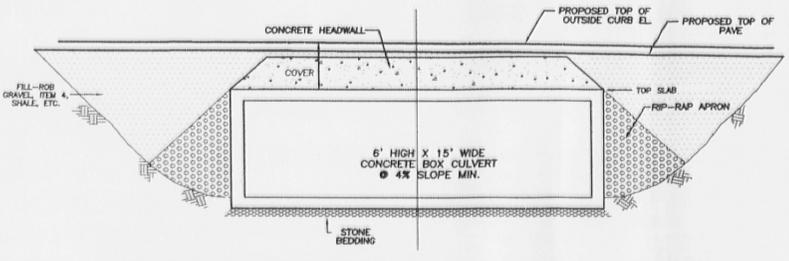


HANDICAPPED PARKING STRIPING DETAIL N.T.S.

NOTE:
1. ALL STRIPING FOR THE HANDICAPPED SPACE MUST BE BLUE. WHEN A STANDARD SPACE ADJACENT A HANDICAPPED SPACE, A DOUBLE LINE SHOULD BE INSTALLED, ONE BLUE, ONE YELLOW.



TURN AROUND STRIPING DETAIL CIV16 N.T.S.



PROFILE ABOVE DRAINAGE SWALE: CONC. BOX CULVERT

NOTE:
1. SIGNED AND SEALED SHOP DRAWINGS FOR BOX CULVERT SHALL BE SUPPLIED TO AND APPROVED BY THE TOWN OF NEW WINDSOR ENGINEER PRIOR TO THE RECEIPT OF A BUILDING PERMIT.
2. CULVERT TO BE DESIGNED TO HANDLE A MINIMUM OF H-20 LOADING.
3. CULVERT TO BE INSTALLED DURING A TIME OF LOW FLOW FOR SILVER STREAM, OR WITH THE USE OF A BY PASS PUMP.

NO PARKING SIGN DETAIL CIV88 N.T.S.

DATE	DESCRIPTION	INITIALS
12/23/06	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
8/16/07	ORIGINAL PREPARATION DATE	MGF

MAP CHECK DATE:	00/00/00	INITIALED BY:	--
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PIETRZAK & PFAU
ENGINEERING & SURVEYING, PLLC
282 GREENWICH AVENUE, SUITE A
GOSWICK, NEW YORK 12024
(845) 284-0008

2 HAMILTON AVENUE
MONTICELLO, NEW YORK 12701
(845) 708-4848

NEW WINDSOR
SENIOR HOUSING
TOWN OF NEW WINDSOR
COUNTY OF ORANGE, NEW YORK
PROJECT TITLE

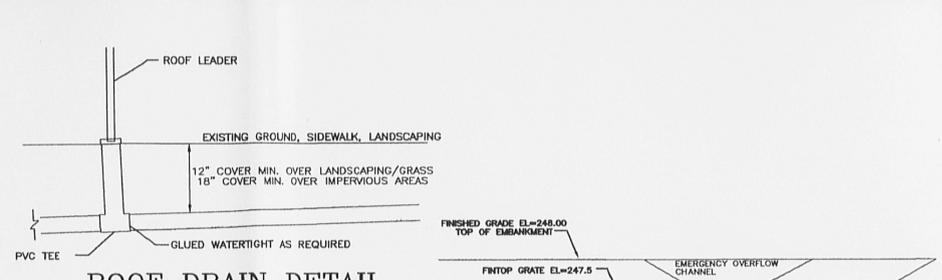
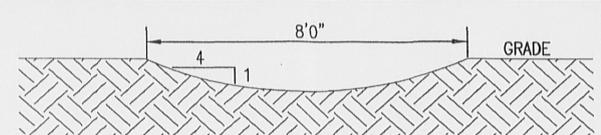
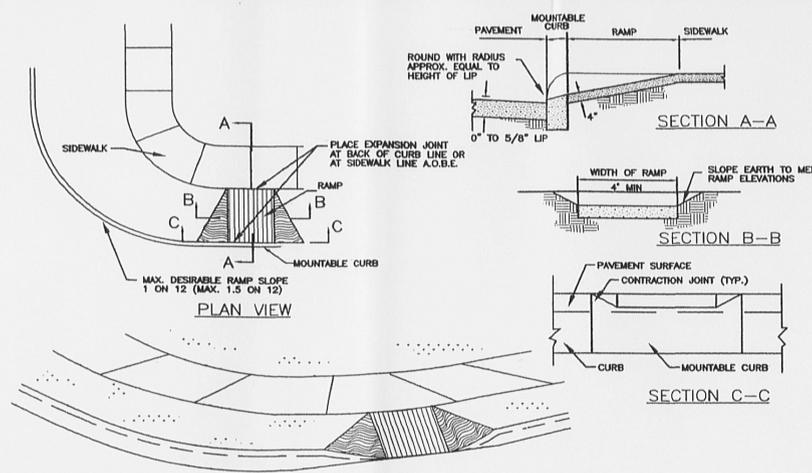
DETAILS 1
SEC. 65 BLK. 2 LOT 29

DRAWING TITLE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED LAND SURVEYOR'S OR PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

O.C.H.D. SHEET NO.	D.E.C. SHEET NO.	DRAWING NUMBER
OF	OF	OF

SCALE AS NOTED CAD REFERENCE 26126WORK PROJECT NUMBER 26126.01



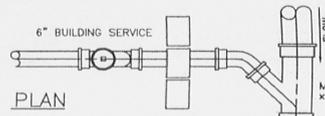
BEARING AREAS ARE BASED UPON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2 TONS PER SQ. FT.; FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.

PIPE DIAMETER (INCHES)	DELTA UP TO 22'-1/2"		
	"A" SQ. FT.	"A" SQ. FT.	"A" SQ. FT.
4-6	0.5	0.9	1.9
8	0.8	1.6	2.8
10	1.3	2.5	4.4
12	1.8	3.6	6.3

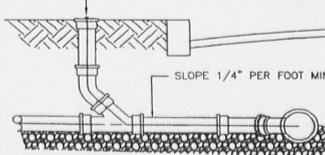
WHEN RESTRAINED JOINTS ARE USED IN LIEU OF THRUST BLOCKS THE FOLLOWING TABLE SHALL APPLY, WHERE "L" EQUALS THE LENGTH AT EACH SIDE OF THE BEND TO BE RESTRAINED.

PIPE DIAMETER (INCHES)	DELTA UP TO 22'-1/2"		
	"L" FEET	"L" FEET	"L" FEET
4-6	3.1	5.4	9.1
8	4.0	7.0	11.8
10	4.7	8.4	14.3
12	5.5	9.8	16.8

THRUST BLOCK DETAIL
N.T.S.



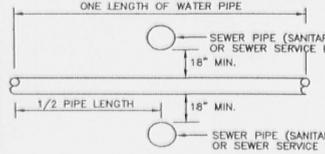
PLAN



SECTION

- NOTES:
1. INSTALL FOUNDATION AND BACKFILL AS PER PIPE BEDDING AND BACKFILL DETAIL.
2. WHEN INSTALLING A NEW LATERAL TO AN EXISTING SEWER, INSTALL SADDLE IN PLACE OF WYE FITTING. CUT EXISTING SEWER, REMOVE CUTOUT, INSTALL MANUFACTURER'S GASKET, SECURE SADDLE TO MAIN WITH TWO STAINLESS STRAPS.

SANITARY SEWER LATERAL
NOT TO SCALE



VERTICAL

HORIZONTAL

1. FOR VERTICAL CROSSINGS, POSITION MIDPOINTS OF SEWER AND WATER PIPE LENGTHS AT THE POINT OF THE CROSSING.
2. SEPARATION REQUIREMENTS APPLY TO WATER SERVICE LINES AS WELL AS WATER MAINS.
3. WHERE IT IS IMPOSSIBLE TO MAINTAIN THE REQUIRED 10 FOOT HORIZONTAL SEPARATION, THE SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE AND PRESSURE TESTED TO 150 PSI PRIOR TO BACKFILLING.

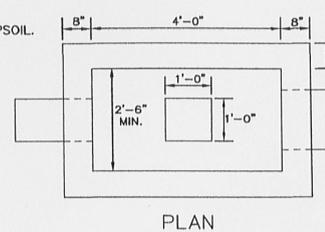
SEWER & WATER SEPARATIONS
NOT TO SCALE

SIDEWALK RAMP DETAIL
FOR USE ALONG THE DRIVEWAY TO ROUTE 32. N.T.S.

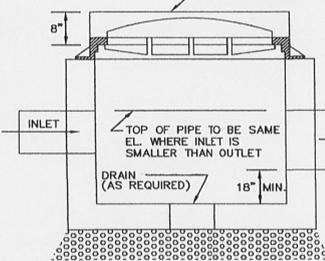
GRASED SWALE DETAIL
N.T.S. CAD/S0614

ROOF DRAIN DETAIL

GRASED SWALE DETAIL
N.T.S. CAD/S0614

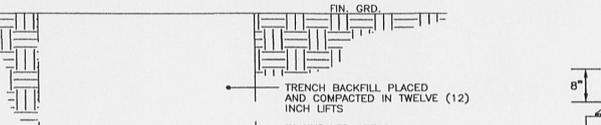


PLAN

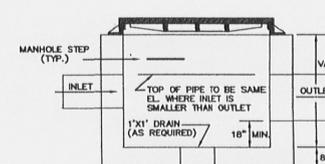


FRONT ELEVATION

PRECAST CONCRETE CURB INLET DETAIL
N.T.S.



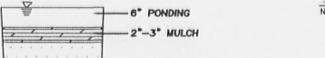
SEWER, WATER & DRAINAGE PIPE BEDDING & BACKFILL DETAIL
NOT TO SCALE



FRONT ELEVATION

PRECAST CONCRETE FIELD INLET DETAIL
N.T.S. CAD/GV5

PRECAST CONCRETE FIELD INLET DETAIL
N.T.S. CAD/GV5

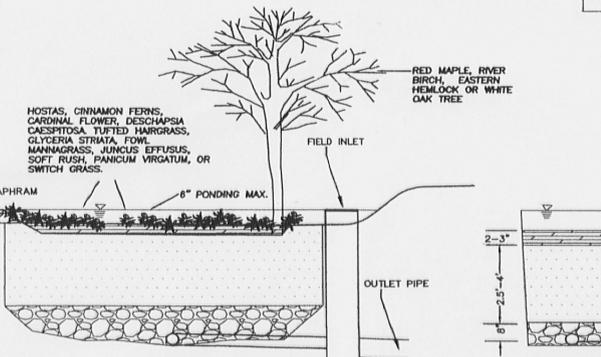


TYPICAL SECTION

PRECAST CONCRETE FIELD INLET DETAIL
N.T.S. CAD/GV5

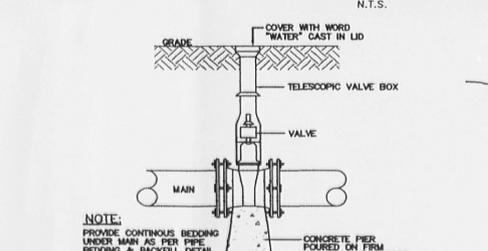
- NOTES:
1. REINFORCING A.S.T.M. A 185 AREA .012 IN./VERTICAL FOOT
2. CONCRETE COMPRESSIVE STRENGTH - 4000 P.S.I.
3. MANHOLE SPECIFICATIONS TO CONFORM TO "PRE CAST REINFORCED CONCRETE MANHOLE SECTIONS, A.S.T.M. DESIGNATION C 476, LATEST REVISION."
4. FOR SANITARY SEWER MANHOLES PIPE TO MANHOLE SEAL TO BE GASKET PER A.S.T.M. RUBBER GASKET SPEC. C923, CAST INTEGRALLY IN MANHOLE WALL AND LOCATED AS REQUIRED. JOINT TO ALLOW 10% OMBIDIRECTIONAL DEFLECTION.
5. FOR STORMWATER DRAINAGE MANHOLES, DELETE REQUIREMENT FOR EXTERIOR WATERPROOF COATING.
6. FRAME & COVER SHALL BE CAST IRON AND SHALL CONFORM TO ASTM A48, CLASS 30, AND SHALL BE SUITABLE FOR H-20 LOADING CAPACITY.
7. MANHOLES TO BE INSTALLED ON 12" OF CLEAN CRUSHED STONE OR GRAVEL.

PRECAST CONCRETE FIELD INLET DETAIL
N.T.S. CAD/GV5



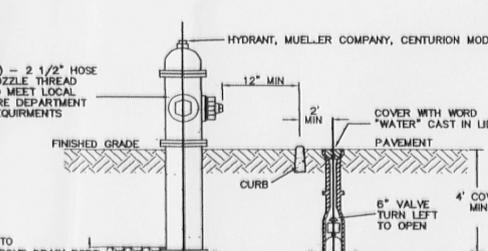
PROFILE BIO RETENTION DETAIL (TYP.)
N.T.S. NOTE: 1. TO BE CONSTRUCTED AS INDICATED ON PLAN

WATERMAIN CONNECTION DETAIL
N.T.S.

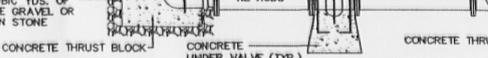


WATERMAIN CONNECTION DETAIL
N.T.S.

IN-LINE WATER VALVE DETAIL
N.T.S.



IN-LINE WATER VALVE DETAIL
N.T.S.



HYDRANT DETAIL
N.T.S.

1. CARE SHOULD BE TAKEN TO ENSURE CONCRETE THRUST BLOCK DOES NOT IMPEDE HYDRANT DRAIN.
2. IF HIGH GROUND WATER IS ENCOUNTERED, THE HYDRANT DRAIN HOLE SHOULD BE PLUGGED AND THE HYDRANT MARKED OR LABELED TO INDICATE THAT THE BARREL MUST BE PUMPED OUT AFTER USE TO PREVENT DAMAGE FROM FREEZING

HYDRANT DETAIL
N.T.S.

- NOTES:
1. HEAVY DUTY CURB TYPE CATCH BASIN FRAME AND GRATE TO BE CAMPBELL FOUNDRY ADA COMPLIANT PATTERN NO. 2541 & 2548 AS REQUIRED
2. PRECAST CONCRETE TO BE 4000 PSI AT 28 DAYS W/ 6"X6"X6" W.W. MESH REINFORCEMENT

ROOF DRAIN DETAIL

PRECAST CONCRETE CURB INLET DETAIL
N.T.S.

FLOOD ELEVATION	INVERT
100 YEAR FLOOD ELEVATION - 246.97	
75 YEAR FLOOD ELEVATION - 246.58	
10 YEAR FLOOD ELEVATION - 246.22	
2 YEAR FLOOD ELEVATION - 245.34	
1 YEAR FLOOD ELEVATION - 245.08	

DRY POND OUTLET STRUCTURE DETAIL
CAD/GV29

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

DATE: 7/31/2008

By: [Signature]

COVER: [Signature]

DRY POND OUTLET STRUCTURE DETAIL
CAD/GV29

DATE	DESCRIPTION	INITIALS
1/23/08	AS PER FIRE INSPECTOR & MHE COMMENTS	TBE
12/17/07	AS PER WORKSHOP MEETING	TBE
11/21/07	AS PER MHE LETTERS	TBE
11/13/07	AS PER 10/12/07 MHE LETTER	TBE
10/18/07	STORM WATER DESIGN	TBE
8/16/07	ORIGINAL PREPARATION DATE	MGE

DRY POND OUTLET STRUCTURE DETAIL
CAD/GV29

