

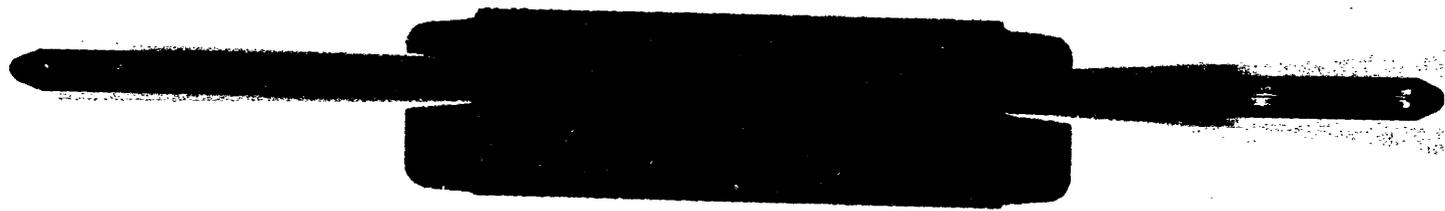
**PB# 06-04**

**Hudson Valley FCU**

**4-1-3.1 & 5.11**

06-04 Hudson Valley Fed. Credit Un.  
Rt. 300 - Chazen 4-1-3.1  
4-1-5.11

TOWN OF NEW WINDSOR  
PLANNING BOARD  
APPROVED COPY  
DATE: June 13, 2007



*Sent to O.C. Plan 5/25/06*



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 12/19/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
SITE PLAN BOND

FOR PROJECT NUMBER: 6-4  
NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/12/2007	SITE PLAN BOND - MARK	CHG	71665.00		
12/19/2007	REC CK. #4451403989	PAID		71665.00	
		TOTAL:	71665.00	71665.00	0.00

*Jack,*

*Planning  
12-29-07*

*Site Plan Bond for Planning Board  
Project #06-04.*

THIS DOCUMENT HAS AN ARTIFICIAL WATERMARK PRINTED ON THE BACK, THE FRONT OF THE DOCUMENT HAS A MICRO-PRINT SIGNATURE LINE. ABSENCE OF THESE FEATURES WILL INDICATE A COPY.

2219  
34306 / M 90129-0

**Hudson Valley Federal Credit Union**  
136 BARNEGAT RD. POUCHKEEPSE, NY 12801 800-468-3011

*P.B. #06-04 Site Plan Bond*

4451403989  
ACCOUNTS PAYABLE

69-35  
519

PAY                     

TOWN OF NEW WINDSOR \*\*\*\*\*

TO THE PAY ORDER OF SEVENTY ONE THOUSAND SIX HUNDRED AND SIXTY FIVE DOLLARS ONLY

TOWN OF NEW WINDSOR  
555 UNION AVENUE  
NEW WINDSOR NY 12553

Ref: NB BR-BOND-C.O.

DATE 18 DEC 07

\$71,665.00

*Anton K... [Signature]*  
AUTHORIZED SIGNATURE

PAYABLE THROUGH  
99&T  
C-APLESTON, WV

⑆051900353⑆00445 14039897⑆

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 12/19/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
SITE PLAN BOND

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/12/2007	SITE PLAN BOND - MARK	CHG	71665.00		
12/19/2007	REC CK. #4451403989	PAID		71665.00	
		TOTAL:	71665.00	71665.00	0.00

**SUBMITTAL HISTORY FOR**  
**PLANNING BOARD FILE #06-04**

**APPLICANT: HUDSON VALLEY FED CREDIT UNION**

DATE RECEIVED: 05-18-2006

ITEM RECEIVED: STORMWATER MANAGEMENT REPORT

DISTRIBUTION: ONE TO MARK ONE FOR FILE

RESULTS: \_\_\_\_\_

CHAZEN ENVIRONMENTAL SERVICES, INC.

Dutchess County Office  
Phone: (845) 454-3980

Orange County Office  
Phone: (845) 567-1133

547 River Street, Troy, New York 12180  
Phone: (518) 273-0055 Fax: (518) 273-8391  
Web: www.chazencompanies.com

North Country Office  
Phone: (518) 812-0513

May 16, 2006

Town of New Windsor  
555 Union Avenue  
New Windsor, New York 12553  
Attention: Myra Mason

Re: *Storm Water Management Letter Report  
Hudson Valley Federal Credit Union  
NYS Route 300  
Job #10512.00*

Dear Ms. Mason:

This letter provides the Storm Water Management calculations in support of the proposed Hudson Valley Federal Credit Union located along NYS Route 300 at the existing Wal-Mart shopping center in the Town of New Windsor, Orange County New York.

A copy of the Storm Water Management Plan for the Wal-Mart Expansion project was obtained from the Town, dated September 29, 2003 and prepared by APD Engineering. Based on a review of the Storm Water Management Plan, the storm water management basin and infrastructure were sized to attenuate, convey and treat storm water run-off from the lease parcels, the out parcel and the Wal-Mart expansion. As described in the report prepared by APD the lease parcels and out parcel were included in the overall project design using an 85% impervious area for future development, which includes the proposed Credit Union Branch site.

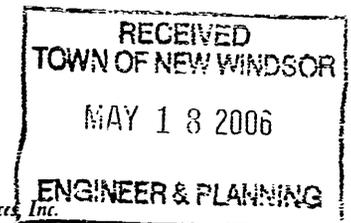
**Storm water runoff analysis:**

The proposed Credit Union Branch will occupy one of the lease parcels and the out parcel as described above and calculations for both run-off and water quality volumes are based on the development plan proposed as depicted in the Site Plans. The site was divided into two Subcatchments for the run-off analysis and these Subcatchments are depicted on the attached figure. For purposes of the comparison the calculations are based on a 25-year design storm with a rainfall intensity of 6.50 inches/hr. The run-off calculations are based on the following:

Chazen Engineering & Land Surveying Co., P.C.

THE  
**Chazen**  
COMPANIES

Chazen Environmental Services, Inc.



**Table 1: Subcatchment 1 Based on Proposed Site Plans**

LAND COVERAGE	"C" RATIONAL RUNOFF COEFFICIENT	AREA (SF)	AREA (ACRES)	"C" WEIGHTED COEFFICIENT
Pavement / Buildings	0.950	32,601	0.748	0.783
Landscaped & Lawns	0.150	8,627	0.198	

Runoff Calculations for Subcatchment 1 based on the 25-year design storm is as follows:

$$Q = CiA$$

Where:

Q = Storm Water runoff in cubic feet per second (CFS)

C = Weighted Rational Runoff Coefficient (0.783)

i = Rainfall intensity inches per hour = 6.5 (Per APD Report)

A = Area in acres (0.946)

$$\text{Subcatchment 1 runoff} = Q = (0.783)(6.5)(0.946) = \underline{4.814 \text{ CFS}}$$

**Table 2: Subcatchment 2 Based on Proposed Site Plans**

LAND COVERAGE	"C" RATIONAL RUNOFF COEFFICIENT	AREA (SF)	AREA (ACRES)	"C" WEIGHTED COEFFICIENT
Pavement / Buildings	0.950	26,757	0.614	0.616
Landscaped & Lawns	0.150	19,195	0.440	

Runoff Calculations for Subcatchment 2 based on the 25-year design storm is as follows:

$$Q = CiA$$

Where:

Q = Storm Water runoff in cubic feet per second (CFS)

C = Weighted Rational Runoff Coefficient (0.616)

i = Rainfall intensity inches per hour = 6.5 (Per APD Report)

A = Area in acres (1.05)

$$\text{Subcatchment 2 runoff} = Q = (0.616)(6.5)(1.05) = \underline{4.204 \text{ CFS}}$$

The design of the basin and the conveyance system as outlined in the report prepared by APD, were sized based upon the lease parcel and out parcel having a impervious coverage of 85% of the total site area. The impervious coverage for the proposed Credit Union Branch as proposed on the site plans is 68% and therefore the runoff generated from the proposed branch will be less than what was anticipated as part of the original design. The following calculations represent the runoff generated from the two subcatchments using the 85% impervious coverage:

**Table 3: Subcatchment 1 Based on 85% impervious coverage for the branch site**

LAND COVERAGE	"C" RATIONAL RUNOFF COEFFICIENT	AREA (SF)	AREA (ACRES)	"C" WEIGHTED COEFFICIENT
Pavement / Buildings	0.950	35,044	0.804	0.830
Landscaped & Lawns	0.150	6,184	0.142	

Runoff Calculations for Subcatchment 1 based on the 25-year design storm is as follows:

$$Q = CiA$$

Where:

Q = Storm Water runoff in cubic feet per second (CFS)

C = Weighted Rational Runoff Coefficient (0.830)

i = Rainfall intensity inches per hour = 6.5 (Per APD Report)

A = Area in acres (1.05)

$$\text{Subcatchment 1 runoff} = Q = (0.830)(6.5)(0.946) = \underline{5.103 \text{ CFS}}$$

**Table 4: Subcatchment 2 Based on 85% impervious coverage for the branch site**

LAND COVERAGE	"C" RATIONAL RUNOFF COEFFICIENT	AREA (SF)	AREA (ACRES)	"C" WEIGHTED COEFFICIENT
Pavement / Buildings	0.950	39,059	0.896	0.830
Landscaped & Lawns	0.150	6,893	0.158	

Runoff Calculations for Subcatchment 2 based on the 25-year design storm is as follows:

$$Q = CiA$$

Where:

Q = Storm Water runoff in cubic feet per second (CFS)

C = Weighted Rational Runoff Coefficient (0.830)  
 i = Rainfall intensity inches per hour = 6.5 (Per APD Report)  
 A = Area in acres (1.05)

Subcatchment 2 runoff = Q = (0.830)(6.5)(1.05) = **5.665 CFS**

A comparison of the results reveal that the anticipated runoff from the proposed Credit Union Branch is less than what was anticipated in the original design. The following Table demonstrates this comparison:

**Table 4: Summary of Development Peak Discharge Rates**

Subcatchment	Runoff based on site impervious coverage of 85%	Runoff based on proposed credit union branch	Decrease in runoff from proposed credit union branch
Subcatchment 1	5.103 CFS	4.814 CFS	0.289 CFS
Subcatchment 2	5.665 CFS	4.204 CFS	1.461 CFS

Since the runoff generated from the proposed Credit Union Branch will be less than what was anticipated, the receiving systems shall have adequate capacity for the proposed development.

**Water Quality Analysis:**

Using the same approach as above for the required water quality volume calculations the required water quality volumes for the proposed branch compared to the 85% impervious coverage calculations is as follows:

The proposed water quality (WQ<sub>v</sub>) controls have been sized based on the 90% rule methodology as described in Table 4.1 "New York Storm water Sizing Criteria" of the *NYS Stormwater Management Design Manual* dated August 2003. The water quality (WQ<sub>v</sub>) control is defined as:

$$WQ_v = \frac{[(P)(R_v)(A)]}{12}$$

Where:

P = 90% Rainfall Event Number  
 (1.2 Orange County)

R<sub>v</sub> = 0.05 + 0.009 (I), minimum R<sub>v</sub> = 0.2  
 (R<sub>v</sub> = 0.815 based on 85% impervious coverage)  
 (R<sub>v</sub> = 0.662 based on 68% impervious coverage)

I = Impervious Cover (Percent)  
(85% from initial sizing for proposed development)  
(68% based on proposed credit union branch site plans)

A = Site Area in Acres  
(2.0 Acres)

**Table 5: Comparison of Required Water Quality Volumes**

<b>WQv Based on coverage of 85%</b>	<b>WQv Based on coverage of 68% for proposed credit union branch</b>	<b>Decrease in WQv</b>
7,100 Cubic Feet	5,767 Cubic Feet	1,333 Cubic Feet

The proposed Credit Union Branch will require less water quality volume than accommodated by the original design using an 85% impervious coverage area for future development. Therefore the storm water management basin for the overall development has adequate capacity to facilitate the proposed credit union branch.

**Conclusion:**

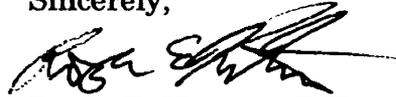
The comparison of the results supports that the initial plan for the overall future development of the site anticipated a 85% impervious cover and the sizing of the receiving storm water infrastructure yielded an adequate system to support the proposed site plan for the Credit Union Branch with a 68% impervious coverage. The comparison of the watershed rate of runoff demonstrates that off-site peak flow conditions will pose no significant adverse impacts to the adjacent or downstream properties or receiving water courses.

The existing storm water collection system consisting of pipes, open drainage ways and on-site storm water management facilities will adequately collect, treat, and convey the storm water.

In conclusion, it is our opinion that the proposed development will not adversely impact adjacent or downstream properties if the storm water management facilities are properly constructed, and maintained.

If you have any questions or require additional information please contact our office. Your attention to this matter is greatly appreciated.

Sincerely,



Roger E. Keating, P.E.  
Project Engineer

Reviewed & Approved by,



Joseph M. Lanaro, P.E.  
Director of Engineering Northern  
Operations

REK/encl.

cc: Hudson Valley Federal Credit Union  
File

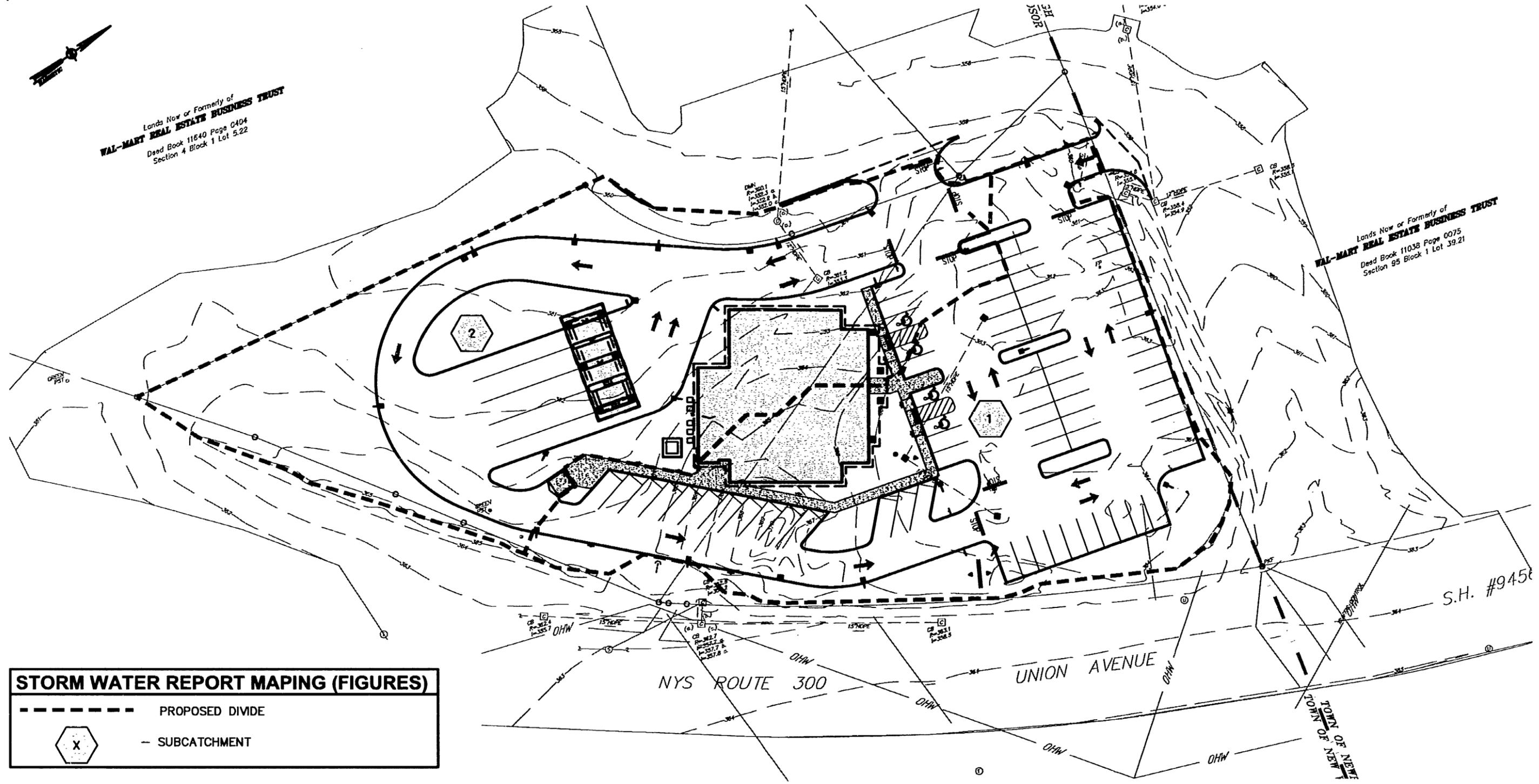
## Attachment A

Drawing Name: S:\1\10500-10599\10512.00\ENG\DWG\STORMWATER SUBCATCHMENT MAPPING.dwg Date Printed: May 16, 2006, 4:39pm



Lands Now or Formerly of  
**WAL-MART REAL ESTATE BUSINESS TRUST**  
 Deed Book 11640 Page 0404  
 Section 4 Block 1 Lot 5.22

Lands Now or Formerly of  
**WAL-MART REAL ESTATE BUSINESS TRUST**  
 Deed Book 11038 Page 0075  
 Section 95 Block 1 Lot 39.21

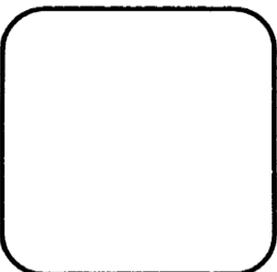


**STORM WATER REPORT MAPING (FIGURES)**

----- PROPOSED DIVIDE

— SUBCATCHMENT

**ISSUED FOR CLIENT REVIEW - NOT FOR CONSTRUCTION**



ALL RIGHTS RESERVED. COPY OR REPRODUCTION OF THIS PLAN OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE DESIGN ENGINEER, SURVEYOR, OR ARCHITECT.

ALTERATION OF THIS DRAWING, EXCEPT BY A LICENSED P.E. IS ILLEGAL. ANY ALTERATION BY A P.E. MUST BE INDICATED AND BEAR THE APPROPRIATE SEAL, SIGNATURE AND DATE OF ALTERATION.

**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

*Delaware County Office:*  
 21 Fox Street  
 Poughkeepsie, New York 12601  
 Phone: (845) 464-3980

*Capital District Office:*  
 547 River Street  
 Troy, New York 12180  
 Phone: (518) 273-0055

*Orange County Office:*  
 300 Mainway Avenue  
 Manburgh, New York 12550  
 Phone: (845) 587-1133

*North Country Office:*  
 700 Glen Street  
 Glens Falls, New York 12081  
 Phone: (518) 812-0513

**HUDSON VALLEY FEDERAL CREDIT UNION**

**NYS ROUTE 300 BRANCH**

**STORM WATER SUBCATCHMENT MAPPING**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn CAM	checked REK
date 5/16/06	scale 1"=50'
project no. 10512.00	
sheet no. <b>FIG1</b>	

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/02/2007

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/13/2007	PLANS STAMPED	APPROVED
05/24/2006	P.B. APPEARANCE . TOOK LEAD AGENCY - WAIVED PH - SEND TO O.C. PLANNING - . ADDRESS MARK'S COMMENTS - CLEAR UP ISSUES WITH FIRE . INSPECTOR - RETURN	LA: WVE PH; OC PL
03/22/2006	P.B. APPEARANCE	TO RETURN
02/01/2006	WORK SHOP	SUBMIT

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 07/02/2007

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/07/2006	EAF SUBMITTED	02/06/2006	WITH APPLICATI
ORIG	02/07/2006	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/07/2006	LEAD AGENCY DECLARED	05/24/2006	TOOK LA
ORIG	02/07/2006	DECLARATION (POS/NEG)	/ /	
ORIG	02/07/2006	SCHEDULE PUBLIC HEARING	/ /	
ORIG	02/07/2006	PUBLIC HEARING HELD	/ /	
ORIG	02/07/2006	WAIVE PUBLIC HEARING	05/24/2006	WAIVED PH
ORIG	02/07/2006	PRELIMINARY APPROVAL	/ /	
ORIG	02/07/2006		/ /	
ORIG	02/07/2006	LEAD AGENCY LETTER SENT	/ /	

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/12/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 6-4  
NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/16/2007	2% OF COST EST 226,253.25	CHG	4525.07		
06/07/2007	REC CK #4687931605	PAID		4525.07	
		TOTAL:	4525.07	4525.07	0.00

94  
6-17-07

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/12/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
/ /		CHG	0.00		
03/22/2006	P.B. ATTY. FEE	CHG	35.00		
03/22/2006	P.B. MINUTES	CHG	56.00		
05/24/2006	P.B. ATTY. FEE	CHG	35.00		
05/24/2006	P.B. MINUTES	CHG	56.00		
08/08/2006	KAREN ARENT LANDSCAPER	CHG	262.50		
09/13/2006	P.B. MINUTES	CHG	70.00		
10/12/2006	CORDISCO, ATTY - FEES	CHG	490.00		
12/06/2006	REC. CK. 4687921746	PAID		750.00	
05/15/2007	P.B. ENGINEER FEE	CHG	1908.10		
06/07/2007	REC. CK. #4687931606	PAID		2162.60	
		TOTAL:	2912.60	2912.60	0.00

*JH*  
*6-0-07*

PLANNING BOARD  
TOWN OF NEW WINDSOR  
555 UNION AVENUE  
NEW WINDSOR, N.Y. 12553

Appl No: 6-4

File Date:02/06/2006

SEC-BLK-LOT:4-1-3-1

Project Name:HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224      Type:3

Owner's Name:HUDSON VALLEY FEDERAL CREDIT UNION      Phone:(846) 463-3011  
Address:159 BARNEGAT ROAD - POUGHKEEPSIE, NY 12601

Applicant's Name:HUDSON VALLEY FEDERAL CREDIT UNION      Phone:(846) 463-3011  
Address:159 BARNEGAT ROAD - POUGHKEEPSIE, NY 12601

Preparer's Name:HAZEN COMPANIES      Phone:(518) 273-0055  
Address:547 RIVER STREET - TROY, NY 12180

Proxy/Attny's Name:DALE LOIS      Phone:(203) 869-3800  
Address:100 FIELD POINT ROAD - GREENWICH CT 06830

Notify:ROGER KEATING      FAX; 518-273-8391      Phone:(518) 273-0055

Location:NYS RT. 300 (UNION AVE.) 4-1-3.1 & 4-1-5.11

Acreage	Zoned	Prop-Class	Stage	Status
2.020		0		0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
06/12/2007	NEWB			

Appl for:CONSTRUCTION OF NEW 6,700 S.F. CREDIT UNION BRANCH

Addl Municipal Services:

Streets:

Water:

Sewer:

Garbage:

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/12/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
APPROVAL

FOR PROJECT NUMBER: 6-4  
NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/16/2007	SITE PLAN APPROVAL FEE	CHG	125.00		
06/07/2007	REC .CK. #4687931604	PAID		125.00	
		TOTAL:	125.00	125.00	0.00

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/12/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEE**  
**APPROVAL**

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/16/2007	SITE PLAN APPROVAL FEE	CHG	125.00		
06/07/2007	REC .CK. #4687931604	PAID		125.00	
		TOTAL:	125.00	125.00	0.00



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4689

## OFFICE OF THE PLANNING BOARD

Chazen Environmental Services, Inc.  
547 River Street  
Troy, NY 12180

ATTN: ROGER KEATING, P.E.

SUBJECT: HUDSON VALLEY FEDERAL CREDIT UNION P.B. #06-04

Dear Roger:

Please find attached printouts of fees due for subject project.

Please contact your client, the applicant, and ask that payment be submitted in separate checks, payable to the Town of New Windsor, as follows:

Check #1 – Approval Fee.....	\$ 125.00
Check #2 – 2% of cost est. (\$226,253.25) Inspect fee.....	\$ 4,525.07
Check #3 – Amount over escrow posted.....	\$ 2,162.60

Upon receipt of these checks, I will have the plans stamped and signed approved.

If you have any questions in this regard, please contact my office.

Very truly yours,

---

Myra L. Mason, Secretary To The  
NEW WINDSOR PLANNING BOARD

MLM

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/18/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224

APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
/ /		CHG	0.00		
03/22/2006	P.B. ATTY. FEE	CHG	35.00		
03/22/2006	P.B. MINUTES	CHG	56.00		
05/24/2006	P.B. ATTY. FEE	CHG	35.00		
05/24/2006	P.B. MINUTES	CHG	56.00		
08/08/2006	KAREN ARENT LANDSCAPER	CHG	262.50		
09/13/2006	P.B. MINUTES	CHG	70.00		
10/12/2006	CORDISCO, ATTY - FEES	CHG	490.00		
12/06/2006	REC. CK. 4687921746	PAID		750.00	
05/15/2007	P.B. ENGINEER FEE	CHG	1908.10		
		TOTAL:	2912.60	750.00	2162.60

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/18/2007

PAGE: 1

LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224

APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/16/2007	2% OF COST EST 226,253.25	CHG	4525.07		
		TOTAL:	4525.07	0.00	4525.07

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/18/2007

PAGE: 1

LISTING OF PLANNING BOARD **FEE**  
**APPROVAL**

FOR PROJECT NUMBER: 6-4  
NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/16/2007	SITE PLAN APPROVAL FEE	CHG	125.00		
		TOTAL:	125.00	0.00	125.00

**Drake, Loeb, Heller, Kennedy, Gogerty, Gaba & Rodd PLLC**

555 Hudson Valley Avenue  
Suite 100  
New Windsor, NY 12553

Ph: 845-561-0550

TOWN OF NEW WINDSOR  
555 UNION AVENUE  
NEW WINDSOR, NY 12553

October 10, 2006

**Attention:** HON. GEORGE GREEN, SUPERVISOR

File #: 6044902  
Inv #: 1442

**RE:** HUDSON VALLEY FEDERAL CREDIT UNION (06-04)  
ROUTE 300

<b>DATE</b>	<b>DESCRIPTION</b>	<b>LAWYER</b>	<b>HOURS</b>	<b>AMOUNT</b>
Sep-07-06	REVIEW FILE; APPLICATION AND RELATED MATERIAL	DRC	0.50	87.50
	TELEPHONE CONFERENCE W/ M EDSALL RE THE TOWN OF NEWBURGH'S SEQRA FINDINGS	DRC	0.10	17.50
Sep-08-06	AGGREGATE TIME SPENT REVIEWING THE FILE PB# 06-04	DRC	0.40	70.00
Sep-13-06	REVIEW ENGINEERING COMMENTS PB# 06-04	DRC	0.20	35.00
	AGGREGATE TIME SPENT FINALIZING THE SITE PLAN RESOLUTIONS PB# 06-04	DRC	1.40	245.00
Sep-15-06	AGGREGATE TIME SPENT AMENDING THE SITE PLAN APPROVAL	DRC	0.20	35.00
	Totals			<hr/> \$490.00
	<b>Total Fee &amp; Disbursements</b>			<hr/> \$490.00
	<b>Balance Now Due</b>			<hr/> \$490.00

Client Ledger  
ALL DATES

Date	Received From/Paid To	Che#/Rec#	General	Bld	Trust	Balance			
Entry#	Explanation	Clnt Che#	Rcpts	Disbs	Fees	Inv#	Acc	Rcpts	Disbs
12132	TOWN OF NEW WINDSOR								
6044902	HUDSON VALLEY FEDERAL CREDIT UNION (06-04) R								Resp Lawyer: JEL
Sep 7/2006	Lawyer: DRC 0.50 Hrs X 175.00				87.50		1442		
	22220 REVIEW FILE APPLICATION AND RELATED MATERIAL								
Sep 7/2006	Lawyer: DRC 0.10 Hrs X 175.00				17.50		1442		
	22221 TELEPHONE CONFERENCE W/ M EDSALL RE THE TOWN OF NEWBURGH'S SEQRA FINDINGS								
Sep 8/2006	Lawyer: DRC 0.40 Hrs X 175.00				70.00		1442		
	25495 AGGREGATE TIME SPENT REVIEWING THE FILE PB# 06-04								
Sep 13/2006	Lawyer: DRC 0.20 Hrs X 175.00				35.00		1442		
	25521 REVIEW ENGINEERING COMMENTS PB# 06-04								
Sep 13/2006	Lawyer: DRC 1.40 Hrs X 175.00				245.00		1442		
	25522 AGGREGATE TIME SPENT FINALIZING THE SITE PLAN RESOLUTIONS PB# 06-04								
Sep 15/2006	Lawyer: DRC 0.20 Hrs X 175.00				35.00		1442		
	23162 AGGREGATE TIME SPENT AMENDING THE SITE PLAN APPROVAL								
Oct 10/2006	Billing on Invoice 1442				0.00		1442		
	27492 FEES 490.00								
Oct 20/2006	Town of New Windsor	024225	490.00						
	51803 PMT - PAYMENT ON ACCOUNT								

TOTALS	UNBILLED				BILLED				BALANCES								
	CHE	+	RECOV	+	FEES	=	TOTAL	DISBS	+	FEES	+	TAX	-	RECEIPTS	=	A/R	TRUST
PERIOD	0.00		0.00		0.00		0.00	0.00		490.00		0.00		490.00		0.00	0.00
END DATE	0.00		0.00		0.00		0.00	0.00		490.00		0.00		490.00		0.00	0.00

FIRM TOTALS	UNBILLED				BILLED				BALANCES								
	CHE	+	RECOV	+	FEES	=	TOTAL	DISBS	+	FEES	+	TAX	-	RECEIPTS	=	A/R	TRUST
PERIOD	0.00		0.00		0.00		0.00	0.00		490.00		0.00		490.00		0.00	0.00
END DATE	0.00		0.00		0.00		0.00	0.00		490.00		0.00		490.00		0.00	0.00

REPORT SELECTIONS - Client Ledger

Layout Template: All  
 Requested by: Jennifer Schneider  
 Finished: Monday, May 07, 2007 at 02:37:32 PM  
 Date Range: ALL DATES  
 Matters: 6044902  
 Clients: All  
 Major Clients: All  
 Responsible Lawyer: All  
 Client Intro Lawyer: All  
 Matter Intro Lawyer: All  
 Assigned Lawyer: All  
 Type of Law: All  
 Matters Sort By: Default  
 New Page for Each Lawyer: No  
 New Page for Each Matter: No  
 Consolidate Payments: No  
 No Activity Date: Dec 31/2199  
 Select From: Active, Inactive Matters  
 Include Corrected Entries: No  
 Show Check # on Paid Payables: No  
 Ver: 8.05c

Firm Totals Only: No  
 Entries Shown - Billed Only: No  
 Entries Shown - Disbursements: Yes  
 Entries Shown - Receipts: Yes  
 Entries Shown - Trust: Yes  
 Entries Shown - Time or Fees: Yes  
 Working Lawyer: No  
 Incl. Matters with Retainer Bal: No  
 Incl. Matters with Neg Unbld Disb: No  
 Show Interest: No  
 Trust Account: All  
 Show Client Address: No  
 Totals Only: No  
 Show Trust Summary by Account: No

**Project Name: HVFCU RT. 300**  
**Planning Board No.:(06-04)**

**Municipality: New Windsor**  
**Date:10/2/06**

**PRIVATE IMPROVEMENT**  
**AND SITE PLAN UNIT PRICES**  
**(Updated March 2006)**

<b><u>Description</u></b>	<b><u>Unit</u></b>	<b><u>Unit Cost</u></b>	<b><u>Qty</u></b>	<b><u>Total Cost</u></b>
<b><u>Roadway and Parking Lot</u></b>				
Erosion Control	AC	\$ 1,800.00	2	\$ 3,600.00
Paving & Base (regular construction)	SY	\$ 12.00	5385	\$ 64,620.00
Paving & Base (heavy-duty construction)	SY	\$ 16.00		\$ -
Tack Coat	SY	\$ 0.45		\$ -
Overlay Existing Pavement (1.5")	SY	\$ 5.00		\$ -
Double Surface Treatment	SY	\$ 6.00		\$ -
Private Road (traveled way only)	SY	\$ 12.00		\$ -
Private Road (complete – swales etc)	LF	\$ 35.00		\$ -
Topsoil & Seeding	SY	\$ 1.25	2645	\$ 3,306.25
Street Signs (Traffic Control)	EA	\$ 250.00		\$ -
Parking Space Striping	EA	\$ 9.00	15	\$ 135.00
Parking & Lane Striping	LF	\$ 0.50	1730	\$ 865.00
Painted Striped Island	EA	\$ 35.00	2	\$ 70.00
Site Plan Stop Bar	EA	\$ 15.00	7	\$ 105.00
Handicapped Sign & Striping	EA	\$ 200.00	4	\$ 800.00
Traffic Control Sign	EA	\$ 200.00	32	\$ 6,400.00
Concrete Curbing	LF	\$ 18.00	2,579.00	\$ 46,422.00
Concrete Sidewalk	SY	\$ 38.00	225	\$ 8,550.00
Timber Curbing	LF	\$ 12.00		\$ -
Curb (Precast) Bumpers	EA	\$ 15.00		\$ -
Shale Parking (Overflow) Area	SY	\$ 8.00		\$ -
Guiderail	LF	\$ 40.00		\$ -
<b><u>Drainage</u></b>				
Catch Basin	EA	\$ 2,700.00	5	\$ 13,500.00
Connection to Existing Catch Basin	EA	\$ 500.00	1	\$ 500.00
Stormwater Pipe (15")	LF	\$ 30.00	140	\$ 4,200.00
Stormwater Pipe (18")	LF	\$ 40.00		\$ -
Stormwater Pipe (24")	LF	\$ 45.00		\$ -
Stormwater Pipe (30")	LF	\$ 50.00		\$ -
Stormwater Pipe (36")	LF	\$ 55.00		\$ -

Stormwater Pipe (48")	LF	\$ 65.00	\$	-
End Section	EA	\$ 350.00	\$	-
Concrete Headwall	EA	\$ 4,000.00	\$	-
Rip Rap Drainage Channel	LF	\$ 8.00	\$	-
Non-lined Drainage Channel	LF	\$ 3.50	\$	-

**Utilities**

Watermain (8")	LF	\$ 50.00	240 \$	12,000.00
Gate Valve (8")	EA	\$ 1,000.00	2 \$	2,000.00
Tapping Sleeve and Valve (8")	EA	\$ 2,200.00	1 \$	2,200.00
Watermain (12")	LF	\$ 65.00	\$	-
Gate Valve (12")	EA	\$ 1,750.00	\$	-
Hydrant Assembly	EA	\$ 2,700.00	1 \$	2,700.00
Sewer Main (8")	LF	\$ 35.00	\$	-
Sewer Main (12")	LF	\$ 45.00	\$	-
Sewer Manholes	EA	\$ 2,300.00	\$	-

Utility Trench (elec, phone, cable)	LF	\$ 10.00	200 \$	2,000.00
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**Misc.**

Landscaping Trees	EA	\$ 180.00	29 \$	5,220.00
Landscaping Shrubs	EA	\$ 25.00	452 \$	11,300.00
Mulched surface	SY	\$ 3.00	1570 \$	4,710.00
Chain link fence (4' black vinyl coated)	LF	\$ 12.00	\$	-
Split Rail Fence	LF	\$ 8.00	\$	-
Short Masonry Landscape Walls	LF	\$ 10.00	\$	-
Retaining Walls (modular) 4' height	LF	\$ 40.00	\$	-
Lamppost	EA	\$ 1,500.00	18 \$	27,000.00
Building Mtd. Light	EA	\$ 500.00	\$	-

Waste Enclosure (small)	EA	\$ 750.00	\$	-
Dumpster Enclosure (masonry/concrete)	EA	\$ 1,500.00	1 \$	1,500.00

Clear and Grub	AC	\$ 3,000.00	0.85 \$	2,550.00
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**Other**

			\$	-
			\$	-
			\$	-
			\$	-
<b>Total</b>			\$	<b>226,253.25</b>

*2% Inspect. fee*

*4525.07*



HISTORICAL CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)  
 TASK: 6- 4

CLIENT: BIRNIE - TOWN OF NEW WINDSOR

TASK-NO	REC	DATE	TRAM	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	EXP.	DOLLARS	
										BILLED	BALANCE
6-4	220288	07/03/06	TIME	PJH	MR HV CREDIT UNION PB	115.00	1.00	115.00			
6-4	220142	07/06/06	TIME	KH	CL LTR-ARGENTIO:WALMART	30.00	0.30	9.00			
6-4	220291	07/06/06	TIME	PJH	MR HV CREDIT UNION PB	115.00	1.00	115.00			
6-4	220131	07/10/06	TIME	MJE	MC EHC/12/CHALKEN:HVFCU	115.00	0.30	34.50			
6-4	220135	07/12/06	TIME	MJE	MC BEDOTTI:HVFCU FIRE	115.00	0.20	23.00			
6-4	220136	07/12/06	TIME	MJE	FM RVW HVFCU SITE/VI	115.00	0.90	103.50			
6-4	220472	08/02/06	TIME	MJE	WS HVFCU	115.00	0.40	46.00			
6-4	220710	08/16/06	TIME	MJE	MC ROGER:HVFCU TRAFFIC	115.00	0.30	34.50			
								480.50			
6-4	221168	08/31/06			EXP. CREIGHTON MARKING				408.00		
										408.00	
6-4	221033	09/05/06	TIME	MJE	MR HVFCU SITE PLAN	115.00	0.70	80.50			
6-4	221036	09/06/06	TIME	MJE	MC HVFCU W/DC	115.00	0.40	46.00			
6-4	221038	09/07/06	TIME	MJE	MR HVFCU REVIEW	115.00	0.40	46.00			
6-4	221143	09/12/06	TIME	MJE	MR HVFCU KISSOS REV/COMM	115.00	0.40	46.00			
6-4	221144	09/12/06	TIME	MJE	MC HVFCU W/GA	115.00	0.30	34.50			
6-4	221154	09/13/06	TIME	LSK	CL TRAMS:WALMART HRS DEC	30.00	0.50	15.00			
6-4	221313	09/13/06	TIME	MJE	MM Bad Vllj FCU 300 APP	115.00	0.10	11.50			
								279.50			
6-4	221063	09/13/06			BILL 06-2321						-515.00
6-4	221658	10/25/06			BILL 06-2640						-687.50
											-1202.50
6-4	221878	11/08/06	TIME	MJE	MC Proj Cost Est	115.00	0.30	34.50			
								34.50			
6-4	222201	11/21/06			BILL 06-2933						-34.50
											-34.50
<b>TASK TOTAL</b>								<b>1908.10</b>	<b>408.00</b>	<b>-2316.10</b>	<b>0.00</b>
<b>GRAND TOTAL</b>								<b>1908.10</b>	<b>408.00</b>	<b>-2316.10</b>	<b>0.00</b>

HUDSON\_VALLEY\_FEDERAL\_CREDIT\_UNION\_(06-04)

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Mr. Roger Keating and Mr. Scott Bridey appeared before the board for this proposal.

MR. ARGENIO: Hudson Valley Federal Credit Union. This application proposes construction of the new banking facility adjacent to the existing bank off Union Avenue. The application was previously reviewed at the 8 February, 2006 meeting, 22 March, 2006, 24 May, 2006 planning board meetings. There was some comments here you guys were sent to speak to the folks from the Town of Newburgh and I'd like to hear in your own words where you are after.

MR. KEATING: Just to briefly summarize over the past several months since the last time we've been before you they said there was some comments that were provided by Mark Edsall and there was a recommendation of that board, that the plans be forwarded on to the Town of Newburgh as a consistency review with what was previously approved as part of the Wal-Mart development. We forwarded those plans on and in a nutshell we received comments in regard to the landscaping on the property, we revised the comments based upon revised the plans, based upon their recommendations.

MR. ARGENIO: Those comments were from Karen Ahrent, yes, and you incorporated those comments into the plans?

MR. KEATING: Yes.

MR. ARGENIO: Is it fair to say that your landscaping is consistent with what's in the Wal-Mart parking lot?

MR. KEATING: Correct. Furthermore, we've sent the plans on to the Town, they had some discussion items, comment items and the main item being the traffic on

the site and primarily around the restricted movement entrance that we're providing. Mr. Chairman, as you know we had previously originally proposed full service access and then at the board's request we restricted the movement so that it would be ingress only, that would eliminate the difficult movement of someone looking over their shoulder at the oncoming traffic. So by making it an in only, we felt that that improved this intersection they forwarded on to their traffic engineer and their traffic engineer basically responded back that the plan is consistent, generally consistent with what was proposed under the Wal-Mart in that the entrance as proposed going in will reduce the impacts at the existing entrance.

MR. ARGENIO: Who reviewed that?

MR. KEATING: That was Crayton Manning Associates which is the Town's designated traffic engineer and then with regard to the rest of Mark's comments they were relatively minor in nature, a lot to do with just some signage on the property just updating sign tables, some minor notes and such on the plans.

MR. VAN LEEUWEN: Can I ask you does the fire department approve this 18 foot to get in?

MR. KEATING: Well, there's two ingress egress access points.

MR. VAN LEEUWEN: I know there's one here one here but if there's a fire they're going to take the first.

MR. KEATING: Correct, we worked with the fire department on this project on the multiple occasions that's actually one of the other comments that has come up out of the whole process was as you recall we provided two 30 foot wide fire lanes on two sides of the building and in addition to that there was some comments that were made by the fire department with

respect to the water out there with where the water connections would be on the buildings. We revised those connections so that they would be on the building closest to the interior road.

MR. ARGENIO: Which is closest to the 30 foot travel lane.

MR. KEATING: Correct and in addition to that, we have brought a proposed fire hydrant into the site to further assist the fire department because there was some concerns of the amount of length of hose length that would have to be laid to get to that point.

MR. ARGENIO: Let me interrupt, let me share this from Barney Bedetti, the fire guy who does the fire reviews, I have reviewed the plans as requested, I have the following list of items which was agreed upon with the applicant, one, relocate hydrant to the west side of the property. Have you done that?

MR. KEATING: Correct.

MR. ARGENIO: Is it reflected on these plans?

MR. KEATING: Yes, it is.

MR. ARGENIO: And two, relocate the fire department connection to the west side of the building. Have you done that?

MR. KEATING: Correct.

MR. ARGENIO: I was going to add well, you know what's good here too about this site is since the Wal-Mart reconstruction over on the south end of the site they have the Liner Road access now too which is a 35 foot lane coming in all the way to this point here, I don't know if that allays your concern.

MR. VAN LEEUWEN: No, my concern is the 18 foot to come in because if there's a fire they're going to take the first ingress or egress to get into the property.

MR. KEATING: If I can just add on a little bit is the 18 foot wide there was some suggestions from the other municipality that or the traffic engineer that those widths be reduced, the Town's code for the one way driveway would be an 18 foot width as to what the Town, this Town would require for the entranceway there and in discussions previously with Mark and everything, the access here that was never really brought as a concern other than what you're just saying right now. If anything, if a change was to be made, there's adequate room if we had to make the radiuses a little bit bigger if they needed to be a little bit larger it would be a very minor change.

MR. ARGENIO: Let me read this note number 5 of Mark's comments, the board requests that a review be performed by the Town of Newburgh traffic consultant, that review was performed and their only recommendation that the one way ingress drive be reduced from the current 18 foot width indicated so I'm hearing from you you don't want it reduced at all.

MR. VAN LEEUWEN: No, I'd like to see 30 feet.

MR. ARGENIO: You want to leave it the way it is?

MR. BABCOCK: Talk to the fire inspector, the reason they want it reduced they want it a one way if it's too wide people will go two ways.

MR. ARGENIO: I don't know how the other members feel, I'm okay with it, the other entrance is another 45 feet away. Mark, from an engineering standpoint, can I hear from you on this?

MR. EDSALL: I can understand where Newburgh's traffic

consultant is coming from, his concern is that there is not a heck of lot of difference between 18 and 20 foot which is the normal minimum for two way traffic. I believe he's concerned about someone being able to use it as a two way, we have signed the heck out of it as it may be and they are aware of that, if you want to find a middle road position it might be to maybe take it from 18 down to 16 subject to the New Windsor and fire inspector's office saying they don't have a problem with it, I wouldn't go any less than 16.

MR. VAN LEEUWEN: I want to increase it.

MR. EDSALL: You don't want to increase it when you want one-way traffic.

MR. VAN LEEUWEN: I'm satisfied with Mike's answer.

MR. EDSALL: You're absolutely right here, they're going to take the first route to come in with the trucks and that was when I met with Barney Bedetti out in the field they're likely going to come in Liner and then pull up along the spine along the west side of the building.

MR. ARGENIO: Cause they'd be coming from the south.

MR. EDSALL: Correct, that's why we field located where we wanted the hydrant, that's why it's there. I doubt they're going to go through the main entrance.

MR. ARGENIO: Okay, ask you to share with me, Mr. Applicant, your lighting fixtures, are they consistent with what's in the Wal-Mart parking lot?

MR. KEATING: They are consistent in the sense that they are shoe box, they are similar color and type and shape, however, they are not the same height. Credit union has lighting requirements that are mandated by the government for the required foot candles in and

around their ATMs, and in addition the high, the taller lights that are out in the Wal-Mart site really aren't going to achieve those same goals as easily with what they need to achieve in and around the building and the ATM so they are similar, they look similar, they are just not the really high pole point mounted lights.

MR. ARGENIO: Mark, have you reviewed those, the lighting dispersion in this area?

MR. EDSALL: I have not gone through the fixture selection. What I had talked to Roger about was clearly they have specific requirements because it's a banking facility but I wanted the same style of light I wanted the same type of light, meaning I don't want to mix metal haloid with high pressure sodium and that's really where we went so yes, we have gone over that.

MR. ARGENIO: All right, public hearing was waived on May 24. Myra, what about Orange County, this went to the County I assume at some point in time?

MR. CORDISCO: Mr. Chairman, we have a report back from the county dated June 5, 2006.

MR. ARGENIO: I think I'm reading that this is good, we always, Neil, we always look for more parking so it is not, we don't have people parked in fire lanes and parked in places where they shouldn't be. I will read this to you. The amount of parking spaces proposed seems to indicate that a percentage of the new structure will be used for offices. Is it going to be offices?

MR. KEATING: No.

MR. ARGENIO: No, it's a bank. If this is not the case the recommendation is to reduce the amount of parking, we should reduce the amount of paving proposed which would--I don't think that's such a good idea. Mark, am

I missing something here?

MR. EDSALL: No, I think they just don't understand that this particular applicant has identified their particular needs for parking.

MR. ARGENIO: So?

MR. SCHLESINGER: You say not offices with Hudson Valley Federal Credit Union, they have quite a few cubicles compared to an average bank, each cubicle to me is a little office, they have a lot more people going into this bank other than making deposits or that type of thing and we're all on the same page.

MR. ARGENIO: We don't want to have not enough parking especially there.

MR. KEATING: As we said before, they also have a procedural thing that the credit union does, there's three members of the credit union here tonight but I can summarize during their shift changes there's a large overlap of employees during those times.

MR. ARGENIO: So you want to have a place for the vehicles to go.

MR. SCHLESINGER: We want parking.

MR. VAN LEEUWEN: More parking the better.

MR. BABCOCK: I don't remember ever having a conversation about too much parking.

MR. ARGENIO: I agree. Open space is indicated but the overall site would be enhanced with landscaping. Did you give them a landscaping plan?

MR. KEATING: I don't know what they missed.

MR. ARGENIO: Open space he's indicating but the overall site would be enhanced with landscaping, what's that?

MR. EDSALL: If you eliminate some of the paving you can add more landscaping.

MR. KEATING: There's quite a bit of landscaping on their plan.

MR. EDSALL: I don't know that they're aware that we had the applicant add significantly to what was on the original plans.

MR. ARGENIO: As the scope of this project spans across two separate parcels combining them into one tax lot is suggested.

MR. EDSALL: Dom has included that in the proposed resolution.

MR. CORDISCO: It's one of the conditions of the resolution.

MR. ARGENIO: I think a lot of the technical stuff we have really gone through quite thoroughly. Do we have anything else that we'd like to suggest? Neil, do you have any thoughts?

MR. SCHLESINGER: No, I think they did a pretty good job.

MR. BROWN: I have nothing.

MR. GALLAGHER: I think it looks pretty good the traffic flow.

MR. VAN LEEUWEN: I will tell you one thing, it's a big improvement over what's there now.

MR. KEATING: We have a flag pole.

MR. VAN LEEUWEN: I saw that, don't worry.

MR. ARGENIO: I just want to go through, I want to make sure, Mark, I want to make sure I'm procedurally correct here with this. We took lead agency, is that correct?

MR. CORDISCO: Actually, it's not, we relied on the Town of New Windsor Planning Board, excuse me, Town of Newburgh's lead agency and they did a negative declaration back in May of 2004 and it was a part of a coordinated review, we agreed to allow them to be lead agency and we're bound by their negative declaration.

MR. ARGENIO: Mark, your comment number 2 says the board assumed lead agency on 5/24 of '06.

MR. EDSALL: We did and speaking with Dom I was under the impression that inasmuch as this is a new application we would go through the process assuming lead agency and then effectively they are adopting a negative dec and indicating consistency but it's a, but I will defer to his expertise.

MR. ARGENIO: That's why he's here.

MR. EDSALL: Exactly.

MR. ARGENIO: We have fire, we have Anthony Fayo which is highway. Mark, is there anything else I'm missing?

MR. EDSALL: No, my comment 3 says we had a lot of comments along the way and I for the record would just like to say the applicant has been very cooperative and has been addressing the comments on a very timely basis so I'm done.

MR. ARGENIO: That's good, hopefully, the CMS could be

as cooperative with Mike when he goes to build it. That being said and the fact that there are no other comments from the board members I'll accept a motion for conditional final approval. I'll read in the subject-tos.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor Planning Board grant Hudson Valley Federal Credit Union conditional final approval subject to the tax lots need to be combined, we're going to need a bond estimate.

MR. KEATING: I have that for Mark.

MR. ARGENIO: And the payment of all fees, obviously, if there's no further discussion from the board members, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. BROWN	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: Thank you guys.

HUDSON\_VALLEY\_FEDERAL\_CREDIT\_UNION\_(06-04)

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Mr. Roger Keating and Mr. Scott Bridey appeared before the board for this proposal.

MR. ARGENIO: This application proposes construction of a new banking facility adjacent to the existing bank off Union Avenue. The application was previously reviewed at the 8 February, 2006 and 22 March, 2006 planning board meetings. You're here tonight so give us an update on where you're at and then we'll take a look at this.

MR. KEATING: Mr. Chairman, members of the board, Roger Keating I'm with Chazen Companies, I'm here tonight on behalf of the Hudson Valley Federal Credit Union to represent the proposed updates to the plan at the Wal-Mart Plaza Shopping Center proposed credit union branch. Previously before this board we had presented the project and the board had some comments, we have worked those comments out with Mark through the workshops and review and we'll just go through a quick summary of the overall plan. Presently proposing a new 6,700 square foot approximately branch with a detached drive-up island and it's the intention of the credit union to keep the existing credit union branch open while the construction of this second branch is going on. The applicant's proposing 73 parking spaces with an area reserved for employee parking.

MR. ARGENIO: What's required?

MR. KEATING: Required per zoning on the square footage of the building would be 27 spaces, they would like to see additional parking above and beyond that because of the amount of traffic.

MR. ARGENIO: That's what they need.

MR. KEATING: Better use and the amount of traffic that

particular branch sees. Site will be serviced by both public water and sewer and again as we talked about last time service stubs were provided to this existing parcel as part of the Wal-Mart expansion project for both water and sewer and the credit union will be utilizing those connections and in addition storm water will be facilitated in that same manner in that connection points were provided as part of the Wal-Mart expansion project and we had done an analysis to ensure that the conveyance of those systems was adequate. The primary concerns that we've had with this board was the two access points to the property and circulation, previously and as we presented last time the first access point is at the existing entrance to the Wal-Mart Shopping Center Plaza, which was a full service access. As it stands right now, we have revised that as per your request and as we discussed last time at the last meeting this will be now one way entrance only eliminating the exit movement from there and the potential for that difficult movement. And in addition comments raised from the fire department last time in regard to the fire lanes we had shifted the second access point slightly to the north to help facilitate the fire truck movements on the site, we had a workshop with Mark and the fire department and we had provided two fire lanes on two sides of the buildings and based upon the workshop, it's my understanding that the fire lane issue has gone away, that we satisfied his comments with respect to the fire lanes. And I just received comments tonight regarding the newest round of comments regarding the fire district and I can offer some insight onto those comments. The building is sprinklered because of the square footage size and there are full sets of architectural plans that are associated with this building, I have a copy of those here tonight.

MR. ARGENIO: Are they in color?

MR. KEATING: They are not in color right now but for

the floor plan perspective we have the mechanicals, mechanical plans that show the locations of the hydrants.

MR. ARGENIO: Let me cut you off as far as I'm concerned and I think the other board members will agree with me if the fire marshal's satisfied we're satisfied, correct, guys?

MR. VAN LEEUWEN: Correct.

MR. ARGENIO: So take care with the fire inspector and if he's good, I'm good.

MR. KEATING: Okay, that's fine, we'll just supply that plan to the fire inspector.

MR. ARGENIO: He says it's okay, it's good with us.

MR. VAN LEEUWEN: Can you sneak a flag pole?

MR. KEATING: Yes, we have a flag pole located in the center, basically what we've done is advanced the plans from there to more of a final set of plans including the detail sheets and the remainders of the site plan and as such asking the board to just consider to advance this project through the approval process and if you have any additional questions we'd be more than happy to address those.

MR. ARGENIO: I have a couple things I want to bring to your attention and then I want to hear from the other members here on some other things. Do you have Mark's comments?

MR. KEATING: No, I do not.

MR. ARGENIO: I'll go ahead and read this to you from page 2 of Mark's comments, the overall Wal-Mart site received landscape review from the Town of Newburgh's

landscape architectural consultant for consistency I suggest we forward this plan to that consultant I couldn't agree more, Karen Ahrant (phonetic) is a person that does things right and I think that to make this thing flow nice that whole package should look similar. Anybody take exception to that?

MR. VAN LEEUWEN: No, if it's going to better the site, I'll go for it.

MR. ARGENIO: She has a certain flavor and a way of doing things and that should carry from Wal-Mart into this site because they're almost one site.

MR. VAN LEEUWEN: They're neighbors.

MR. ARGENIO: I'm going to read you the next comment, part of the landscaping review should be verification that the plantings in front of the site do not obstruct sight lines from the main Wal-Mart roadway, so when you're speaking with her, you want to address that. You have some comments here, sir, I mean, there's some things you need to clean up, I don't think any of it is in and amongst itself major but I think everything--

MR. VAN LEEUWEN: Major.

MR. ARGENIO: He always starts my sentences. But there's a lot, there's some things to do here, there's catch basin issues, there's striping issues, taken together, they do amount to something but any single thing does not really stand out any further than the next thing. Neil, do you take exception to any of that or Dan?

MR. SCHLESINGER: No, I'm on the same page.

MR. KEATING: Just going through these quickly doesn't appear that there's any major design.

MR. ARGENIO: Now, Neil, we talked about realigning that entrance, that's what we were looking for, correct, what he has drawn there.

MR. SCHLESINGER: Right, we wanted to get it off from the corner over there.

MR. ARGENIO: The question I want to ask you and you need to look at this, that exit into the Wal-Mart driveway the two way, the in and out that cuing that's going to start at the stop bar that has an arrow pointing to it that's indicated as 5 SD-1-B, do you see that stop bar there, point to that for me, when that car cues up there his back end is not in the lane, is it? You better check that.

MR. KEATING: No, and the stop bar should be located closer to the lane.

MR. ARGENIO: Make sure that's not a problem because that will jam up that other intersection there.

MR. KEATING: Just should be noted this along that access point I failed to point that out in my brief overview is that we do have that additional turn lane to assist with cuing along that entrance.

MR. ARGENIO: I'm worried about the cuing back into the parking lot.

MR. KEATING: Understood.

MR. VAN LEEUWEN: What's the distance between the property and the exit actually?

MR. ARGENIO: What's the scale there, 20, probably 30 feet.

MR. KEATING: It's approximately 30 feet or so, there's enough to cue a car at that entranceway.

MR. ARGENIO: The planning board may wish to assume position of lead agency.

MR. VAN LEEUWEN: So moved.

MR. SCHLESINGER: Second it.

MR. ARGENIO: Motion has been made and seconded that the New Windsor Planning Board take lead agency under the SEQRA review process for the Hudson Valley Credit Union site plan. No further discussion, roll call.

ROLL CALL

MR. SCHLESINGER	AYE
MR. GALLAGHER	AYE
MR. VAN LEEUWEN	AYE
MR. ARGENIO	AYE

MR. ARGENIO: This project needs to go to Orange County, Myra, ready to do that?

MS. MASON: Yes.

MR. ARGENIO: And you do have to do some things with the fire inspector.

MR. KEATING: Yes, we should have those comments addressed as of right now.

MR. ARGENIO: Did I get some feedback on item number 5 which asks about a public hearing? I have a certain opinion on that.

MR. VAN LEEUWEN: I don't really think that's necessary.

MR. ARGENIO: Neil, what do you think?

MR. SCHLESINGER: Yeah, I don't think it's necessary.

MR. GALLAGHER: Yeah, I don't think it's affecting too many people.

MR. ARGENIO: I agree, I happen to know because I do talk to the Town of Newburgh Chairman that in the overall Wal-Mart review this was taken into consideration, so I don't think it's necessary on top of which there's no residential around here anyway, certainly the folks at Wal-Mart are well keyed into this work here. Neil or Dan, did you have anything else that you wanted to comment on? I think we've taken care of a lot of things that we as a board--

MR. SCHLESINGER: No, I think it's, I mean, I think it's a vast improvement, I'm not saying it's a perfect design but I think it's a vast improvement.

MR. VAN LEEUWEN: No problems.

MR. ARGENIO: You might want to consider when you come here again to bring a color front elevation that's a good view, it may be something bigger than a match box, I don't want to see it but Joe Minuta is going to want to see it.

MR. ARGENIO: I'll have a motion that we waive the public hearing.

MR. SCHLESINGER: So moved.

MR. VAN LEEUWEN: Second it.

MR. ARGENIO: Motion has been made and seconded that the Town of New Windsor waive the public hearing on the Hudson Valley Federal Credit Union. If there's no further discussion from the board members, roll call.

ROLL CALL

May 24, 2006

31

MR. SCHLESINGER     AYE  
MR. GALLAGHER     AYE  
MR. VAN LEEUWEN    AYE  
MR. ARGENIO        AYE

MR. ARGENIO: I would strongly encourage you to take Mark's comments and take heed to them and clean them up because we certainly do not look favorably upon somebody who shows up multiple times with multiple pages of comments, take your time to do that. Right, Scott?

MR. KEATING: We'll set up another workshop, just finalize these comments and bring these back to you for the final.

MR. ARGENIO: Thank you.

# TOWN OF NEW WINDSOR

## COMBINING LOTS

DATE: 01-16-07

PROPERTY OWNER'S NAME & ADDRESS:

HUDSON VALLEY FEDERAL CREDIT UNION  
RT. 300  
NEW WINDSOR, NY

PROPERTY LOCATION:

RT. 300  
NEW WINDSOR

TAX MAP NUMBERS:

4-1-3.1  
4-1-5.11

COMBINATION REQUIRED BY PLANNING BOARD: YES XXX NO     

**IF YES:** Applicant is required to record new deed & description of property in Goshen and give copy of filing receipt to the Planning Board Secretary prior to closing out the Planning Board Application.

**IF NO:** Applicant can complete all paperwork with the Assessor's Office only.

HISTORICAL CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)  
 TASK: 6- 4

CLIENT: NEWWIN - TOWN OF NEW WINDSO

TASK-NO	REC	DATE	TEAM	EMPL	ACT	DESCRIPTION	RATE	HRS.	TIME	DOLLARS		
										EXP.	BILLED	BALANCE
6-4	216535	12/07/05	TIME	MJE	WS	HV FPD CU SP	99.00	0.40	39.60			
6-4	217328	02/01/06	TIME	MJE	WS	HV FPD CU SITE PLAN	115.00	0.40	46.00			
6-4	217438	02/07/06	TIME	MJE	MR	HEDSON VILLY FCU S/P	115.00	0.50	57.50			
6-4	217441	02/08/06	TIME	MJE	MR	HEDSON VILLY FCU S/P	115.00	0.20	23.00			
6-4	217846	02/27/06	TIME	MJE	MC	TC/CHALLEN: CREDIT UN	115.00	0.40	46.00			
6-4	217985	03/15/06	TIME	MJE	WS	HVFCU WALMART	115.00	0.40	46.00			
6-4	218060	03/20/06	TIME	MJE	MR	HVFCU SITE PLAN HW	115.00	0.40	46.00			
6-4	218063	03/21/06	TIME	MJE	MR	HVFCU SITE PLAN HW	115.00	0.30	34.50			
									338.60			
6-4	218101	03/23/06				BILL 06-763						-258.10
												-258.10
6-4	218334	04/05/06	TIME	MJE	WS	HVFCU-WALMART S/P	115.00	0.50	57.50			
									57.50			
6-4	218484	04/13/06				BILL 06-960						-138.00
												-138.00
6-4	219066	05/12/06	TIME	MJE	MC	HVFCU EMC	115.00	0.30	34.50			
6-4	219389	05/22/06	TIME	MJE	MR	HVFCU S/P	115.00	0.90	103.50			
6-4	219353	05/23/06	TIME	HMM	MR	HVFCU EROSION HW	99.00	0.50	49.50			
6-4	219391	05/23/06	TIME	MJE	MR	HVFCU SWPPP	115.00	0.40	46.00			
6-4	219393	05/23/06	TIME	MJE	EM	MTG GAGNER: COMMENTS	115.00	0.30	34.50			
6-4	219396	05/23/06	TIME	MJE	AA	OCDF REFERRAL	115.00	0.40	46.00			
6-4	219355	05/24/06	TIME	HMM	MR	HVFCU SWPPP REVIEW	99.00	0.50	49.50			
6-4	219458	05/30/06	TIME	MJE	MC	SWPPP W/EMM	115.00	0.30	34.50			
6-4	219598	06/07/06	TIME	MJE	MC	HVFCU REFERRAL	115.00	0.30	34.50			
6-4	219599	06/07/06	TIME	MJE	MC	EMC/MM RE HVFCU	115.00	0.30	34.50			
6-4	219610	06/07/06	TIME	FJE	MR	HV CREDIT UNION	115.00	1.00	115.00			
6-4	219603	06/08/06	TIME	MJE	MC	HVFCU REF TO AGENT	115.00	0.40	46.00			
6-4	219643	06/08/06	TIME	LSK	CL	MAIL/TAX PLANS:HVFCU	30.00	0.30	9.00			
6-4	219797	06/21/06	TIME	MJE	WS	HVFCU WALMART	115.00	0.40	46.00			
6-4	220017	06/26/06	TIME	MJE	MC	HVFCU WALMART X2	115.00	0.30	34.50			
									717.50			
6-4	219879	06/27/06				BILL 06-1524						-683.00
												-683.00

HISTORICAL CHRONOLOGICAL JOB STATUS REPORT

JOB: 87-56 NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)  
 TASK: 6- 4

CLIENT: NEWLIN - TOWN OF NEW WINDSOR

TASK-NO	REC	--DATE--	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	DOLLARS		
									EXP.	BILLED	BALANCE
6-4	220288	07/03/06	TIME	PJH	MR HV CREDIT UNION PB	115.00	1.00	115.00			
6-4	220142	07/06/06	TIME	KH	CL LTR-ARBPFO:WALMART	30.00	0.30	9.00			
6-4	220291	07/06/06	TIME	PJH	MR HV CREDIT UNION PB	115.00	1.00	115.00			
6-4	220131	07/10/06	TIME	MJE	MC EAC/12/CHASER:HVFCU	115.00	0.30	34.50			
6-4	220135	07/12/06	TIME	MJE	MC BIEDTTI:HVFCU FIRE	115.00	0.20	23.00			
6-4	220136	07/12/06	TIME	MJE	PM RVV HVFCU SITE/PI	115.00	0.90	103.50			
6-4	220472	08/02/06	TIME	MJE	WS HVFCU	115.00	0.40	46.00			
6-4	220710	08/16/06	TIME	MJE	MC ROGER:HVFCU TRAFFIC	115.00	0.30	34.50			
								480.50			
6-4	221168	08/31/06			EXP. CREIGHTON MARKING				408.00		
									408.00		
6-4	221033	09/05/06	TIME	MJE	MR HVFCU SITE PLAN	115.00	0.70	80.50			
6-4	221036	09/06/06	TIME	MJE	MC HVFCU W/DC	115.00	0.40	46.00			
6-4	221038	09/07/06	TIME	MJE	MR HVFCU REVIEW	115.00	0.40	46.00			
6-4	221143	09/12/06	TIME	MJE	MR HVFCU RESOS REV/COLM	115.00	0.40	46.00			
6-4	221144	09/12/06	TIME	MJE	MC HVFCU W/GA	115.00	0.30	34.50			
6-4	221154	09/13/06	TIME	LSK	CL TRAMS:WALMART MBS DEC	30.00	0.50	15.00			
6-4	221313	09/13/06	TIME	MJE	MM Red Wily FCU 300 APP	115.00	0.10	11.50			
								279.50			
6-4	221063	09/13/06			BILL 06-2321					-515.00	
6-4	221658	10/25/06			BILL 06-2640					-687.50	
										-1202.50	
6-4	221878	11/08/06	TIME	MJE	MC Proj Cost Est	115.00	0.30	34.50			
								34.50			
6-4	222201	11/21/06			BILL 06-2933					-34.50	
										-34.50	
<b>TASK TOTAL</b>								<b>1908.10</b>	<b>408.00</b>	<b>-2316.10</b>	<b>0.00</b>
<b>GRAND TOTAL</b>								<b>1908.10</b>	<b>408.00</b>	<b>-2316.10</b>	<b>0.00</b>

**RESOLUTION GRANTING APPROVAL OF AN AMENDED SITE PLAN**

*Hudson Valley Federal Credit Union*

*Site Plan Amendment*

*PB # 2006-04*

*(S-B-L: 4-1-3.1 and 5.11)*

WHEREAS, Hudson Valley Federal Credit Union (the "applicant") has applied to the Town of New Windsor Planning Board for a site plan amendment to allow the demolition and reconstruction, in a different location, of the existing credit union, on property located on New York State Route 300, New Windsor, and identified on the Tax Map as Section 4, Block 1, Lots 3.1 and 5.11 (the "project site");

WHEREAS, this action involves a request for the Planning Board to approval an amendment of a site plan to allow the demolition and reconstruction, in a different location, of the existing credit union;

WHEREAS, the reconstructed credit union will consist of a 6,700 square foot structure and related site improvements, and will occupy two separate existing tax lots;

WHEREAS, in light of the foregoing, the Planning Board has determined to treat the application as an amendment of previously approved site plan; and

WHEREAS, the property lies in both the Towns of New Windsor and Newburgh;

WHEREAS, the redevelopment of the project site, together with the expansion of the adjacent Wal-Mart, was the subject of a coordinated environmental review conducted by the Town of Newburgh Planning Board as lead agency;

WHEREAS, the Town of Newburgh Planning Board adopted a negative declaration for both the expansion of the Wal-Mart site and for the redevelopment of the credit union on March 4, 2004;

WHEREAS, in support of its application, the applicant submitted a proposed amended site plan designated "Proposed Branch," dated December 7, 2005, and last revised on August 2, 2006, consisting of 17 sheets, and prepared by Chazen Engineering and Land Surveying Co., P.C.; and

WHEREAS, on May 24, 2006 the Planning Board waived the requirement to hold a public hearing;

WHEREAS, the Planning Board has carefully considered all of the comments raised by the public and other interested agencies, organizations and officials, including those presented at numerous meetings of the Board as well as those submitted separately in writing; and

WHEREAS, the application and related materials were submitted to the Orange County Planning Department ("OCDP") for its review pursuant to the requirements of the General Municipal Law § 239-m, and OCDP responded on June 5, 2006 recommending a local determination and that, among other things, that the two existing tax lots be merged; and

WHEREAS, the Planning Board now wishes to act on the application for a site plan amendment; and

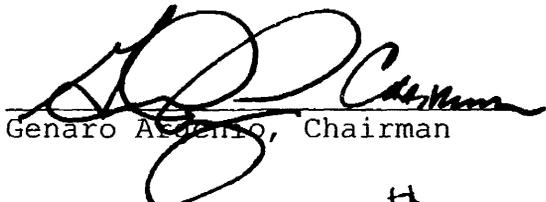
**NOW, THEREFORE,** pursuant to Town Code § 300-86 the Planning Board hereby grants an amended site plan approval to the Applicant. The site plan shall not be signed by the Chairman until the Applicant has complied with the following conditions:

1. The Applicant shall revise the site plan to address any outstanding comments from the Planning Board and/or its consultants. Any revisions to the site plan shall be made to the satisfaction of the Planning Board Engineer and the Planning Board Attorney.
2. The Applicant shall provide performance security in an amount and form acceptable to the Planning Board Engineer and the Planning Board Attorney.
3. The Applicant shall provide proof that a deed merging Lots 3.1 and 5.11 has been duly recorded in the Orange County Clerk's Office.
4. Submission of written evidence that the Applicant has obtained any required approval from any outside agency.
5. The applicant shall pay all outstanding fees due the Town for review of this application.

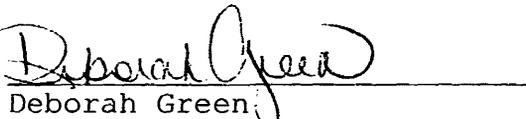
Upon motion made by Member Van Leeuwen,  
seconded by Member Schlesinger, the foregoing  
resolution was adopted as follows:

Member, Joseph Minuta	Aye	Nay	Abstain	<u>Absent</u>
Member, Howard Brown	<u>Aye</u>	Nay	Abstain	Absent
Member, Neil Schlesinger	<u>Aye</u>	Nay	Abstain	Absent
Member, Henry Vanleeuwen	<u>Aye</u>	Nay	Abstain	Absent
Chairman, Genaro Argenio	<u>Aye</u>	Nay	Abstain	Absent
- - -				
Alternate, Daniel Gallagher	<u>Aye</u>	Nay	Abstain	Absent
Alternate, Henry Schieble	Aye	Nay	Abstain	Absent

Dated: September 13, 2006  
New Windsor, New York

  
Genaro Argenio, Chairman

Filed in the Office of the Town Clerk on this 19<sup>th</sup> day  
of September, 2006.

  
Deborah Green  
Town Clerk



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

**RICHARD D. MCGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
MARK J. EDSALL, P.E. (NY, NJ & PA)  
JAMES M. FARR, P.E. (NY & PA)**

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**WRITER'S E-MAIL ADDRESS:  
MJE@MHEPC.COM**

**TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS**

**PROJECT NAME:** HUDSON VALLEY FEDERAL CREDIT UNION SITE PLAN AMENDMENT  
**PROJECT LOCATION:** NYS ROUTE 300 (UNION AVE)  
 SECTION 4 – BLOCK 1 – LOTS 3.1 & 5.11  
**PROJECT NUMBER:** 06-04  
**DATE:** 13 SEPTEMBER 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES CONSTRUCTION OF A NEW BANKING FACILITY ADJACENT TO THE EXISTING BANK OFF UNION AVENUE. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 8 FEBRUARY 2006, 22 MARCH 2006 AND 24 MAY 2006 PLANNING BOARD MEETINGS.

1. The applicant has revised the plans in accordance with review comments from our office, comments from the Town of Newburgh Landscape Architect, and input from the this Planning Board. The applicant is before the Board requesting approval action for the site plan.
2. The Board assumed Lead Agency on 5/24/06. This site plan, the adjoining vacant lot (which is not being combined with this site as part of the bank reconstruction) and the gas station lot to the south were all evaluated as part of the SEQRA review for the Wal-Mart site plan. The Board has discussed this development and has concluded that the impacts of this site are less than that considered under the previous SEQRA review for the two lots. As well, we reviewed the stormwater aspect and Phase II compliance. This development plan is consistent with the SWPPP prepared for the Wal-Mart application, which included the development of these two front lots.

Based on the above, it is my recommendation that the Board adopt the "Neg Dec" resolution, which also formally indicates that the application is consistent with the SEQRA determination previously adopted by both the New Windsor Planning Board and the Town of Newburgh Planning Board.

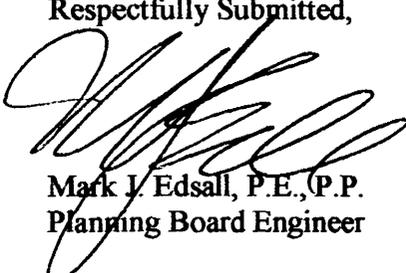
3. The plans submitted address the multiple comments previously issued by our office in our comment sheets.

**REGIONAL OFFICES**

• 111 WHEATFIELD DR. – SUITE ONE • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •  
 • 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

4. The Board requested that a review be performed by the Town of Newburgh's Landscape Architect. The applicants engineer responded to the KALA landscape comments (dated 5-13-06) by letter dated 7-12-06. The applicant should give the Board a synopsis of the revisions they made to the plans to address the KALA comments, and make the site consistent with the overall Wal-Mart complex.
5. The Board requested that a review be performed by the Town of Newburgh's Traffic Consultant. That review was performed and their only recommendation is that the one-way ingress drive be reduced from the 18 ft width indicated.
6. The applicant has indicated that the lighting fixtures are consistent with the lighting at the adjoining Wal-Mart site. The applicant should confirm the same in the meeting discussions.
7. The application was referred to Orange County Planning on 5/24/06. They responded with some minor suggestions (which should be discussed) and "Local Determination".
8. The public hearing was waived on 5/24/06. If no other items are outstanding, conditional approval could be considered. Conditions should include:
  - Modification of one-way ingress, if required by Board.
  - Requirement that tax lots be combined.
  - That a bond estimate be submitted for this Site Plan in accordance with Chapter 137 of the Town Code.
  - Payment of all fees.

Respectfully Submitted,



Mark J. Edsall, P.E., (P.P.  
Planning Board Engineer

MJE/st  
NW06-04-13Sept06.doc



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/13/2006

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV2	09/13/2006	MUNICIPAL FIRE	09/13/2006	APPROVED ✓
REV1	05/19/2006	MUNICIPAL HIGHWAY	05/24/2006	APPROVED ✓
REV1	05/19/2006	MUNICIPAL WATER	/ /	
REV1	05/19/2006	MUNICIPAL SEWER	/ /	
REV1	05/19/2006	MUNICIPAL FIRE . NEED HYDRANT AND FIRE DEPT. CONNECTION ON BUILDING - . LOCATION OF FIRE DEPT. CONNECTION FOR SPRINKLER SYSTEM -	05/24/2006	DISAPPROVED
REV1	05/19/2006	NYS DOT	/ /	
ORIG	02/07/2006	MUNICIPAL HIGHWAY	02/10/2006	APPROVED
ORIG	02/07/2006	MUNICIPAL WATER	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	MUNICIPAL SEWER	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	MUNICIPAL FIRE . SEE REVIEW IN FILE	02/10/2006	DISAPPROVED
ORIG	02/07/2006	NYS DOT	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	E-911 . NUMBERS TO BE ASSIGNED WHEN BETTER PLAN SUBMITTED	03/09/2006	TABLED

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/13/2006

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: STATUS [Open, Withd]  
O [Disap, Appr]

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE-- MEETING-PURPOSE-----ACTION-TAKEN-----

05/24/2006	P.B. APPEARANCE	LA: WVE PH; OC PL . TOOK LEAD AGENCY - WAIVED PH - SEND TO O.C. PLANNING - . ADDRESS MARK'S COMMENTS - CLEAR UP ISSUES WITH FIRE . INSPECTOR - RETURN
03/22/2006	P.B. APPEARANCE	TO RETURN
02/01/2006	WORK SHOP	SUBMIT

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 09/13/2006

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	02/07/2006	EAF SUBMITTED	02/06/2006	WITH APPLICATI
ORIG	02/07/2006	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	02/07/2006	LEAD AGENCY DECLARED	05/24/2006	TOOK LA
ORIG	02/07/2006	DECLARATION (POS/NEG)	/ /	
ORIG	02/07/2006	SCHEDULE PUBLIC HEARING	/ /	
ORIG	02/07/2006	PUBLIC HEARING HELD	/ /	
ORIG	02/07/2006	WAIVE PUBLIC HEARING	05/24/2006	WAIVED PH
ORIG	02/07/2006	PRELIMINARY APPROVAL	/ /	
ORIG	02/07/2006		/ /	
ORIG	02/07/2006	LEAD AGENCY LETTER SENT	/ /	

**FIRE INSPECTOR'S  
INTER-OFFICE CORRESPONDENCE**

**TO:** Michael Babcock, Building Inspector  
**FROM:** Francis Bedetti, Asst. Fire Inspector  
**SUBJECT:** PA2005-1224  
953 Union Ave.  
SBL: 4-1-3.1  
**DATE:** June 22, 2006

Fire Prevention Reference Number: FP<sup>B</sup>-06-027

A review of the provided plans has been conducted, as per the work shop session meeting on 6-21-06. This is a list of items that were agreed upon.

- 1) Relocate a hydrant to the west side of the property.
- 2) Relocate the Fire Dept. connection to the west side of the building.

9/13/06

PLAN SP3 CALLS FOR HYDRANT & FDC CONNECTION

RELOCATED TO THE WEST SIDE TO COMPLY

WITH THE ABOVE REQUEST

*Rsch*

# KALA

KAREN ARENT  
LANDSCAPE ARCHITECT

## Invoice

**BILL TO**

Town of New Windsor Planning Board  
555 Union Avenue  
New Windsor, NY 12553

**DATE**

8/8/2006

**INVOICE #**

06-309

DESCRIPTION	QTY	RATE	AMOUNT
LANDSCAPE ARCHITECTURAL SERVICES FOR:			
HUDSON VALLEY FEDERAL CREDIT UNION			
July 14, 2006 - Site inspection	1	75.00	75.00
July 14, 2006 - Review plans and prepare comments	2.5	75.00	187.50
<p>OK (m) 8/22/06 P.B. # 06-04 Myra Mason</p>			
<b>Total</b>			<b>\$262.50</b>



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
MARK J. EDSALL, P.E. (NY, NJ & PA)  
JAMES M. FARR, P.E. (NY & PA)

□ Main Office  
33 Airport Center Drive  
Suite #202  
New Windsor, New York 12553  
(845) 567-3100  
e-mail: mheny@mhepc.com

□ Regional Office  
507 Broad Street  
Millford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhpepa@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: 06-04

WORK SESSION DATE: 2 AUG 06 PROJECT: NEW OLD X

REAPPEARANCE AT W/S REQUESTED: No RESUB. REQ'D: new plans

PROJECT NAME: HVFCU

REPRESENTATIVES PRESENT: Roger

MUNICIPAL REPS PRESENT: BLDG INSP. \_\_\_\_\_  
ENGINEER X FIRE INSP. \_\_\_\_\_  
P/B CHMN \_\_\_\_\_ PLANNER \_\_\_\_\_  
OTHER \_\_\_\_\_

ITEMS DISCUSSED: Rt 300

drainage reviewed  
hyd @ island  
insurance @ west side

MJE contact TMBs  
re Charon 7-12-06 Hr.

MM forward landsc plans to  
KALA & ack here to  
contact MJE

STND CHECKLIST:  
DRAINAGE \_\_\_\_\_  
DUMPSTER \_\_\_\_\_  
SCREENING \_\_\_\_\_  
LIGHTING \_\_\_\_\_  
(Streetlights)  
LANDSCAPING \_\_\_\_\_  
BLACKTOP \_\_\_\_\_  
ROADWAYS \_\_\_\_\_  
APPROVAL BOX \_\_\_\_\_

PROJECT TYPE  
SITE PLAN  
SPEC PERMIT  
L L CHG.  
SUBDIVISION  
OTHER

PROJECT STATUS:  
ZBA Referral: Y N  
Ready For Meeting Y N  
Recommended Mtg Date Sept 10th next mtg.

Ken from Craigston Manning,

CHAZEN ENGINEERING & LAND SURVEYING Co., P.C.

Dutchess County Office  
Phone: (845) 454-3980

547 River Street, Troy, New York 12180  
Phone: (518) 273-0055 Fax: (518) 273-8391  
Web: www.chazencompanies.com

North Country Office  
Phone: (518) 812-0513

Orange County Office  
Phone: (845) 567-1133

July 12, 2006

Gerry Argenio, Jr.  
Planning Board Chairman  
Town of New Windsor  
555 Union Avenue  
New Windsor, New York 12553

John Ewasutyn  
Planning Board Chairman  
Town of Newburgh  
308 Gardnertown Road  
Newburgh, New York 12550

*Re: Hudson Valley Federal Credit Union – Route 300 Branch  
McGoey, Hauser and Edsall Comments  
Town of New Windsor, Orange County, New York  
Job # 10512.00*

Dear Mr. Argenio and Mr. Ewasutyn:

In the May 24, 2006 comment letter from the Town of New Windsor, it was suggested that the plans for the proposed branch of the Hudson Valley Federal Credit Union be forwarded to the Town of Newburgh Planning Board and Town of Newburgh's Landscape Architectural consultant for consistency review with the previously approved plans for the Wal-Mart Shopping Center project. The plans were forwarded to the Town of Newburgh for review and the Engineer for the Town of Newburgh provided comments in a letter dated July 6, 2006 on the proposed site plan.

Since December 2005 the applicant and our office have been working with the engineer for the Town of New Windsor and the New Windsor Planning Board on the proposed expansion of the Hudson Valley Federal Credit Union Branch located along NYS Route 300 at the existing Wal-Mart Shopping Center. Over the last several months the applicant and our office have attended numerous workshops and Planning Board meetings revising the site plans to provide a plan that provides adequate motor vehicle and pedestrian circulation and in addition provides a plan that allows the existing branch located on the site to remain open during

construction of the proposed branch. In response to the Town of Newburgh Engineer's comments, we offer the following:

**Comment #1:** Internal parking and circulation including stacking at the drive through should be further evaluated. Under the existing conditions traffic flow into and out of the Credit Union creates stacking issues.

*Response#1: The layout proposed considered internal parking and circulation and how it reacts with pedestrians and the Wal-Mart Shopping Center. Under existing conditions traffic enters and exits the Credit Union Branch at the main access drive to the Wal-Mart Shopping Center. The existing access point creates a difficult turning movement for members using the branch drive thru and exiting out onto the main access drive. Vehicles exiting the drive thru anticipating a right out of the access point have to make a 180 degree turn into the main driveway which is less favorable for vehicles turning left. In addition the dumpster for the branch is located near the access point. Member vehicles using the drive thru also stack up within areas on the site where members using the lobby are parked and have to cross stacked traffic to gain access to the building.*

*The proposed layout separates the lobby traffic and the drive thru traffic reducing the conflicts with pedestrians and the traffic associated with the drive through. The proposed drive thru has been located to the southern portion of the site so that the drive thru no longer directly exits onto the main entrance driveway to the shopping center. The location of the proposed drive thru offers stacking behind the drive up tellers so that vehicles waiting to use the drive thru do not stack up in areas with pedestrian interaction. The dumpster that was located at the existing northerly access point has also been relocated to the southerly portion of the site to eliminate the conflict at the access point and provides employees a safer and improved access to the dumpster. Though the Town of New Windsor Planning Board review process and workshops with the Town of New Windsor's engineer it was determined that the northerly most access point be restricted to an entrance only access. It was discussed in the Planning Board meetings and workshops that the right turn out of the northerly access point was problematic due to the sight lines of vehicles exiting which required drivers to look over their shoulder to identify oncoming traffic from the rear and to the left. By restricting the access point to an entrance only it removes a difficult turning movement from the existing access drive to the shopping center.*

**Comment #2:** Evaluate providing right turn out only on the northerly most access drive to further reduce stacking at the Wal-Mart access road.

*Response #2: As discussed in response #1 the proposed plan restricts the most northerly access point so that it is a entrance only access point. It was discussed in the Town of New Windsor Planning Board meetings and workshops that the right*

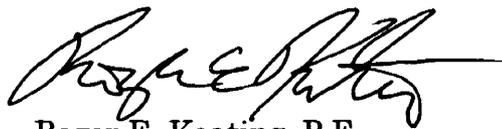
*turn out of the northerly access point was problematic due to the sight lines of vehicles exiting. Therefore the right turn out is not considered or included.*

**Comment #3:** Coordinate landscaping with the Wal-Mart site to assure compliance with previous landscape approvals.

*Response #3: The landscaping plan has been forwarded to the Town of Newburgh's consultant for review. The proposed landscaping offered provides a detailed plan of plantings proposed. If changes in landscaping are required the revisions will be coordinated with the Town of Newburgh's consultant and this item can be addressed as a condition of final approval if deemed necessary.*

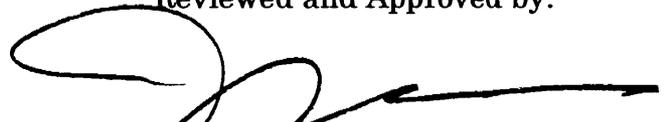
In working with the Town of New Windsor Planning Board and the Town New Windsor Engineer over the past several months, it is our opinion that the site plan proposed adequately addresses the layout concerns. Your attention to this matter is greatly appreciated and if you have any questions or require additional information please contact our office.

Sincerely,



Roger E. Keating, P.E.  
Project Engineer

Reviewed and Approved by:



Joseph M. Lanaro, PE  
Director, Engineering Services  
Northern Operations

REK

cc: Tony Rohrmeier, Hudson Valley Federal Credit Union  
Scott Bridie, Turner Construction  
Mark Edsall, Town of New Windsor Planning Board Engineer  
Patrick J Hines, Town of Newburgh Planning Board Engineer  
File



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)  
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MARK J. EDSALL, P.E. (NY, NJ & PA)  
JAMES M. FARR, P.E. (NY & PA)

**MAIN OFFICE**  
33 Airport Center Drive  
Suite 202  
New Windsor, New York 12553

(845) 567-3100  
fax: (845) 567-3232  
e-mail: mheny@mhepc.com

6 July 2006

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553

**ATTENTION: Gerry Argenio, Jr., Planning Board Chairman**

**SUBJECT: Hudson Valley Federal Credit Union Site Plan**

Pursuant to a request from Mark Edsall the undersigned reviewed the subject site plan with the Town of Newburgh Planning Board on 15 June 2006. A review of the existing site plan along with the proposed site plan was undertaken with representatives of the Board and their consultants. The purpose of this meeting was to advise the Planning Board as to the current proposal to expand the Federal Credit Union and modify the access drive from the Walmart parking access drive. During the meeting the Planning Board identified several concerns which they requested be evaluated by your Board in conjunction with the Town of Newburgh consultants which have been retained by MH&E.

1. Internal parking circulation including stacking at the drive through should be further evaluated. Under the existing conditions traffic flow into and out of the Credit Union creates stacking issues.
2. Evaluate providing right turn out only on the northerly most access drive to further reduce stacking at the Walmart access road.
3. Coordinate landscaping with the Walmart site to assure compliance with previous landscape approvals.

Based on the review of the plans on that date the Town of Newburgh Planning Board as Lead Agency for the original approvals determined that the site plan as proposed was consistent with the environmental review and findings statements prepared for the entire Walmart site as well as the out parcel pads. It was noted that the existing bank parcel as well as one of the pad sites will result in a reduction in intensity in use than the proposed restaurant/fast food use included in the original proposal.

**REGIONAL OFFICES**

• 111 Wheatfield Drive • Milford, Pennsylvania 18337 • 570-296-2765 •  
• 540 Broadway • Monticello, New York 12701 • 845-794-3399 •

-2-

Based on the above, the Planning Board found that the site plan as presented is consistent with previous environmental reviews and takes no exception to your Board completing its review of the project. The Planning Board is aware that you are utilizing the services of Karen Arent, Landscape Architect and Ken Wersted, Traffic Consultant in evaluating the proposal. Thank you for the opportunity to provide input.

Very truly yours,

*McGoey, Hauser and Edsall  
Consulting Engineers, P.C.*

  
Patrick J. Hines  
Associate

Cc John Ewasutyn, Town of Newburgh Planning Board Chairman  
Mark Edsall, Town of New Windsor Planning Board Engineer

T/New Windsor/ldr-general



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
MARK J. EDSALL, P.E. (NY, NJ & PA)  
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(570) 296-2705  
e-mail: mhapa@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: 06-04

WORK SESSION DATE: 21 June 06 PROJECT: NEW OLD X

REAPPEARANCE AT W/S REQUESTED: \_\_\_\_\_ RESUB. REQ'D: \_\_\_\_\_

PROJECT NAME: HVFCU Walnut

REPRESENTATIVES PRESENT: Roger Keating

MUNICIPAL REPS PRESENT: BLDG INSP. \_\_\_\_\_ FIRE INSP. BB  
ENGINEER X PLANNER \_\_\_\_\_  
P/B CHMN \_\_\_\_\_ OTHER \_\_\_\_\_

ITEMS DISCUSSED:

Light concrtary  
mod c/s # layout  
NBB!  
KA!  
fire connection @ bldg -  
lay route from hydrant  
not tie up site

Plat will send email

STND CHECKLIST: PROJECT TYPE

DRAINAGE \_\_\_\_\_  
DUMPSTER \_\_\_\_\_  
SCREENING \_\_\_\_\_  
LIGHTING \_\_\_\_\_  
(Streetlights)  
LANDSCAPING \_\_\_\_\_  
BLACKTOP \_\_\_\_\_  
ROADWAYS \_\_\_\_\_

SITE PLAN  
SPEC PERMIT  
L L CHG.  
SUBDIVISION  
OTHER

APPROVAL BOX \_\_\_\_\_

PROJECT STATUS:  
ZBA Referral: \_\_\_\_\_ Y \_\_\_\_\_ N

Ready For Meeting \_\_\_\_\_ Y \_\_\_\_\_ N

Recommended Mtg Date \_\_\_\_\_



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

7 June 2006

Hon. John Ewasutyn, Chairman  
Town of Newburgh Planning Board  
308 Gardnertown Road  
Newburgh, New York 12550

**SUBJECT: HUDSON VALLEY FEDERAL CREDIT UNION SITE PLAN AMENDMENT  
NEW WINDSOR PLANNING BOARD NO. 06-04**

Dear Mr. Ewasutyn:

The Town of New Windsor Planning Board has received an application for site plan amendment approval for the Hudson Valley Federal Credit Union site, located on Rt. 300, at the Town line near the Wal-Mart facility. The Planning Board has determined that it is necessary and appropriate that they receive input from your Board regarding the application, given its location and the previous review of all the adjacent parcels.

We are forwarding herewith a copy of the plan submitted with the application for your review and comment. We request that you notify the Planning Board of any concerns regarding this application, which should be considered by the New Windsor Board during their review of the project.

I have had the opportunity to discuss this application with the your Board's engineer, Mr. Patrick Hines. With your permission, we will continue to coordinate any issues Mr. Hines, to make the joint review more efficient. We look forward to your input regarding this application before the New Windsor Board.

Very truly yours,  
TOWN OF NEW WINDSOR PLANNING BOARD

*Mark J. Edsall, P.E., P.P.*

Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

Cc: Patrick J. Hines, Newburgh P.B. Engineer

MJE/st  
NW06-04-T-Nbg-Ref 06-07-06

# KALA

KAREN ARENT  
LANDSCAPE ARCHITECT

## Memorandum

**To:** Town of New Windsor Planning Board and Mr. Mark Edsall, Town of New Windsor Planning Board Engineer

**From:** Karen Arent, Landscape Architect

**Date:** May 13, 2006

**Subject:** Hudson Federal Credit Union

**Town Project Number:** 2006-04

**Consultant:** Chazen Companies

### COMMENTS:

In general, the proposed landscaping is sparse and not at all consistent with the landscaping on the Wal-Mart site. Additional plants must be specified so that the landscape will be aesthetically pleasing, noticeable, and in harmony with the landscaping on the Wal-Mart site.

1. Since the most visible side of the bank from public points of view faces Union Avenue, the consultant should submit architectural renderings of this side of the building. Views of the other two sides should also be submitted since they are also quite visible. A drawing that illustrates the proposed drive thru building should also be submitted.
2. A very wide concrete pad is shown near the garbage dumpster. This pad should be minimized. The wide concrete sidewalk is unnecessary and accentuates the garbage dumpster area. Additional planting should be shown to screen the garbage dumpster area. Provide screening with a variety of shrubs so that the screening does not draw attention to itself.
3. Several large trees should be shown along Union Avenue. The landscape plan shows only one tree along this entire stretch. The consultant should specify larger growing shrubs to hide views of parked cars from Union Avenue. A variety of Junipers are specified, the tallest of which grows approximately 2' in height. Shrubs that grow higher than 2' should be specified in this planting strip to hide views of parked cars from Union Avenue, keeping shrubs low that are within intersection sight lines. Landscaping should be also shown under the sign.
4. In general, the entire landscape should include varieties of plants that not only provide winter interest, but plants that provide spring, summer and fall interest to create a dynamic, changing, and aesthetically pleasing landscape. The planting should be full with several layers of various heights of plant materials.
5. Large trees should be shown around the entire site to provide a sense of enclosure and to provide shade for the extensive black top areas.

Comments for Hudson Valley Federal Credit Union  
Dated July 14, 2006 continued

6. Sugar Maples are shown in parking islands. They do not live well in parking islands so another species that tolerates tough conditions should be specified.
7. The front planting along the entrance drive should be revised to be more similar to the landscaping on the Wal-Mart side. Only Junipers are specified in this planting which is not at all consistent with the planting on the other side of the entrance drive. Shrubs should also be specified under the Red Maple tree proposed in this island so that views of parked cars are screened from Route 300.
8. Single Arrowwood Viburnum shrubs are shown in the planting scheme. A plant that has more of a specimen habit should instead be specified or groupings of Arrowwood Viburnum should be specified.
9. Shrubs should be specified in all parking islands. Beds of only mulch do not provide any visual relief in the parking area and beds of lawn do not work since it is too difficult to mow lawn with cars in the lot. Several shrubs should be planted in each island so that the landscape is thick and full.
10. The plan shows trees with nothing but mulch under them. Trees grow better in a full planting that includes shrubs and groundcovers. The consultant should show shrubs and/or ground covers under all the deciduous trees.
11. A mulched bed is shown on the eastern side of the building with annuals and perennials as planted by the Owner. These plants should be specified to make sure that the side of the building is well planted.
12. Shrubs, groundcovers and/or perennials should be specified for the eastern side of the building. Nothing is shown in this area and this area should be at least green in color.
13. Two trees and shrubs should be shown in the islands on the western side of the building. There is ample room for an additional tree in each island and shrubs should be specified to provide ground level landscaping.
14. Air conditioner condenser units should be screened with evergreen shrubs. Shrubs should be planted close enough together to provide complete screening in three years or less. A large box is also shown in this area which should also be screened with shrubs or small trees large enough to provide screening in three years or less.
15. Rhododendron is shown in hot, sunny locations. Rhododendrons require sheltered, shady locations. The consultant should specify a plant that is culturally suited to the proposed location.
15. Eastern Redbud is shown throughout the site. Another, taller growing tree species should be specified to provide shade for the large areas of asphalt.
17. A shade tree should be specified in the island on the eastern side of the drive thru building.
18. The island on the western side of the drive thru building is basically a huge island of mulch with only 19 shrubs and three small trees for 80' in length. Taller growing trees or three taller growing trees with one Eastern Redbud on each end should be specified along with several shrubs under the trees and around the island.

Comments for Hudson Valley Federal Credit Union  
Dated July 14, 2006 continued

19. Low growing trees should be specified to soften the facades of the building. Also, the planting around the building should show more diversity. The plan shows shrubs that all grow approximately 2' in height creating a somewhat dull landscape. Also, most plantings are only one layer deep. At least two, if not three layers of shrubs should be specified to create a dynamic, interesting planting.
20. Nothing is specified under the overhang of the building creating a somewhat dull landscape. This space should be irrigated so that planting can be installed between the sidewalk and the building.
21. In the corner of the site, three White Spruces are shown with circles that measure 20' in width. Two more Spruces should be added to this planting and the circles should measure only 15' in width or less since White Spruce only grows between 10 and 20' in width (rarely do they grow 20' wide and in this environment we will be lucky if the White Spruce grows 10' wide).
22. Islands of low growing shrubs should be specified between this site and the drive around the site. All other islands in the Wal-Mart parking lot are landscaped. Therefore this space should include at least some landscaping.
23. Plants are specified in rather small sizes which is acceptable provided several more trees and three or four times the number of shrubs are specified.



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

8 June 2006

Karen Arent, LA  
12 Old Minisink Trail  
Goshen, New York 10924

**SUBJECT: HUDSON VALLEY FEDERAL CREDIT UNION SITE PLAN AMENDMENT  
NEW WINDSOR PLANNING BOARD NO. 06-04**

Dear Karen:

The Town of New Windsor Planning Board has received an application for site plan amendment approval for the Hudson Valley Federal Credit Union site, located on Rt. 300, at the Town line near the Wal-Mart facility. The New Windsor Planning Board has referred the plan to the Town of Newburgh Planning Board for review and comment (see attached letter). In addition to the same, I have suggested to the New Windsor Board that they seek your input relative to landscaping consistency (with the approved adjoining Wal-Mart site plan), as a special consultant to the New Windsor Board. This has been authorized.

Enclosed herewith please find a copy of the plan, for your input as noted above. Please forward your comments to me at the address above. As well, complete the enclosed voucher and submit that for my attention as well.

We look forward to your input regarding this application before the New Windsor Board. If you have any questions, please feel free to contact me at 845-567-3100.

Very truly yours,  
TOWN OF NEW WINDSOR PLANNING BOARD

A handwritten signature in black ink, appearing to read 'Mark J. Edsall', written over a horizontal line.

Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

cc: Hon. Genaro Argenio, Chairman, New Windsor Planning Board (via fax)  
Hon. John Ewasutyn, Chairman, Newburgh Planning Board (via fax)

MJE/st  
NW06-04-T-Arent-Ref 06-08-06

# ORANGE COUNTY DEPARTMENT OF PLANNING

124 Main Street  
Goshen, NY 10924-2124

## APPLICATION FOR MANDATORY COUNTY REVIEW OF LOCAL PLANNING ACTION

(Variances, Zone Changes, Special Permits, Subdivisions, Site Plans)

Local File No. 06-04 (Please include this number on any correspondence)

1. Municipality Town of New Windsor Public Hearing Date: not set

City, Town or Village Board \_\_\_\_\_ Planning Board X Zoning Board \_\_\_\_\_

2. Owner: Name: Hudson Valley Federal Credit Union  
Address: 159 Barnegat Road, Poughkeepsie, NY 12601

3. Applicant \* Name: same  
Address: \_\_\_\_\_

\*If applicant is owner, leave blank

4. Location of Site: NYS Route 300 (at Wal-Mart complex)  
(Street or highway, plus nearest intersection)

Tax Map Identification: Section: 4 Block: 1 Lot: 3.1 & 5.11

Present Zoning District: C Size of Parcel: 2 + Acres

5. Type of Review:

### \*\*\*Site Plan

Zone Change: From — To: —

Zoning Amendment: To Section \_\_\_\_\_

\*\*Subdivision: Number of Lots/Units \_\_\_\_\_

\*\*\*Site Plan: Use New Credit Union building at existing site

Date: 5-24-06

Signature & Title: Mark J. Edsall, P.E.  
Mark J. Edsall, P.E., @  
Planning Board Engineer

*Sext 5/25/06*



**COUNTY OF ORANGE**

**DEPARTMENT OF PLANNING**

**EDWARD A. DIANA**  
COUNTY EXECUTIVE

124 MAIN STREET  
GOSHEN, NEW YORK 10924-2124  
TEL: (845)291-2318 FAX: (845)291-2533  
www.orangecountygov.com/planning

**DAVID CHURCH, A.I.C.P.**  
COMMISSIONER

**ORANGE COUNTY DEPARTMENT OF PLANNING**  
**239 L, M OR N REPORT**

**This proposed action is being reviewed as an aid in coordinating such action between and among governmental agencies by bringing pertinent inter-community and countywide considerations to the attention of the municipal agency having jurisdiction.**

**Referred by:** New Windsor Planning Board

**Reference/County ID No.:** NWT15-06M  
**Tax Parcel ID:** 4-1-3.1; 4-1-5.11

**Applicant:** Hudson Valley Federal Credit Union

**Proposed Action:** Site Plan: Demolition & Construction of New Building

**Reason for Review:** Within 500' of ST RTE 300

**Date of Full Statement:** May 26, 2006

**Comments:** The Department has received the above application for the demolition & construction of a new Credit Union Branch, and offers the following:

- The amount of parking spaces proposed seems to indicate that a percentage of the new structure will be used for offices, unrelated to banking. If this is not the case, the recommendation is to reduce the amount of parking which would reduce the amount of paving proposed.
- Open space is indicated, but the overall site would be enhanced with landscaping.
- As the scope of the project spans across two separate parcels, combining them into one tax lot is suggested.

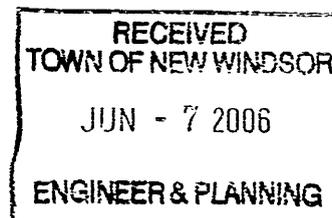
**County Recommendation:** Local Determination

**Date:** June 5, 2006

**Reviewed By:** Kathy V. Murphy, Planner

  
**David Church, AICP**  
**Commissioner of Planning**

**"IMPORTANT NOTE: As per NYS General Municipal Law 239-m(6), within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecountygov.com/planning."**



P.B. 06-04

cc: M-E.

**Partners**

Charles W. Manning, P.E.  
 John M. Tozzi, P.E.  
 Edward V. Woods, P.E.  
 Donald G. Sovey, P.L.S.

**Associates**

Don Adams, P.E., PTOE  
 Karl H. Detrick  
 Thomas R. Johnson, P.E., PTOE  
 Shelly A. Johnston, P.E.  
 Edwin C. Lawson  
 Jeffrey W. Pangburn, P.E.  
 Mark A. Sargent, P.E.

August 18, 2006

Mr. Patrick Hines, P.E.  
 McGoey, Hauser & Hdsall Consulting Engineers, PC  
 33 Airport Center Drive  
 Suite 202  
 New Windsor, NY 12553

RE: Hudson Valley Federal Credit Union, Route 309, Town of New Windsor, NY  
 CME Project No. 06-145

Dear Mr. Hines:

Creighton Manning Engineering, LLP (CME) is in receipt of the site plan entitled "Site Layout Plan" prepared by The Chazen Companies, last revised August 2, 2006. After reviewing this plan and our previous comments on the Wal-Mart expansion project, we offer the following comments:

1. The proposed plan calls for the change in access to the existing credit union driveway. The proposed plan will modify the existing ingress/egress driveway to an ingress only movement, thus improving conditions at this location by eliminating the ability for drivers to exit this driveway and the need to look over one's left shoulder for approaching cars. If possible, this 18-foot wide entrance could be reduced to further discourage vehicles from exiting the site at this location.
2. The main access is proposed to the internal Wal-Mart loop road at a point that is parallel to the Wal-Mart building. While this access point is not directly opposite one of the Wal-Mart parking aisles, it is generally consistent to the previous concept provided during the Wal-Mart expansion.

If you have any questions regarding the above comments, please feel free to contact our Albany office.

Respectfully submitted,  
 Creighton Manning Engineering, LLP

Kenneth Wersted, P.E.  
 Project Engineer

Cc: John Ewasutyn, Town of Newburgh  
 Roger Keating - The Chazen Companies, Troy, NY

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**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

**PROJECT NAME:** HUDSON VALLEY FEDERAL CREDIT UNION SITE PLAN AMENDMENT  
**PROJECT LOCATION:** NYS ROUTE 300 (UNION AVE)  
SECTION 4 – BLOCK 1 – LOTS 3.1 & 5.11  
**PROJECT NUMBER:** 06-04  
**DATE:** 24 MAY 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES CONSTRUCTION OF A NEW BANKING FACILITY ADJACENT TO THE EXISTING BANK OFF UNION AVENUE. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 8 FEBRUARY 2006 AND 22 MARCH 2006 PLANNING BOARD MEETINGS.

1. The plans have been updated to provide additional information as was requested. We have the following review comments:

***Sheet SP2 (Site Plan)***

- The bulk table should provide “actual” bulk values in tabular form with the “required” values (all values).
- The “One Way” signs at the one way entrance should be double, back-to-back R3-10 and R3-11, mounted on twin posts. (also correct SD1B).
- The “One Way” signs along the area of the employee parking area should be R3-10. (also correct SD1B).
- “Employee Only Parking” signs should reference detail 2/SD1B (also correct SD1B to include appropriate detail on sign schedule).
- The Board may wish to discuss adequacy of the dumpster enclosure size with the applicant.

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- Is the site sign along Union Avenue the existing sign? Are any changes proposed?
- Sign # 11 is missing from the two handicapped parking locations.

***Sheet SP 3 (Utility Plan)***

- Adequacy of the fire service line should be confirmed based on fire flow and sprinkler calculations.
- Locations and adequacy of the catch basins for the main parking area should be further evaluated.

***Sheet SP 4 (Landscape/Grading Plan)***

- The overall Wal-Mart site received a landscaping review from the Town of Newburgh's Landscape Architectural consultant. For consistency, I suggest we forward this plan to that consultant.
- Part of the landscaping review should be verification that the plantings along the front of the site do not obstruct, in any way, sight lines from the main Wal-Mart roadway.

***Sheet SP 5 (Lighting Plan)***

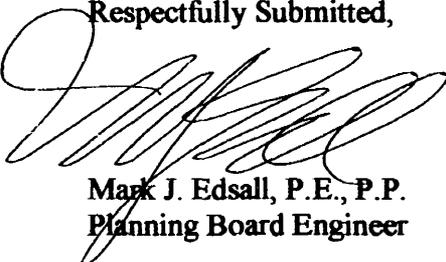
- The applicant should verify consistency of the lighting plan with the adjoining Wal-Mart site plan.
- Lighting levels appear reasonable.

***Sheet SD1b (Detail Sheet)***

- Sign Schedule (detail 2) should be revised as noted above.
- Detail 3 (handicapped parking space) requires several corrections. All striping for the handicapped space must be blue. When a standard space adjoins a handicapped space, a double line should be installed, one blue, one white. Per new code requirements, a "No Parking – Any Time" sign should be shown in front of the cross-hatched access lane (shown on sign schedule as sign 11).
- Detail 8, we recommend the bollards also be placed at the front corners of the enclosure.
- Detail 6 should note requirement for double posts for R13-10 and R13-11 signs.
- Detail 8 should require the masonry enclosure finish to match building finish. As well, given the location of the enclosure, re-evaluate the gate material.

2. Given the overall detailed joint review between the Towns of New Windsor and Newburgh for the Wal-Mart site plan, I suggest we forward a copy of this latest plan to the Town of Newburgh Planning Board for site plan comment.
3. The Planning Board may wish to assume the position of Lead Agency under the SEQRA review process, for this site plan amendment.
4. This project is located adjacent to NYS Route 300 and, as such, must be referred to the Orange County Planning Department as per New York State General Municipal Law (GML 239).
5. The Planning Board should determine, for the record, if a Public Hearing will be required for this Site Plan, per its discretionary judgment under Paragraph 300-86 (C) of the Town Zoning Local Law.
6. The application involves non-single family development with disturbance greater than one acre, and is subject to the State and Town regulations as they pertain to Stormwater Pollution Prevention Plans (SWPPPs). It is my understanding that this development was already considered in the plans for the Wal-Mart site plan; as such, a "consistency review" should be performed.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

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PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/25/2006

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
O [Disap, Appr]

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224

APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
05/24/2006	P.B. APPEARANCE	LA: WVE PH; OC PL . TOOK LEAD AGENCY - WAIVED PH - SEND TO O.C. PLANNING - . ADDRESS MARK'S COMMENTS - CLEAR UP ISSUES WITH FIRE . INSPECTOR - RETURN
03/22/2006	P.B. APPEARANCE	TO RETURN
02/01/2006	WORK SHOP	SUBMIT



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/24/2006

PAGE: 1

LISTING OF PLANNING BOARD AGENCY APPROVALS

FOR PROJECT NUMBER: 6-4

NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
REV1	05/19/2006	MUNICIPAL HIGHWAY ✓	05/24/2006	APPROVED
REV1	05/19/2006	MUNICIPAL WATER	/ /	
REV1	05/19/2006	MUNICIPAL SEWER	/ /	
REV1	05/19/2006	MUNICIPAL FIRE ✓. NEED HYDRANT AND FIRE DEPT. CONNECTION ON BUILDING - ✓. LOCATION OF FIRE DEPT. CONNECTION FOR SPRINKLER SYSTEM -	05/24/2006	DISAPPROVED
REV1	05/19/2006	NYS DOT	/ /	
ORIG	02/07/2006	MUNICIPAL HIGHWAY	02/10/2006	APPROVED
ORIG	02/07/2006	MUNICIPAL WATER	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	MUNICIPAL SEWER	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	MUNICIPAL FIRE . SEE REVIEW IN FILE	02/10/2006	DISAPPROVED
ORIG	02/07/2006	NYS DOT	05/19/2006	SUPERSEDED BY REV1
ORIG	02/07/2006	E-911 . NUMBERS TO BE ASSIGNED WHEN BETTER PLAN SUBMITTED	03/09/2006	TABLED

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/24/2006

PAGE: 1

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STAGE:

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NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
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--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
03/22/2006	P.B. APPEARANCE	TO RETURN
02/01/2006	WORK SHOP	SUBMIT

HUDSON\_VALLEY\_FEDERAL\_CREDIT\_UNION\_SITE\_PLAN\_(06-04)

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Mr. Roger Keating appeared before the board for this proposal.

MR. ARGENIO: What we're doing here is I assume this is the application proposes construction of a new banking facility adjacent to the existing bank off Union Avenue. The application was previously reviewed at the 8 February, 2006 planning board meeting, I assume that we're going to look at this tonight for preliminary examination, is that right?

MR. EDSALL: We asked them to come back because two, I wouldn't say they were large concerns, but they are two areas that you really were not sure if you were comfortable was the access points and how they were going to phase construction so that the existing facility could stay open while they built the new building.

MR. ARGENIO: The driveway issue was a big issue, was it not?

MR. EDSALL: The access points and they were going to move traffic temporary.

MR. ARGENIO: I am personally not panicked about the phasing based on what I saw last week and knowing the CM that they have on board I'm quite sure that it will be done in an orderly--Scott, you're associated with this? I know that it will be a well executed project. What was of great concern was that looking over your left shoulder for traffic.

MR. KEATING: Correct. Roger Keating from Chazen Engineering.

MR. ARGENIO: Which office?

MR. KEATING: I currently work out of the Troy office but I do bounce between our Newburgh office right here.

MR. ARGENIO: What say you?

MR. KEATING: Well, like you said, Mr. Chairman, last time we were in front of the board we had presented a conceptual layout which is the one that we had, this is the one we had presented last time which showed utilizing the existing entrance as it stands now as a full service entrance and exit and the existing curb cut that was provided as part of the Wal-Mart expansion out-parcel construction that was done there as part of that project previously. Again, you expressed a concern that the movement of the people that were leaving out this existing entrance would have to look back over their shoulder to leave to the oncoming traffic and as per your recommendation, we looked at some different alternatives of what we could do on the site and then met with the Town engineer to discuss the options. What we're proposing right now is to restrict the movements now at the existing entrance to a one way only entrance in, no longer allowing an exit out on the existing curb cut that goes out the main entrance to the signalized intersection.

MR. ARGENIO: You'll supply appropriate signage with that that says do not enter, one way only?

MR. KEATING: Et cetera, absolutely. As part of that we'll be narrowing the mouth of the entrance there constructing a grassy land at that entranceway then obviously the appropriate signage. In doing that, we also considered revising the existing curb cut that's provided out there right now to provide more centralized circulation on the site. Previously, we were utilizing that second ingress egress that was provided which is kind of skewed on this site because we had a full service entrance here, we then now in turn to help that circulation pattern proposing to

shift that over so that we get more of a centralized circulation pattern there. Again, this and with this option it still accomplishes the goals dividing the pedestrian traffic, that is the walk-up traffic to the branch on one side and then directing the drive-through traffic to the other where they now as it exists now people park within the lot, the drive-through traffic has to come around and there's the pedestrian conflicts there so--

MR. SCHLESINGER: On the upper part is that your egress that's going to be the egress?

MR. KEATING: We would have ingress egress, that's an in and out, correct.

MR. SCHLESINGER: I'm confused about what arrow is there now, go to your left, that arrow?

MR. KEATING: This arrow here is so that the circulation traffic for the drive-up tellers.

MR. SCHLESINGER: So show me your flows.

MR. KEATING: Drive-up teller traffic around and pull in here and then this allows them to come back out and again what it does it takes that circulation traffic which now they experience right in front of their building and people that are parking have to cross that.

MR. SCHLESINGER: Your lighting, your drive-through, where does the traffic, where the egress goes can you verbally maybe or point where does the traffic flow from there and in consideration of all the other Wal-Mart traffic what's the pattern there, do you have an overall site there?

MR. KEATING: I don't have--

MR. ARGENIO: I'm going to take that and I'm going to interrupt you only cause I built it and he didn't. When you go out of that narrow entrance if you make a right you go directly over to the signal on 300, if you make a left--

MR. SCHLESINGER: Right and round.

MR. ARGENIO: Or you make a left and go around the rim road of the outer Wal-Mart parking lot and you exit the facility on Liner Road, that's--

MR. SCHLESINGER: So you have two options when you're pulling out? I'd like to make it the best ideal thing practical is make one direction, get all the traffic away from there cause you're causing another congestion where you pull in.

MR. ARGENIO: When people leave, Neil, anybody who knows this area is going to make a left to go to Liner Road and that's certainly a viable increase egress to that site.

MR. SCHLESINGER: You have no problem with the people turning right and going back the other way?

MR. ARGENIO: No, it's a good movement.

MR. KEATING: They have provided a turning lane in there as part of that so that helps relieve some of the pressure on the internal circulation.

MR. SCHLESINGER: The other important issue is, you know, I realize that you guys want to do this sa facilitating as possible also what are we going to do about the construction and the traffic flow while you're--

MR. KEATING: Right, I have that plan here, we did prepare a conceptual plan at the time we like the

chairman said we have a construction manager company on board with us as well to help facilitate that option.

MR. ARGENIO: He should come up here to address that, Scott, if you would, the phasing?

MR. SCHLESINGER: What's your time factor?

MR. ARGENIO: Scott, your name?

MR. BRIDEY: Scott Bridey with Turner Construction. Time factor?

MR. SCHLESINGER: Beginning to end?

MR. BRIDEY: We're hoping to begin construction in I'm thinking June and we're looking at a five to six month schedule.

MR. SCHLESINGER: Cause it's a tough situation now and I'm sure you're going to try to make it as facilitating as possible.

MR. BRIDEY: If I could just quickly go through the phasing?

MR. ARGENIO: Yes.

MR. BRIDEY: What we had done here is we had taken a look and we had studied the traffic flows at the, what's pointed as phase 3, that's the existing branch and we took a look at the proposed new branch, what I would need as far as location particulars to construct phase 1 and then with R. W. Larson, who is the architect and Roger from Chazen, we created this temporary construction sequence so that the people who work for the credit union could still have parking to access the building, we still wanted to maintain and keep the flows going to the existing drive-up tellers and once this 6,000 square foot building is

constructed, we would then begin to demobilize and then finalize the construction of the new drive-up teller and then currently right now I'm working with and I was on site yesterday with one of the bidders is American Demolition and with and in coordination with the building department we're trying to look at demoing this building in either double shifts or actually triple shifts so that we can minimize the impact on Wal-Mart at 300 and the bank members.

MR. ARGENIO: Scott, while the building is going up, while phase 1 the building is going up, that loop driveway, what's the purpose of that at that point?

MR. BRIDEY: This loop driveway is to allow access, the existing entrance would then be gated and the entire construction area would be enclosed in a six or eight foot high construction fence and this would be the temporary new access.

MR. KEATING: Primarily for the employees to park so that they're, we're taking some of that traffic out of that existing area.

MR. ARGENIO: Included in that phase is the construction of the new parking lot.

MR. BRIDEY: Yes, a binder.

MR. ARGENIO: That's why you need the other area.

MR. BRIDEY: Yes.

MR. SCHLESINGER: You're saying employees, that the public will have access to that as well?

MR. KEATING: They could have access to that as well, correct, and it's the intention that they'll use some sort of, they'll pave that so that it's not just gravel.

MR. ARGENIO: Did you go through that, Mark?

MR. EDSALL: Yes, as part of the reason where the loop road provides some benefit is that it provides parking for construction operation and employees which means there's not as much congestion down on the existing site during the temporary portion.

MR. ARGENIO: Let's keep something in mind too here I don't want to get too much into the minutia of this because Turner is the expert here, fact of the matter is to the west there's about an acre and a half or two acres an undeveloped parcel that's going to, falls under the same owner, the Wal-Mart ownership, and if there's some overflow construction parking that's needed they have that area.

MR. EDSALL: They have an approved gas station so that may start, who knows at the same time.

MR. ARGENIO: They are not, they are, I mean, I haven't heard hide nor hair.

MR. BABCOCK: They're close to getting their permit.

MR. ARGENIO: They are close?

MR. EDSALL: They've got approval, they could be starting construction the same time.

MR. ARGENIO: This plan should stand on its own in any event.

MR. EDSALL: I think so.

MR. ARGENIO: Okay, what else are you looking for from us guys?

MR. KEATING: Pretty much we're looking for a buy-in or

a basically a concept approval from you guys.

MR. ARGENIO: I'll buy into that.

MR. KEATING: So we can again advance the--

MR. ARGENIO: Scott Bridey says it's okay, so it must be okay.

MR. KEATING: And advance the site plan process with you guys and work with Mark so we can get towards approval.

MR. ARGENIO: I think you should get a set of drawings together and start moving forward with it. Mark, do you have anything with this or Mike?

MR. EDSALL: No.

MR. BABCOCK: No.

MR. EDSALL: They are really back to give you a level of comfort with the layout so they can move forward.

MR. ARGENIO: Two big things were the phasing and left-hand turn also be well advised, sir, that the final plans make sure you have lane width around that building for the fireman because the fireman are going to want to make sure that they have access.

MR. KEATING: I had some preliminary discussions with Mr. Babcock, we're going to get together after this layout.

MR. ARGENIO: You have this?

MR. KEATING: I haven't had a chance to look at any of this so--

MR. ARGENIO: Thank you.



**McGOEY, HAUSER and EDSALL  
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**TOWN OF NEW WINDSOR**  
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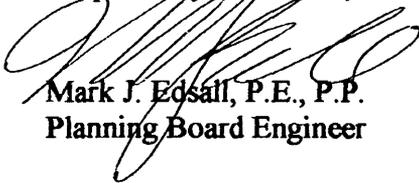
**PROJECT NAME:** HUDSON VALLEY FEDERAL CREDIT UNION  
**PROJECT LOCATION:** NYS ROUTE 300 (UNION AVE)  
SECTION 4 – BLOCK 1 – LOTS 3.1 & 5.11  
**PROJECT NUMBER:** 06-04  
**DATE:** 22 MARCH 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES CONSTRUCTION OF A NEW BANKING FACILITY ADJACENT TO THE EXISTING BANK OFF UNION AVENUE. THE APPLICATION WAS PREVIOUSLY REVIEWED AT THE 8 FEBRUARY 2006 PLANNING BOARD MEETING.

1. The plans are still conceptual in nature. At the previous meeting, Board members has concerns and comments regarding the general layout, access configuration and locations, and sequencing of the work, since it is proposed that the new facility be constructed adjacent to the existing facility (following which the new building will be occupied and existing building razed).

To further address these aspects, the applicant has revised their plans, and is here to seek conceptual acceptance of the Board, the applicant is at this meeting to further discuss these basic site plan issues with the Board.

2. If the Board looks favorably on the new conceptual plans, I suggest they direct the applicant to proceed with preparation of complete plans, for submittal and review by the Board, Town Departments, and our office.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

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HUDSON\_VALLEY\_FEDERAL\_CREDIT\_UNION\_SITE\_PLAN\_(06-03)

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MR. ARGENIO: This application proposes construction of a new banking facility adjacent to the existing bank off Union Avenue. The plans submitted are very conceptual in nature. Where are you, sir?

MR. KEATING: We're at the intersection where the existing Wal-Mart Super Center is.

MR. ARGENIO: Okay, you name?

MR. KEATING: My name is Roger Keating, I'm with the Chazen Company. I'm here tonight representing the Hudson Valley Federal Credit Union.

MR. ARGENIO: From the Newburgh office?

MR. KEATING: No, I'm from the Troy office.

MR. ARGENIO: Tell us about what you're doing.

MR. KEATING: This is the existing Hudson Valley Federal Credit Union has a branch at the shopping center. As it stands right now and as part of the original or as part of the site plan approval process that was done for the Wal-Mart Shopping Center they created some out-parcels associated with that development and the credit union has purchased the out-parcel directly adjacent to their existing branch and what the credit union is desired to do is to reopen their existing branch site and create a new proposed branch at this same location. So essentially what they're looking at doing is providing or creating a new 6,700 square foot credit union branch on the existing site and the idea is to keep the existing credit union branch open during the construction of the new proposed facility so that they can continue to service their members during that time of construction. The utilities and everything for the proposed branch will

be connections to the service stubs that were provided as part of the previous approval that was done for the Wal-Mart Shopping Center project, they had provided water and sewer connections to this parcel for connections for this for a proposed development on that parcel and as well as storm water connections, you know, extending and stubbed into the site. So we have utility connections for all of our services that we need for the new branch already extended into the site. The proposed layout that we have here in front of you is proposing 73 parking spaces, 11 of those spaces would be reserved for employee parking with the remainder of 62 spaces for customer or additional employee parking, four handicapped stalls, the plan utilizes the two existing entrances that are there now, there's an existing curb cut but there's two existing entrances that service the existing branch right now, we went through and developed this plan to try and achieve the goals for the credit union while maintaining their existing branch open at the same time. And we looked at a couple different alternatives but came down to what you see now by slightly revising the existing entrance, the main entrance that comes into the site by creating a more direct approach to it, currently under the existing condition the existing credit union branch, the drive-thru is right up adjacent to the, against the road and as cars leave that drive-thru they get, and they get dumped right into that existing entrance-exit so what we have proposed is really took a hard look at the circulation within the site and took the proposed drive-thru and moved it to the opposite end of the site to one help alleviate the problems that you kind of have now out there with the drive-thru directly discharging into the entrance and exit and at the same time we took an approach that to try to divide the traffic internally on the site into two different areas, one keep the I'd say lobby traffic for the credit union into a main parking field directly in front of the main entrance to the building and then providing like a loop road type

of loop driveway type of access for the drive-up tellers so that way that the site has two distinctive traffic patterns, people that are going to use the teller or the drive-up tellers would utilize that separate access or I'm sorry separate driveway and it keeps that pedestrian interaction with the drive-thru traffic separated. Right now when the traffic backs up in the drive-thru there's parking spaces on either side of it, people have to contend with walking across those.

MR. MINUTA: Let me ask you a question, the access to the right of the lot that comes into the main portion right there that's a problem, I think we have all experienced that that's been a problem whether you change the pattern to the drive-thru or bring it out through the main parking area here, you still have that congestion there regardless of how you manipulate that, having the drive, the main access to the I believe it's the opening, that being the main opening I think would alleviate a lot of the cross contamination of traffic that's incurred at that intersection.

MR. KEATING: Yes, obviously there's a lot of things on this intersection that as it stands right now that presents some problems, one of the other problems that's out there is the dumpster pad is directly at the entrance to there, so looking to move that away from that entrance as well and like I was saying too to try and help that entrance function a little better to get the stacking right now it's like almost like a triangle out there.

MR. MINUTA: It's terrible no matter how you do it you still have the stacking problem for the internalization is good for the pedestrian traffic but the vehicular traffic--

MR. ARGENIO: I think number one I don't want to go too deep into this because this is early-early, number two,

I was going to say exactly what Joe said, I don't know if you were going to say that too when you exit the bank as it is now when you go to make a right turn you look to your left, you're looking over your left shoulder, that's not the greatest thing in the world, just take a look at the entrance and exits and I don't know what the answer is, maybe Joe is right, maybe that other entrance needs to be shifted to the right to line up with the stalls in front of the building, but I don't want to get that far into this because this is early-early-early. Neil, do you see any major things here?

MR. SCHLESINGER: What Joe brought up you're going out of the frying pan into the fire with the way you have it designed in the traffic so that has to be reviewed obviously I'd like to see some more detail, lighting, dumpster.

MR. KEATING: Sure.

MR. ARGENIO: A flag pole.

MR. VAN LEEUWEN: Absolutely.

MR. BABCOCK: With a flag.

MR. SCHLESINGER: I'm going to be concerned not me personally but you're going to want to keep the branch open, you've got a traffic problem there now you're going to construct this building, come up with a good plan on how you're going to do that.

MR. KEATING: As part of this application we put together a conceptual construction sequencing and phasing plan.

MR. SCHLESINGER: We can see your reverse side a lot better than you can see that unless you've got something underneath it.

MR. KEATING: We provided, I have with me tonight Scott Brietti (phonetic) from Turner Construction and Tony Romere (phonetic) from the credit union here as well, we did think about what exactly that when we had our workshop with the Town's designated engineer that was, would be of the things that we had before as we were developing this conceptual layout, really took that into consideration to make sure that you could actually obtain the two at the same time, it will be during that construction period obviously you're going to have some inconvenience during that time period, the goal is to try and alleviate the best you can. We have come up with a construction sequencing plan that would, you know, proposed as a temporary customer entrance also trying to keep the plan functioning that you could have enough parking during that timeframe as well, this particular sequencing plan I think we had it, we had around 41 spaces, parking spaces that we could create, we can create some temporary parking areas.

MR. ARGENIO: This is an easy build for somebody competent, this is not difficult, you need to give us a little more detail on the phasing necessary, right, we're early, we're going to need a little more detail on the phasing but I don't see brain surgery going on there, do you, Scott?

MR. ROMERE: No.

MR. KEATING: The goal is to just give everyone a level of comfort and a plan not just to go in there and have it constructed as to actually give them sequencing of how it should be done.

MR. ARGENIO: Certainly want to see that.

MR. VAN LEEUWEN: Can I ask you a question, that old building, that uglier than hell one, is that coming down?

MR. KEATING: Yes, obviously as part of that construction sequencing the building would be demolished in the third phase of that construction sequence.

MR. ARGENIO: That's why they're taking it down because it's ugly.

MR. SCHLESINGER: Has the Hudson Valley Credit Union purchased the new site?

MR. KEATING: Purchased property next to it.

MR. SCHLESINGER: Do they own the site they're on now?

MR. KEATING: Yes, they do own both parcels.

MR. SCHLESINGER: As of right now that building is going to be knocked down and--

MR. BABCOCK: That building has to come down for the parking lot for this building, the newer one.

MR. KEATING: Correct.

MR. SCHLESINGER: So that's got to go into your phasing also?

MR. KEATING: Absolutely.

MR. MINUTA: I see a lot of hip roofs on this as a prototype, if you will, don't know if the credit union has a prototype, I'd like to see it and what it will look like.

MR. KEATING: We have an architect, they couldn't be here tonight, to elaborate upon the conceptual design of the building, we did provide a, I can give you extra copies of this.

February 8, 2006

38

MR. ARGENIO: Give us color copies next time you come. I agree with Joe that building is in your face in the Town of New Windsor so it should be right, I don't want to beat this to death, you have some direction, we talked about a little more detail in the phasing, we talked about making sure it's architecturally attractive, that lane you're going to take a look at that, see if you can do something about that, shift it this way, whatever it is, but this motion of your left shoulder almost 180 degrees does not work. Mark, is there anything else we need to look at?

MR. EDSALL: No, this was just really to introduce the project to the board and we have gone over it at the workshop, they have a lot for work but now they have some direction.

MR. ARGENIO: Okay, good luck to you, sir.

MR. KEATING: Thank you very much.

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 02/07/2006

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 6-4  
NAME: HUDSON VALLEY FEDERAL CREDIT UNION PA2005-1224  
APPLICANT: HUDSON VALLEY FEDERAL CREDIT UNION

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
02/06/2006	REC. CK. #4687921746	CHG	750.00		
		TOTAL:	750.00	0.00	750.00

  
2/10/06

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#117-2006**

02/09/2006

Hudson Valley Federal Credit Union *#117-2006*

Received \$ 25.00 for Planning Board Fees, on 02/09/2006. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green  
Town Clerk





**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. MCGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
MARK J. EDSALL, P.E. (NY, NJ & PA)  
JAMES M. FARR, P.E. (NY & PA)

**MAIN OFFICE**  
33 AIRPORT CENTER DRIVE  
SUITE 202  
NEW WINDSOR, NEW YORK 12553

(845) 567-3100  
FAX: (845) 567-3232  
E-MAIL: MHENY@MHEPC.COM

**WRITER'S E-MAIL ADDRESS:**  
MJE@MHEPC.COM

**TOWN OF NEW WINDSOR**  
**PLANNING BOARD**  
**REVIEW COMMENTS**

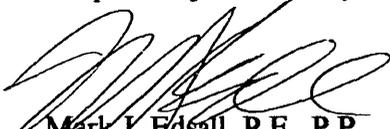
**PROJECT NAME:** HUDSON VALLEY FEDERAL CREDIT UNION  
**PROJECT LOCATION:** NYS ROUTE 300 (UNION AVE)  
SECTION 4 – BLOCK 1 – LOTS 3.1 & 5.11  
**PROJECT NUMBER:** 06-04  
**DATE:** 8 FEBRUARY 2006  
**DESCRIPTION:** THE APPLICATION PROPOSES CONSTRUCTION OF A NEW BANKING FACILITY ADJACENT TO THE EXISTING BANK OFF UNION AVENUE. THE PLANS SUBMITTED ARE VERY CONCEPTUAL IN NATURE.

1. The plans submitted are very conceptual in nature. The applicant is before the board to discuss the concept of the new facility, and the sequencing of the project.

I suggest the Board review the concept of their proposal, and the manner in which the applicant will accomplish the work, with the facility remaining in operation. The Board should provide general input to the applicant.

2. Once the applicant has some direction from the Board, it is anticipated they will pursue preparation of complete site plans. We will complete a review of the same, once they are available.

Respectfully Submitted,



Mark J. Edsall, P.E., P.P.  
Planning Board Engineer

MJE/st  
NW06-04-08Feb06.doc

**REGIONAL OFFICES**

• 507 BROAD STREET • MILFORD, PENNSYLVANIA 18337 • 570-296-2765 •  
• 540 BROADWAY • MONTICELLO, NEW YORK 12701 • 845-794-3399 •

P.B. # 06-04  
Application fee

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(845) 563-4611

**RECEIPT**  
**#108-2006**

02/07/2006

Hudson Valley Federal Credit Union

Received \$ 100.00 for Planning Board Fees, on 02/07/2006. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Deborah Green  
Town Clerk



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□ Regional Office  
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(570) 296-2765  
e-mail: mhapa@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

2003

TOWN/ VILLAGE OF: New Windsor P/B APP. NO.: \_\_\_\_\_

WORK SESSION DATE: Dec 7 2005 PROJECT: NEW  OLD \_\_\_\_\_

REAPPEARANCE AT W/S REQUESTED: \_\_\_\_\_ RESUB. REQ'D: \_\_\_\_\_

PROJECT NAME: HV Fed Audit

REPRESENTATIVES PRESENT: \_\_\_\_\_

MUNICIPAL REPS PRESENT: BLDG INSP. \_\_\_\_\_ FIRE INSP. \_\_\_\_\_  
ENGINEER  PLANNER \_\_\_\_\_  
P/B CHMN \_\_\_\_\_ OTHER \_\_\_\_\_

ITEMS DISCUSSED: \_\_\_\_\_

STND CHECKLIST:

PROJECT TYPE

Barry L. Castro  
463-3011  
X 2510

DRAINAGE \_\_\_\_\_  
DUMPSTER \_\_\_\_\_  
SCREENING \_\_\_\_\_  
LIGHTING \_\_\_\_\_  
(Streetlights)  
LANDSCAPING \_\_\_\_\_  
BLACKTOP \_\_\_\_\_  
ROADWAYS \_\_\_\_\_  
APPROVAL BOX \_\_\_\_\_

SITE PLAN  
SPEC PERMIT  
L L CHG.  
SUBDIVISION  
OTHER

Rebuild  
Jan  
mje

PROJECT STATUS:  
ZBA Referral: \_\_\_\_\_ Y \_\_\_\_\_ N

Ready For Meeting \_\_\_\_\_ Y \_\_\_\_\_ N

Recommended Mtg Date \_\_\_\_\_



**McGOEY, HAUSER and EDSALL  
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e-mail: mhpa@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

TOWN / VILLAGE OF: New Windsor P/B APP. NO.: \_\_\_\_\_

WORK SESSION DATE: 15 MAR 06 PROJECT: NEW OLD \_\_\_\_\_

REAPPEARANCE AT W/S REQUESTED: \_\_\_\_\_ RESUB. REQ'D: \_\_\_\_\_

PROJECT NAME: H.V. Fed Credit Union

REPRESENTATIVES PRESENT: \_\_\_\_\_

MUNICIPAL REPS PRESENT: BLDG INSP. \_\_\_\_\_  
ENGINEER X FIRE INSP. \_\_\_\_\_  
P/B CHMN \_\_\_\_\_ PLANNER \_\_\_\_\_  
OTHER \_\_\_\_\_

ITEMS DISCUSSED: (Walmart Site)

disc ← traffic  
pharmy  
want to come back to  
P/A or get answer  
on traffic + pharmy.

STND CHECKLIST: PROJECT TYPE  
DRAINAGE \_\_\_\_\_ SITE PLAN  
DUMPSTER \_\_\_\_\_ SPEC PERMIT  
SCREENING \_\_\_\_\_ L L CHG.  
LIGHTING \_\_\_\_\_ SUBDIVISION  
(Streetlights) LANDSCAPING \_\_\_\_\_ OTHER  
BLACKTOP \_\_\_\_\_  
ROADWAYS \_\_\_\_\_  
APPROVAL BOX \_\_\_\_\_

PROJECT STATUS:  
ZBA Referral: \_\_\_\_\_ Y \_\_\_\_\_ N  
Ready For Meeting \_\_\_\_\_ Y \_\_\_\_\_ N  
Recommended Mtg Date \_\_\_\_\_



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

### PROJECT REVIEW SHEET

TO: **E 911 COORDINATOR**

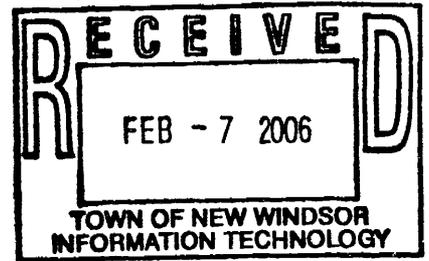
P.B. FILE #06-04      DATE RECEIVED: 02-06-06      TAX MAP #4-1-3.1 & 5.11

PLEASE RETURN COMPLETED FORM TO MYRA  
BY: A.S.A.P. TO BE ON AGENDA FOR THE 2-8-06 PLANNING BOARD  
MEETING.

THE MAPS AND/OR PLANS FOR:

HUDSON VALLEY FEDERAL CREDIT UNION

Applicant or Project Name



SITE PLAN XXX, SUBDIVISION \_\_\_\_\_, LOT LINE CHANGE \_\_\_\_\_,  
SPECIAL PERMIT \_\_\_\_\_

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DISAPPROVED:

Notes: *NOT Clear on Work or Additional BIDS  
being Added to site - E911 numbers will  
be assigned once a better site plan is  
submitted + new BIDS can be identified  
with distances.*

Signature: *[Signature]*      2/9/06  
Reviewed by      date

**FIRE INSPECTOR'S  
INTER-OFFICE CORRESPONDENCE**

**TO:** Genaro Argenio Sr., Planning Board Chairman

**FROM:** Francis Bedetti, Asst. Fire Inspector

**SUBJECT:** PB-06-04  
Hudson Valley Fed. Credit Union  
SBL: 4-1-3.1 & 5.11

**DATE:** February 10, 2006

**Fire Prevention Reference Number: FPS-06-003**

A review of the above referenced site plan has been conducted and are found to be unacceptable for the following reason:

- 1) **Fire lanes to be 30ft. ( Town Code 280-15B)  
Areas on the north side and east side of proposed  
building. Curb bulk heads to be 30 ft. into designated fire  
lane areas.**



# Town of New Windsor

55 Union Avenue  
New Windsor, New York 12553  
Telephone: (845) 563-4615  
Fax: (845) 563-4693

## OFFICE OF THE PLANNING BOARD

### PROJECT REVIEW SHEET

TO: HIGHWAY DEPARTMENT

P.B. FILE #06-04 DATE RECEIVED: 02-06-06 TAX MAP #4-1-3.1 & 5.11

PLEASE RETURN COMPLETED FORM TO MYRA  
BY: A.S.A.P. TO BE ON AGENDA FOR THE 2-8-06 PLANNING BOARD  
MEETING.

RECEIVED

FEB 08 2006

N.W. HIGHWAY DEPT.

THE MAPS AND/OR PLANS FOR:

HUDSON VALLEY FEDERAL CREDIT UNION

Applicant or Project Name

SITE PLAN XXX, SUBDIVISION \_\_\_\_\_, LOT LINE CHANGE \_\_\_\_\_,  
SPECIAL PERMIT \_\_\_\_\_

HAVE BEEN REVIEWED BY THE UNDERSIGNED AND ARE:

APPROVED:

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DISAPPROVED:

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: [Signature] 2/10/06  
Reviewed by \_\_\_\_\_ date



**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E. (NY & PA)  
WILLIAM J. HAUSER, P.E. (NY & NJ)  
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e-mail: mhapa@mhepc.com

Writer's E-mail Address:  
mje@mhepc.com

**PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE**

(100-)

TOWN/VILLAGE OF: New Windsor P/B APP. NO.: \_\_\_\_\_

WORK SESSION DATE: 1 Feb 06 PROJECT: NEW  OLD \_\_\_\_\_

REAPPEARANCE AT W/S REQUESTED: Yes RESUB. REQ'D: Full later

PROJECT NAME: Hudson Valley Fed Credit Union

REPRESENTATIVES PRESENT: Rajiv (Chen)

MUNICIPAL REPS PRESENT:

BLDG INSP.	_____	FIRE INSP.	_____
ENGINEER	<input checked="" type="checkbox"/>	PLANNER	_____
P/B CHMN	_____	OTHER	_____

ITEMS DISCUSSED:

per disc

with 32

site

drive curb cuts / locs

DOT/DCDP

STND CHECKLIST:

DRAINAGE	_____	<u>PROJECT TYPE</u>
DUMPSTER	_____	<u>SITE PLAN</u>
SCREENING	_____	SPEC PERMIT
LIGHTING	_____	L I. CHG.
(Streetlights)	_____	SUBDIVISION
LANDSCAPING	_____	OTHER
BLACKTOP	_____	
ROADWAYS	_____	
APPROVAL BOX	_____	

PROJECT STATUS:

ZBA Referral: \_\_\_\_\_ Y \_\_\_\_\_ N

Ready For Meeting \_\_\_\_\_ Y \_\_\_\_\_ N

Recommended Mtg Date \_\_\_\_\_

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

Telephone: (845) 563-4615

Fax: (845) 563-4695

## PLANNING BOARD APPLICATION

### TYPE OF APPLICATION (check appropriate item):

Subdivision \_\_\_\_\_ Lot Line Change \_\_\_\_\_ Site Plan  Special Permit \_\_\_\_\_

Tax Map Designation: Sec. 4 Block 1 Lot 3.1 & 5.11

**BUILDING DEPARTMENT PERMIT NUMBER** PA 2005-1224

1. Name of Project Hudson Valley Federal Credit Union 953 Union Avenue

2. Owner of Record Hudson Valley Federal Credit Union Phone 846-463-3011

Address: 159 Barnegat Road Poughkeepsie New York 12601  
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Hudson Valley Federal Credit Union Phone 846-463-3011

Address: 159 Barnegat Road Poughkeepsie New York 12601  
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan The Chazen Companies Phone 518-273-0055

Address: 547 River Street Troy New York 12180  
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney Dale Lois (Whitman, Breed, Abbott, and Morgan) Phone 203-869-3800

Address 100 Field Point Road Greenwich Connecticut 06830  
(Street Name & Number) (Post Office) (State) (Zip)

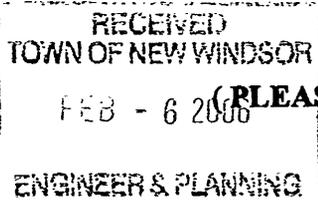
6. Person to be notified to appear at Planning Board meeting:

Roger Keating 518-273-0055 518-273-8391  
(Name) (Phone) (fax)

7. Project Location: On the Northwest side of NYS Route 300 (Union Avenue)  
(Direction) (Street)

8. Project Data: Acreage 2.02 Zone \_\_\_\_\_ School Dist. Newburgh City School District  
(331100)

PAGE 1 OF 2



(PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

06-04

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes \_\_\_\_\_ No X

\*This information can be verified in the Assessor's Office.

\*If you answer yes to question 9, please complete the attached Agricultural Data Statement.

10. Detailed description of Project: (Use, Size, Number of Lots, etc.) Construction of a new 6700 sf +/- Credit Union Branch

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes \_\_\_ no X

12. Has a Special Permit previously been granted for this property? yes \_\_\_ no X

IF THIS APPLICATION IS SIGNED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

SWORN BEFORE ME THIS:

24<sup>th</sup> DAY OF January 2006

[Signature]  
(OWNER'S SIGNATURE)

\_\_\_\_\_  
(AGENT'S SIGNATURE)

Please Print Agent's Name as Signed

[Signature]  
NOTARY PUBLIC

\*\*\*\*\*DEBRIK B. WYNKOOP\*\*\*\*\*  
Notary Public, State of New York

TOWN USE ONLY:  
TOWN OF NEW WINDSOR  
Feb - 6 2006  
DATE APPLICATION RECEIVED  
ENGINEER & PLANNING

Residing in County of Orange  
No. 4958156  
Term Expires on October 30, 2009

06-04  
APPLICATION NUMBER

**TOWN OF NEW WINDSOR PLANNING BOARD**

**SITE PLAN CHECKLIST**

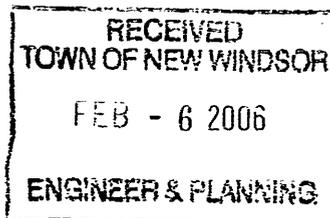
**ITEM**

- 1.   X   Site Plan Title
- 2.   X   Provide 4" wide X 2" high box (**IN THE LOWEST RIGHT CORNER OF THE PLAN**) for use by Planning Board in affixing Stamp of Approval. (**ON ALL PAGES OF SITE PLAN**).

**SAMPLE:**



- 3.   X   Applicant's Name(s)
- 4.   X   Applicant's Address
- 5.   X   Site Plan Preparer's Name
- 6.   X   Site Plan Preparer's Address
- 7.   X   Drawing Date
- 8.   X   Revision Dates
- 9.   X   Area Map Inset and Site Designation
- 10.   TBD   Properties within 500' of site
- 11.   TBD   Property Owners (Item #10)
- 12.   X   Plot Plan
- 13.   X   Scale (1" = 50' or lesser)
- 14.   X   Metes and Bounds
- 15.   X   Zoning Designation
- 16.   X   North Arrow
- 17.   X   Abutting Property Owners
- 18.   X   Existing Building Locations
- 19.   X   Existing Paved Areas
- 20.   X   Existing Vegetation
- 21.   X   Existing Access & Egress



**PROPOSED IMPROVEMENTS**

- 22. TBD Landscaping
- 23. TBD Exterior Lighting
- 24. TBD Screening
- 25. X Access & Egress
- 26. X Parking Areas
- 27. X Loading Areas
- 28. TBD Paving Details (Items 25 - 27)
- 29. X Curbing Locations
- 30. TBD Curbing through section
- 31. TBD Catch Basin Locations
- 32. TBD Catch Basin Through Section
- 33. X Storm Drainage
- 34. X Refuse Storage
- 35. TBD Other Outdoor Storage
- 36. X Water Supply
- 37. NA Sanitary Disposal System
- 38. TBD Fire Hydrants
- 39. X Building Locations
- 40. X Building Setbacks
- 41. X Front Building Elevations
- 42. X Divisions of Occupancy
- 43. TBD Sign Details
- 44. X Bulk Table Inset
- 45. X Property Area (Nearest 100 sq. ft.)
- 46. X Building Coverage (sq. ft.)
- 47. X Building Coverage (% of total area)
- 48. X Pavement Coverage (sq. ft.)
- 49. X Pavement Coverage (% of total area)
- 50. X Open Space (sq. ft.)
- 51. X Open Space (% of total area)
- 52. X No. of parking spaces proposed
- 53. X No. of parking spaces required

RECEIVED  
TOWN OF NEW WINDSOR  
FEB - 6 2006  
ENGINEER & PLANNING

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, AIS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

- 54. \_\_\_\_\_ Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
- 55. \_\_\_\_\_ A disclosure Statement, in the form set below, must be inscribed on all site plan maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

APrior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leasee shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

**PREPARER'S ACKNOWLEDGMENT:**

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY: *[Signature]* 1/20/06  
Licensed Professional Date

⌘ ⌘ ⌘ ⌘ ⌘ ⌘ **PLEASE NOTE:** ⌘ ⌘ ⌘ ⌘ ⌘ ⌘

**THE APPLICANT OR THEIR REPRESENTATIVE IS RESPONSIBLE TO KEEP TRACK OF ALL EXPIRATION DATES FOR ANY AND ALL APPROVALS GRANTED TO A PROJECT. EXTENSIONS MUST BE APPLIED FOR PRIOR TO EXPIRATION DATE.**

TOWN OF NEW WINDSOR  
Feb - 6 2006  
ENGINEER & PLANNING

PROJECT I.D. NUMBER

817.21

SEQR

Appendix C

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I—PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR Hudson Valley Federal Credit Union
2. PROJECT NAME Hudson Valley Federal Credit Union 953 Union Ave
3. PROJECT LOCATION: Municipality Town of New Windsor County Orange
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 953 Union Avenue (NYS Route 300) at the intersection of Union Avenue and the entrance to the Walmart Plaza
5. IS PROPOSED ACTION: [X] New [ ] Expansion [ ] Modification/alteration
6. DESCRIBE PROJECT BRIEFLY: Construction of a new 6,700sf +/- Credit Union branch and associated parking
7. AMOUNT OF LAND AFFECTED: Initially 2.02 acres Ultimately 2.02 acres
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? [X] Yes [ ] No If No, describe briefly
9. WHAT'S PRESENT LAND USE IN VICINITY OF PROJECT? [ ] Residential [ ] Industrial [X] Commercial [ ] Agriculture [ ] Park/Forest/Open space [ ] Other Describe:
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? [X] Yes [ ] No If yes, list agency(a) and permit/approvals Town of New Windsor
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? [X] Yes [ ] No If yes, list agency name and permit/approval Town of New Windsor
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? [ ] Yes [X] No

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name:

Date:

Signature:

RECEIVED TOWN OF NEW WINDSOR FEB - 5 2006 ENGINEERS PLANNING

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

**PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

**A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12?** If yes, coordinate the review process and use the FULL EAF.  
 Yes  No

**B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6?** If No, a negative declaration may be superseded by another involved agency.  
 Yes  No

**C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)**

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

**D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?**  
 Yes  No If Yes, explain briefly

**PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide on attachments as necessary, the reasons supporting this determination:

\_\_\_\_\_  
 Name of Lead Agency

\_\_\_\_\_  
 Print or Type Name of Responsible Officer in Lead Agency Title of Responsible Officer

\_\_\_\_\_  
 Signature of Responsible Officer in Lead Agency Signature of Preparer (If different from responsible officer)

\_\_\_\_\_  
 Date

RECEIVED  
 TOWN OF NEW WINESBORO  
 ENGINEER & PLANNERS

00-04

**AGENT/OWNER PROXY STATEMENT**  
*(for professional representation)*

for submittal to the:  
TOWN OF NEW WINDSOR PLANNING BOARD

Hudson Valley Federal Credit Union, deposes and says that he resides  
(OWNER)

at 159 Barnegat Road in the County of Dutchess  
(OWNER'S ADDRESS)

and State of New York and that he is the owner of property tax map

(Sec. 4 Block 1 Lot 3.1)

designation number (Sec. 4 Block 1 Lot 5.11) which is the premises described in  
the foregoing application and that he designates:

R.W. Larson Associates, P.C. 3 Farm Colony Drive Warren, PA 16365  
(Agent Name & Address)

(Name & Address of Professional Representative of Owner and/or Agent)

as his agent to make the attached application.

**THIS DESIGNATION SHALL BE EFFECTIVE UNTIL WITHDRAWN BY THE OWNER OR  
UNTIL TWO (2) YEARS FROM THE DATE AGREED TO, WHICH EVER IS SOONER.**

SWORN BEFORE ME THIS:

\*\*

[Signature]  
Owner's Signature (MUST BE NOTARIZED)

24<sup>th</sup> DAY OF January 2006

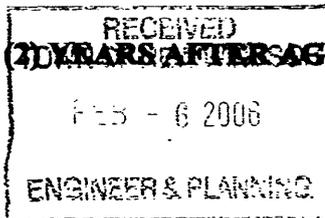
Agent's Signature (If Applicable)

[Signature]  
NOTARY PUBLIC

Professional Representative's Signature

**\*\* PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

DERRIK R. WYNKOOP  
Notary Public, State of New York  
Residing in County of Orange  
No. 4958156  
Term Expires on October 30, 2009



06-04

**RETAKE OF  
PREVIOUS  
DOCUMENT**

**AGENT/OWNER PROXY STATEMENT**  
*(for professional representation)*

for submittal to the:  
TOWN OF NEW WINDSOR PLANNING BOARD

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SWORN BEFORE ME THIS:

\*\*

[Signature]  
Owner's Signature (MUST BE NOTARIZED)

24<sup>th</sup> DAY OF January 2006

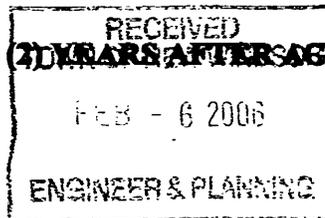
Agent's Signature (If Applicable)

[Signature]  
NOTARY PUBLIC

Professional Representative's Signature

**\*\* PLEASE NOTE: ONLY OWNER'S SIGNATURE MUST BE NOTARIZED.**

DERRIK R. WYNKOOP  
THIS PROXY SHALL BE VOID TWO (2) YEARS AFTER AGREED TO BY THE OWNER  
Residing in County of Orange  
No. 4958156  
Term Expires on October 30, 2009



06-04



Lands Now or Formerly of  
**WAL-MART REAL ESTATE BUSINESS TRUST**  
Deed Book 11640 Page 0404  
Section 4 Block 1 Lot 5.22

Lands Now or Formerly of  
**WAL-MART REAL ESTATE BUSINESS TRUST**  
Deed Book 11038 Page 0075  
Section 4 Block 1 Lot 1.1  
Lot No. 2 Filled Map # 120-96

**NOTES**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SUBJECT TO ALL EASEMENTS OF RECORD.

SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON SO NOTED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS, OR SUBSEQUENT OWNERS.

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A COPY OF THIS DOCUMENT WITHOUT A PROPER APPLICATION OF THE SURVEYOR'S EMBOSSED SEAL SHOULD BE ASSUMED TO BE AN UNAUTHORIZED COPY.

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SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SUBSURFACE STRUCTURES NOT VISIBLE OR READILY APPARENT ARE NOT SHOWN AND THEIR LOCATION AND EXTENT ARE NOT CERTIFIED.

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.

TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY COMPLETED NOVEMBER 16, 2005, BY C.E.L.S. DATUM NAVD-88, 1 FOOT CONTOUR INTERVAL.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

REFERENCE IS MADE TO A TITLE INSURANCE POLICY, TITLE NO. 3704-00762, BEARING THE EFFECTIVE DATE OF SEPTEMBER 30, 2004, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, ACCORDING TO SCHEDULE B OF SAID POLICY, THE PROPERTY IS SUBJECT TO THE FOLLOWING MATTERS OF RECORD:

ITEM 2. UTILITY EASEMENTS TO CENTRAL HUDSON GAS AND ELECTRIC CORPORATION RECORDED IN LIBER 693 AT PAGE 336 AND LIBER 724 AT PAGE 126. (CANNOT BE PLOTTED)

ITEM 3. UTILITY EASEMENTS TO CENTRAL HUDSON GAS AND ELECTRIC CORPORATION AND NEW YORK TELEPHONE COMPANY RECORDED IN LIBER 728 AT PAGE 39, LIBER 1267 AT PAGE 174, LIBER 1267 AT PAGE 176, LIBER 1281 AT PAGE 37, LIBER 1281 AT PAGE 39, LIBER 1498 AT PAGE 385 AND LIBER 1555 AT PAGE 540 (ALL CANNOT BE PLOTTED).

THE PROPERTY IS SUBJECT TO EASEMENTS, COVENANTS AND RESTRICTIONS SET FORTH IN THE DOCUMENT RECORDED IN LIBER 11739 AT PAGE 391.

Lands Now or Formerly of  
**WAL-MART REAL ESTATE BUSINESS TRUST**  
Deed Book 11038 Page 0075  
Section 95 Block 1 Lot 39.21

CROSS ACCESS EASEMENT  
Liber 11739 Page 371

**FILED MAP REFERENCE**

(1) Map entitled "SUBDIVISION FOR WAL-MART STORES, INC" Filed in the Office of the Orange County Clerk June 26, 1996 as Map # 120-96.

(2) Map entitled "ALTA/ACSM Land Title Survey Proposed Wal-Mart Retail Facility Expansion LOT LINE CHANGE" Filed in the Office of the Orange County Clerk December 22, 2004 as Map #1005-04.

**DEED REFERENCE**

WAL-MART STORES, INC TO HUDSON VALLEY FEDERAL CREDIT UNION  
Liber 4415 Page 8

WAL-MART STORES EAST, LP TO HUDSON VALLEY FEDERAL CREDIT UNION  
Book 11646 Page 1232

**TAX PARCEL NUMBER**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK  
Section 4 Block 1 Lot 3.1 and  
Section 4 Block 1 Lot 5.11

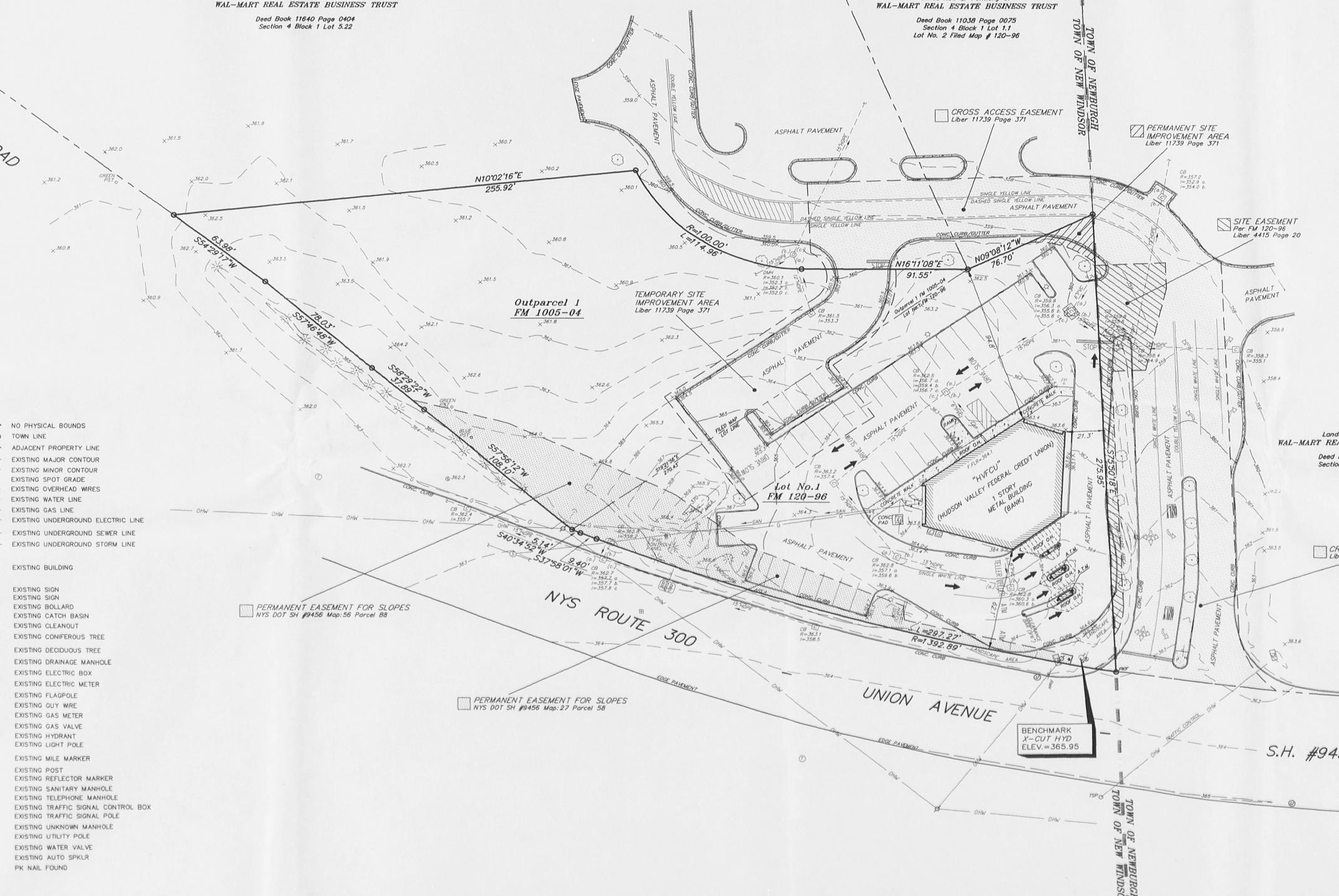
**TOTAL AREA**

88,054 SF  
2.02 AC.

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JUN 13 2007  
By: [Signature] Chairman  
By: [Signature] Secretary

- LEGEND:**
- NO PHYSICAL BOUNDS
  - TOWN LINE
  - ADJACENT PROPERTY LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EXISTING SPOT GRADE
  - EXISTING OVERHEAD WIRES
  - EXISTING WATER LINE
  - EXISTING GAS LINE
  - EXISTING UNDERGROUND ELECTRIC LINE
  - EXISTING UNDERGROUND SEWER LINE
  - EXISTING UNDERGROUND STORM LINE
  - EXISTING BUILDING
  - EXISTING SIGN
  - EXISTING SIGN
  - EXISTING BOLLARD
  - EXISTING CATCH BASIN
  - EXISTING CLEANOUT
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE
  - EXISTING DRAINAGE MANHOLE
  - EXISTING ELECTRIC BOX
  - EXISTING ELECTRIC METER
  - EXISTING FLAGPOLE
  - EXISTING GUY WIRE
  - EXISTING GAS METER
  - EXISTING GAS VALVE
  - EXISTING HYDRANT
  - EXISTING LIGHT POLE
  - EXISTING MILE MARKER
  - EXISTING POST
  - EXISTING REFLECTOR MARKER
  - EXISTING SANITARY MANHOLE
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TRAFFIC SIGNAL CONTROL BOX
  - EXISTING TRAFFIC SIGNAL POLE
  - EXISTING UNKNOWN MANHOLE
  - EXISTING UTILITY POLE
  - EXISTING WATER VALVE
  - EXISTING AUTO SPKLR
  - PK NAIL FOUND



PERMANENT EASEMENT FOR SLOPES  
NYS DOT SH #9456 Map:56 Parcel 88

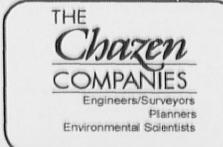
PERMANENT EASEMENT FOR SLOPES  
NYS DOT SH #9456 Map:27 Parcel 58

BENCHMARK  
X-CUT HYD  
ELEV.=365.95

S.H. #9456



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**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

Dutchess County Office: 21 Fox Street, Poughkeepsie, New York 12601, Phone: (845) 454-3880  
 Capital District Office: 247 River Street, Troy, New York 12180, Phone: (518) 273-0055  
 Orange County Office: 358 Madison Avenue, Newburgh, New York 12550, Phone: (845) 567-1133  
 North Country Office: 100 Stan Street, Glens Falls, New York 12801, Phone: (518) 812-0513

rev.	date	description

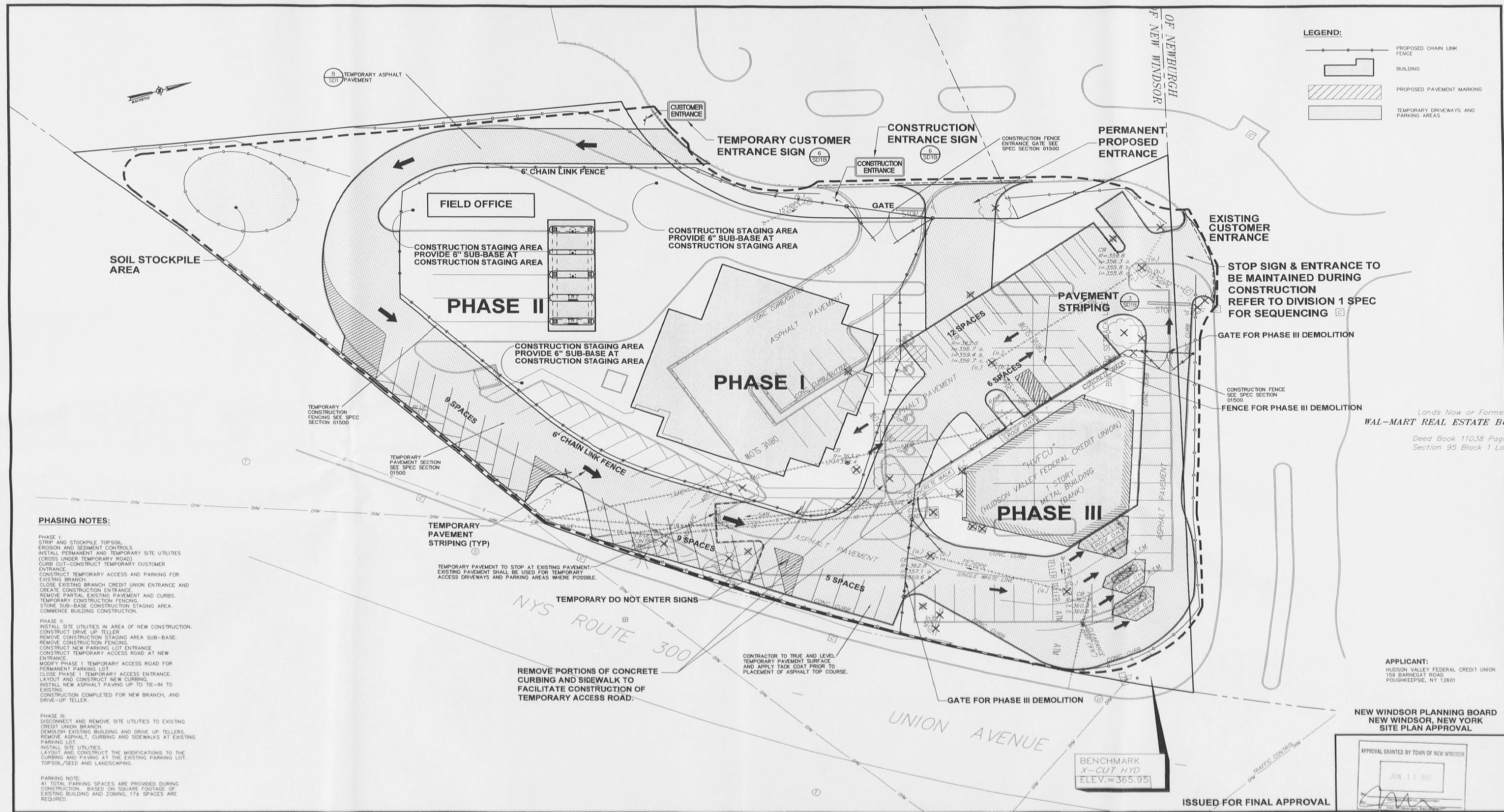
**HUDSON VALLEY FEDERAL CREDIT UNION**

**EXISTING CONDITIONS**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn CJS	checked JEM
date 12/07/05	scale 1"=30'
project no. 10512.00	sheet no. SP1





**LEGEND:**

- PROPOSED CHAIN LINK FENCE
- BUILDING
- PROPOSED PAVEMENT MARKING
- TEMPORARY DRIVEWAYS AND PARKING AREAS

**PHASING NOTES:**

**PHASE I:**  
 STRIP AND STOCKPILE TOPSOIL.  
 EROSION AND SEDIMENT CONTROLS.  
 INSTALL PERMANENT AND TEMPORARY SITE UTILITIES (CROSS UNDER TEMPORARY ROAD).  
 CURB CUT—CONSTRUCT TEMPORARY CUSTOMER ENTRANCE.  
 CONSTRUCT TEMPORARY ACCESS AND PARKING FOR EXISTING BRANCH.  
 CLOSE EXISTING BRANCH CREDIT UNION ENTRANCE AND CREATE CONSTRUCTION ENTRANCE.  
 REMOVE PARTIAL EXISTING PAVEMENT AND CURBS.  
 TEMPORARY CONSTRUCTION FENCING.  
 STONE SUB-BASE CONSTRUCTION STAGING AREA.  
 COMMENCE BUILDING CONSTRUCTION.

**PHASE II:**  
 INSTALL SITE UTILITIES IN AREA OF NEW CONSTRUCTION.  
 CONSTRUCT DRIVE UP TELLER.  
 REMOVE CONSTRUCTION STAGING AREA SUB-BASE.  
 REMOVE CONSTRUCTION FENCING.  
 CONSTRUCT NEW PARKING LOT ENTRANCE.  
 CONSTRUCT TEMPORARY ACCESS ROAD AT NEW ENTRANCE.  
 MODIFY PHASE I TEMPORARY ACCESS ROAD FOR PERMANENT PARKING LOT.  
 CLOSE PHASE I TEMPORARY ACCESS ENTRANCE.  
 LAYOUT AND CONSTRUCT NEW CURBING.  
 INSTALL NEW ASPHALT PAVING UP TO TIE-IN TO EXISTING.  
 CONSTRUCTION COMPLETED FOR NEW BRANCH, AND DRIVE-UP TELLER.

**PHASE III:**  
 DISCONNECT AND REMOVE SITE UTILITIES TO EXISTING CREDIT UNION BRANCH.  
 DEMOLISH EXISTING BUILDING AND DRIVE UP TELLERS.  
 REMOVE ASPHALT, CURBING AND SIDEWALKS AT EXISTING PARKING LOT.  
 INSTALL SITE UTILITIES.  
 LAYOUT AND CONSTRUCT THE MODIFICATIONS TO THE CURBING AND PAVING AT THE EXISTING PARKING LOT.  
 TOPSOIL/SEED AND LANDSCAPING.

**PARKING NOTE:**  
 41 TOTAL PARKING SPACES ARE PROVIDED DURING CONSTRUCTION, BASED ON SQUARE FOOTAGE OF EXISTING BUILDING AND ZONING, 17± SPACES ARE REQUIRED.

STOP SIGN & ENTRANCE TO BE MAINTAINED DURING CONSTRUCTION REFER TO DIVISION 1 SPEC FOR SEQUENCING

GATE FOR PHASE III DEMOLITION  
 CONSTRUCTION FENCE SEE SPEC SECTION 01500  
 FENCE FOR PHASE III DEMOLITION

Lands Now or Formerly  
**WAL-MART REAL ESTATE**  
 Deed Book 11038 Page  
 Section 95 Block 1 Lot

**APPLICANT:**  
 HUDSON VALLEY FEDERAL CREDIT UNION  
 159 BARNEGAT ROAD  
 FOUCHKEEPSIE, NY 12601

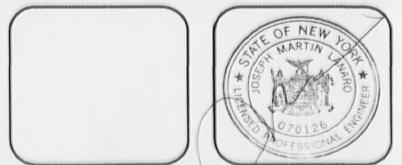
**NEW WINDSOR PLANNING BOARD  
 NEW WINDSOR, NEW YORK  
 SITE PLAN APPROVAL**

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JUN 13 2007

By: [Signature]

ISSUED FOR FINAL APPROVAL



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1 2 3  
 ORIGINAL SCALE IN INCHES

**THE Chazen COMPANIES**  
 Engineers/Surveyors  
 Planners  
 Environmental Scientists

**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

Dutchess County Office: 21 Fox Street, Poughkeepsie, New York 12601, Phone: (845) 454-3980  
 Capital District Office: 647 River Street, Troy, New York 12180, Phone: (518) 273-0055  
 Orange County Office: 306 Meadow Avenue, Newburgh, New York 12550, Phone: (845) 567-1133  
 North Country Office: 100 Glen Street, Glens Falls, New York 12031, Phone: (518) 812-0513

rev.	date	description
6	4/04/07	ISSUED TO TURNER CONSTRUCTION
5	10/06/06	ISSUED FOR FINAL APPROVAL
4	8/02/06	REVISED PER WORKSHOP COMMENTS
3	7/31/06	REVISED PER LANDSCAPING COMMENTS
2	6/8/06	REVISED PER TOWN COMMENTS 5/24/06 FOR FINAL
1	5/16/06	REVISED PER TOWN COMMENTS FOR FINAL

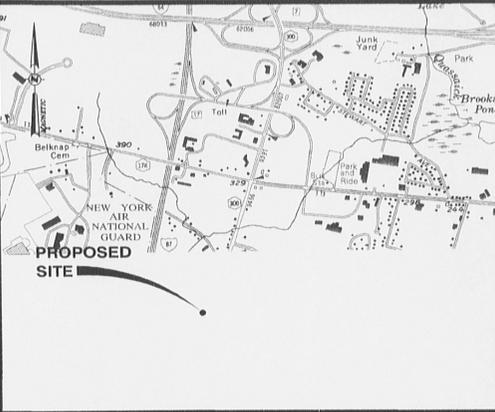
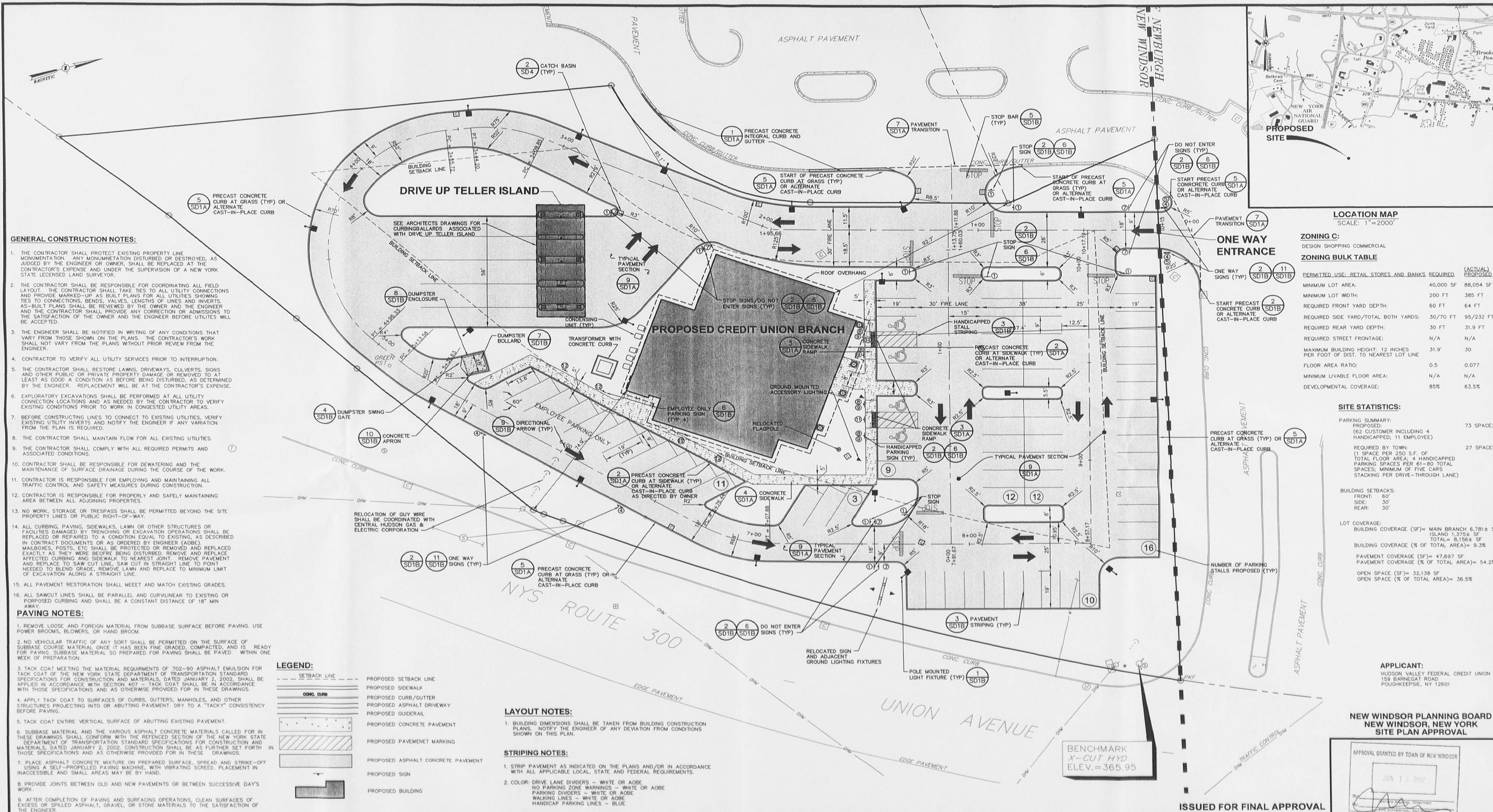
HUDSON VALLEY FEDERAL CREDIT UNION

**PROPOSED BRANCH -  
 NYS ROUTE 300  
 GENERAL PHASING PLAN**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn: CAM  
 checked: JML  
 date: 12/7/05  
 scale: 1"=20'  
 project no.: 10512.00  
 sheet no.: **SP1B**

Drawing Name: S:\10506-10512\10512.00\NEW WINDSOR\DWG\SP1B\_10512.00\_Constr\_Phasing.dwg  
 Xref's Attached: 3\_xref.dwg, 10512.00\_XTB\_12436\_v\_Base\_10512.00  
 Date Printed: Apr 24, 2007, 6:53am



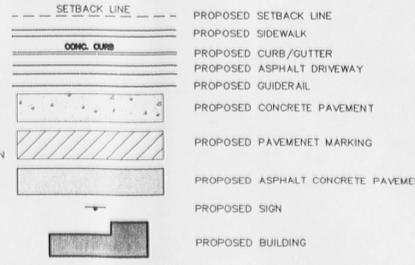
**GENERAL CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE CARE TO ALL UTILITIES CONNECTIONS AND PROVIDE MARKED-UP AS BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADMISSIONS TO THE SATISFACTION OF THE OWNER AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW FROM THE ENGINEER.
4. CONTRACTOR TO VERIFY ALL UTILITY SERVICES PRIOR TO INTERRUPTION.
5. THE CONTRACTOR SHALL RESTORE LAWS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGE OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED, AS DETERMINED BY THE ENGINEER. REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
6. EXPLORATORY EXCAVATIONS SHALL BE PERFORMED AT ALL UTILITY CONNECTION LOCATIONS AND AS NEEDED BY THE CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO WORK IN CONGESTED UTILITY AREAS.
7. BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES, VERIFY EXISTING UTILITY INVERTS AND NOTIFY THE ENGINEER IF ANY VARIATION FROM THE PLAN IS REQUIRED.
8. THE CONTRACTOR SHALL MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
9. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK.
11. CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
12. CONTRACTOR IS RESPONSIBLE FOR PROPERLY AND SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
13. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY.
14. ALL CURBING, PAVING, SIDEWALKS, LAWN OR OTHER STRUCTURES OR FACILITIES DAMAGED BY TRENCHING OR EXCAVATION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (AOBE). MAILBOXES, POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. REMOVE AND REPLACE AFFECTED CURBING AND SIDEWALK TO NEAREST JOINT. REMOVE PAVEMENT AND REPLACE TO SAW CUT LINE, SAW CUT IN STRAIGHT LINE TO POINT NEEDED TO BLEND GRADE, REMOVE LAWN AND REPLACE TO MINIMUM LIMIT OF EXCAVATION ALONG A STRAIGHT LINE.
15. ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
16. ALL SAWCUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 18" MIN AWAY.

**PAVING NOTES:**

1. REMOVE LOOSE AND FOREIGN MATERIAL FROM SUBBASE SURFACE BEFORE PAVING. USE POWER BROOMS, BLOWERS, OR HAND BROOM.
2. NO VEHICULAR TRAFFIC OF ANY SORT SHALL BE PERMITTED ON THE SURFACE OF SUBBASE COURSE MATERIAL ONCE IT HAS BEEN FINISHED, COMPACTED, AND IS READY FOR PAVING. SUBBASE MATERIAL SO PREPARED FOR PAVING SHALL BE PAVED WITHIN ONE WEEK OF PREPARATION.
3. TACK COAT MEETING THE MATERIAL REQUIREMENTS OF 702-90 ASPHALT EMULSION FOR TACK COAT OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002, SHALL BE APPLIED IN ACCORDANCE WITH SECTION 407 - TACK COAT SHALL BE IN ACCORDANCE WITH THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
4. APPLY TACK COAT TO SURFACES OF CURBS, GUTTERS, MANHOLES, AND OTHER STRUCTURES PROJECTING INTO OR ABUTTING PAVEMENT, DRY TO A "TACKY" CONSISTENCY BEFORE PAVING.
5. TACK COAT ENTIRE VERTICAL SURFACE OF ABUTTING EXISTING PAVEMENT.
6. SUBBASE MATERIAL AND THE VARIOUS ASPHALT CONCRETE MATERIALS CALLED FOR IN THESE DRAWINGS SHALL CONFORM WITH THE REFERENCED SECTION OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 2, 2002. CONSTRUCTION SHALL BE AS FURTHER SET FORTH IN THOSE SPECIFICATIONS AND AS OTHERWISE PROVIDED FOR IN THESE DRAWINGS.
7. PLACE ASPHALT CONCRETE MIXTURE ON PREPARED SURFACE, SPREAD AND STRIKE-OFF USING A SELF-PROPELLED PAVING MACHINE, WITH VIBRATING SCREED. PLACEMENT IN INACCESSIBLE AND SMALL AREAS MAY BE BY HAND.
8. PROVIDE JOINTS BETWEEN OLD AND NEW PAVEMENTS OR BETWEEN SUCCESSIVE DAYS' WORK.
9. AFTER COMPLETION OF PAVING AND SURFACING OPERATIONS, CLEAN SURFACES OF EXCESS OR SPILLED ASPHALT, GRAVEL, OR STONE MATERIALS TO THE SATISFACTION OF THE ENGINEER.

**LEGEND:**



**LAYOUT NOTES:**

1. BUILDING DIMENSIONS SHALL BE TAKEN FROM BUILDING CONSTRUCTION PLANS. NOTIFY THE ENGINEER OF ANY DEVIATION FROM CONDITIONS SHOWN ON THIS PLAN.

**STRIPING NOTES:**

1. STRIP PAVEMENT AS INDICATED ON THE PLANS AND/OR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. COLOR: DRIVE LANE DIVIDERS - WHITE OR AOB; NO PARKING ZONE WARNINGS - WHITE OR AOB; PARKING DIVIDERS - WHITE OR AOB; WALKING LINES - WHITE OR AOB; HANDICAP PARKING LINES - BLUE

**ZONING C:**

DESIGN SHOPPING COMMERCIAL

**ZONING BULK TABLE**

PERMITTED USE: RETAIL STORES AND BANKS	REQUIRED	(ACTUAL) PROPOSED
MINIMUM LOT AREA:	40,000 SF	88,054 SF
MINIMUM LOT WIDTH:	200 FT	385 FT
REQUIRED FRONT YARD DEPTH:	60 FT	64 FT
REQUIRED SIDE YARD/TOTAL BOTH YARDS:	30/70 FT	95/232 FT
REQUIRED REAR YARD DEPTH:	30 FT	31.9 FT
REQUIRED STREET FRONTAGE:	N/A	N/A
MAXIMUM BUILDING HEIGHT: 12 INCHES PER FOOT OF DIST. TO NEAREST LOT LINE	31.9'	30'
FLOOR AREA RATIO:	0.5	0.077
MINIMUM LIVABLE FLOOR AREA:	N/A	N/A
DEVELOPMENTAL COVERAGE:	85%	63.5%

**SITE STATISTICS:**

**PARKING SUMMARY:**

PROPOSED:	73 SPACES
(62 CUSTOMER INCLUDING 4 HANDICAPPED; 11 EMPLOYEE)	
REQUIRED BY TOWN:	27 SPACES
(1 SPACE PER 250 S.F. OF TOTAL FLOOR AREA; 4 HANDICAPPED PARKING SPACES PER 61-60 TOTAL SPACES; MINIMUM OF FIVE CARS STACKING PER DRIVE-THROUGH LANE)	

**BUILDING SETBACKS:**

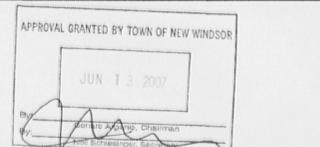
FRONT:	60'
SIDE:	30'
REAR:	30'

**LOT COVERAGE:**

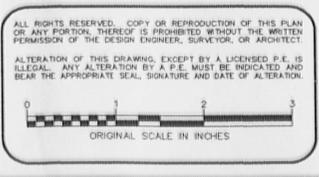
BUILDING COVERAGE (SF) = MAIN BRANCH 6,781 ± SF, ISLAND 1,375 ± SF	
TOTAL = 8,156 ± SF	
BUILDING COVERAGE (% OF TOTAL AREA) = 9.3%	
PAVEMENT COVERAGE (SF) = 47,697 SF	
PAVEMENT COVERAGE (% OF TOTAL AREA) = 54.2%	
OPEN SPACE (SF) = 32,138 SF	
OPEN SPACE (% OF TOTAL AREA) = 36.5%	

**APPLICANT:**  
HUDSON VALLEY FEDERAL CREDIT UNION  
159 BARNARD ROAD  
POUGHKEEPSIE, NY 12601

**NEW WINDSOR PLANNING BOARD  
NEW WINDSOR, NEW YORK  
SITE PLAN APPROVAL**



ISSUED FOR FINAL APPROVAL



**THE Chazen COMPANIES**  
Engineers/Surveyors  
Planners  
Environmental Scientists

**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

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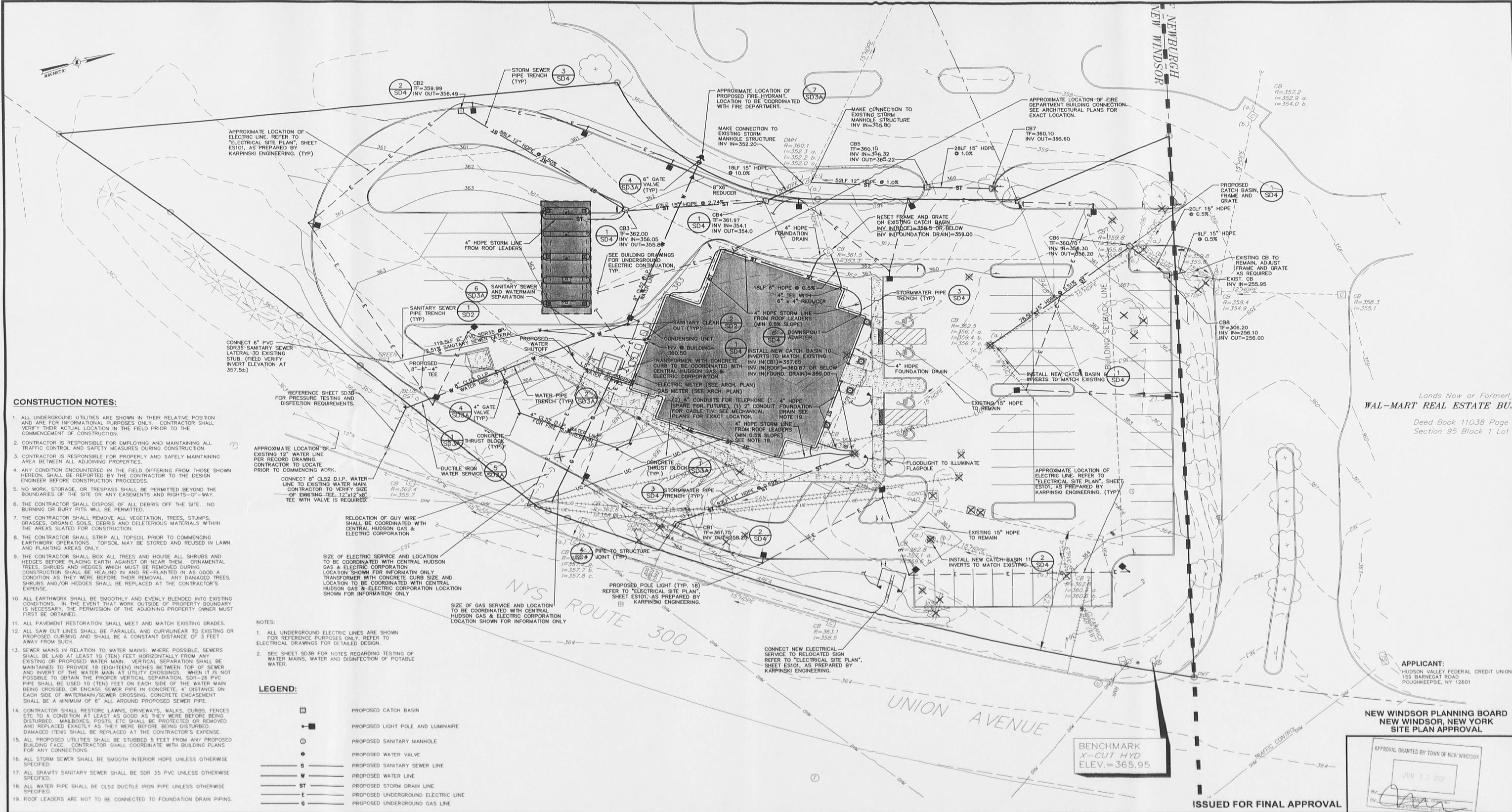
rev.	date	description
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**HUDSON VALLEY FEDERAL CREDIT UNION**

**PROPOSED BRANCH -  
NYS ROUTE 300  
SITE LAYOUT PLAN**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
CAM	JML
date	scale
12/7/05	1"=20'
project no.	
10512.00	
sheet no.	
SP2	



**CONSTRUCTION NOTES:**

1. ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL VERIFY THEIR ACTUAL LOCATION IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROPERLY AND SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.
4. ANY CONDITION ENCOUNTERED IN THE FIELD DIFFERING FROM THOSE SHOWN HEREON, SHALL BE REPORTED BY THE CONTRACTOR TO THE DESIGN ENGINEER BEFORE CONSTRUCTION PROCEEDS.
5. NO WORK, STORAGE, OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF THE SITE OR ANY EASEMENTS AND RIGHTS-OF-WAY.
6. THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF THE SITE. NO BURNING OR BURY PITS WILL BE PERMITTED.
7. THE CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, GRASSES, ORGANIC SOILS, DEBRIS AND DELETERIOUS MATERIALS WITHIN THE AREAS SLATED FOR CONSTRUCTION.
8. THE CONTRACTOR SHALL STRIP ALL TOPSOIL PRIOR TO COMMENCING EARTHWORK OPERATIONS. TOPSOIL MAY BE STORED AND REUSED IN LAWN AND PLANTING AREAS ONLY.
9. THE CONTRACTOR SHALL BOX ALL TREES AND HOUSE ALL SHRUBS AND HEDGES BEFORE PLACING EARTH AGAINST OR NEAR THEM. ORNAMENTAL TREES, SHRUBS AND HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND RE-PLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. ALL EARTHWORK SHALL BE SMOOTHLY AND EVENLY BLENDED INTO EXISTING CONDITIONS. IN THE EVENT THAT WORK OUTSIDE OF PROPERTY BOUNDARY IS NECESSARY, THE PERMISSION OF THE ADJOINING PROPERTY OWNER MUST FIRST BE OBTAINED.
11. ALL PAVEMENT RESTORATION SHALL MEET AND MATCH EXISTING GRADES.
12. ALL SAW CUT LINES SHALL BE PARALLEL AND CURVILINEAR TO EXISTING OR PROPOSED CURBING AND SHALL BE A CONSTANT DISTANCE OF 3 FEET AWAY FROM SUCH.
13. SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWERS SHALL BE LAID AT LEAST 10 (TEN) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE 18 (EIGHTEEN) INCHES BETWEEN TOP OF SEWER AND INVERT OF THE WATER MAIN AT UTILITY CROSSINGS. WHEN IT IS NOT POSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, SDR-26 PVC PIPE SHALL BE USED TO (TEN) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED, OR ENCASE SEWER PIPE IN CONCRETE, 4' DISTANCE ON EACH SIDE OF WATERMAIN/SEWER CROSSING. CONCRETE ENCASEMENT SHALL BE A MINIMUM OF 6" ALL AROUND PROPOSED SEWER PIPE.
14. CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, WALKS, CURBS, FENCES ETC TO A CONDITION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED. MAILBOXES, POSTS, ETC SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
15. ALL PROPOSED UTILITIES SHALL BE STUBBED 5 FEET FROM ANY PROPOSED BUILDING FACE. CONTRACTOR SHALL COORDINATE WITH BUILDING PLANS FOR ANY CONNECTIONS.
16. ALL STORM SEWER SHALL BE SMOOTH INTERIOR HDPE UNLESS OTHERWISE SPECIFIED.
17. ALL GRAVITY SANITARY SEWER SHALL BE SDR 35 PVC UNLESS OTHERWISE SPECIFIED.
18. ALL WATER PIPE SHALL BE CL52 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
19. ROOF LEADERS ARE NOT TO BE CONNECTED TO FOUNDATION DRAIN PIPING.

REFERENCE SHEET SD38 FOR PRESSURE TESTING AND DISINFECTION REQUIREMENTS.

APPROXIMATE LOCATION OF EXISTING 12" WATER LINE PER RECORD DRAWING. CONTRACTOR TO LOCATE PRIOR TO COMMENCING WORK.

CONNECT 8" CL52 D.I.P. WATER LINE TO EXISTING WATER MAIN. CONTRACTOR TO VERIFY SIZE OF EXISTING TEE. 12"x12" 90° TEE WITH VALVE IS REQUIRED.

RELOCATION OF GUY WIRE SHALL BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC CORPORATION

SIZE OF ELECTRIC SERVICE AND LOCATION TO BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC CORPORATION. LOCATION SHOWN FOR INFORMATION ONLY. TRANSFORMER WITH CONCRETE CURB SIZE AND LOCATION TO BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC CORPORATION. LOCATION SHOWN FOR INFORMATION ONLY.

SIZE OF GAS SERVICE AND LOCATION TO BE COORDINATED WITH CENTRAL HUDSON GAS & ELECTRIC CORPORATION. LOCATION SHOWN FOR INFORMATION ONLY.

**NOTES:**

1. ALL UNDERGROUND ELECTRIC LINES ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO ELECTRICAL DRAWINGS FOR DETAILED DESIGN.
2. SEE SHEET SD38 FOR NOTES REGARDING TESTING OF WATER MAINS, WATER AND DISINFECTION OF POTABLE WATER.

**LEGEND:**

- PROPOSED CATCH BASIN
- PROPOSED LIGHT POLE AND LUMINAIRE
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER VALVE
- S PROPOSED SANITARY SEWER LINE
- W PROPOSED WATER LINE
- ST PROPOSED STORM DRAIN LINE
- E PROPOSED UNDERGROUND ELECTRIC LINE
- G PROPOSED UNDERGROUND GAS LINE

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ORIGINAL SCALE IN INCHES

**THE CHAZEN COMPANIES**  
Engineers/Surveyors  
Planners  
Environmental Scientists

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HUDSON VALLEY FEDERAL CREDIT UNION

**PROPOSED BRANCH - NYS ROUTE 300 UTILITY PLAN**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
CAM	JML
date	scale
12/7/05	1"=20'
project no.	10512.00
sheet no.	SP3

Lands Now or Formerly  
**WAL-MART REAL ESTATE BU.**  
Deed Book 11038 Page  
Section 95 Block 1 Lot

**APPLICANT:**  
HUDSON VALLEY FEDERAL CREDIT UNION  
155 BARNEGAT ROAD  
POUGHKEEPSIE, NY 12601

**NEW WINDSOR PLANNING BOARD  
NEW WINDSOR, NEW YORK  
SITE PLAN APPROVAL**

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JUN 13 2007

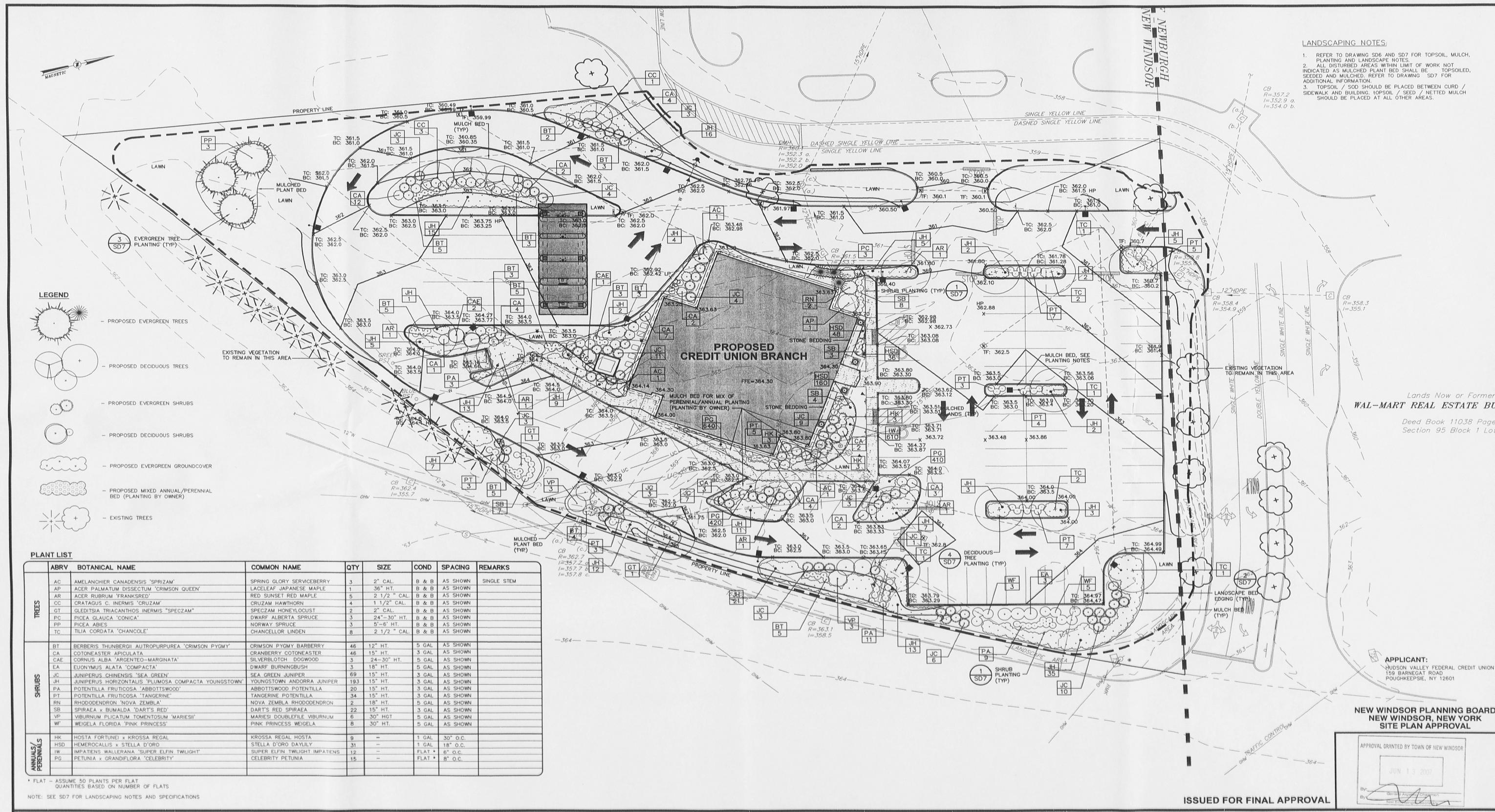
By: [Signature]

By: [Signature]

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**LANDSCAPING NOTES:**

- REFER TO DRAWING SD6 AND SD7 FOR TOPSOIL, MULCH, PLANTING AND LANDSCAPE NOTES.
- ALL DISTURBED AREAS WITHIN LIMIT OF WORK NOT INDICATED AS MULCHED PLANT BED SHALL BE TOPSOILED, SEEDED AND MULCHED. REFER TO DRAWING SD7 FOR ADDITIONAL INFORMATION.
- TOPSOIL / SOD SHOULD BE PLACED BETWEEN CURB / SIDEWALK AND BUILDING. TOPSOIL / SEED / NETTED MULCH SHOULD BE PLACED AT ALL OTHER AREAS.



- LEGEND**
- PROPOSED EVERGREEN TREES
  - PROPOSED DECIDUOUS TREES
  - PROPOSED EVERGREEN SHRUBS
  - PROPOSED DECIDUOUS SHRUBS
  - PROPOSED EVERGREEN GROUNDCOVER
  - PROPOSED MIXED ANNUAL/PERENNIAL BED (PLANTING BY OWNER)
  - EXISTING TREES

**PLANT LIST**

ABRV	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COND	SPACING	REMARKS
AC	AMELANCHIER CANADENSIS 'SPRIZAM'	SPRING GLORY SERVICEBERRY	3	2" CAL.	B & B	AS SHOWN	SINGLE STEM
AP	ACER PALMATUM DISSECTUM 'CRIMSON QUEEN'	LACELEAF JAPANESE MAPLE	1	36" HT.	B & B	AS SHOWN	
AR	ACER RUBRUM 'FRANKSRED'	RED SUNSET RED MAPLE	5	2 1/2" CAL.	B & B	AS SHOWN	
CC	CRATAEGUS C. INERMIS 'CRUZAM'	CRUZAM HAWTHORN	4	1 1/2" CAL.	B & B	AS SHOWN	
GT	GLEDITSIA TRIACANTHOS INERMIS 'SPECZAM'	SPECZAM HONEYLOCUST	2	2" CAL.	B & B	AS SHOWN	
PC	PICEA GLAUGA 'CONICA'	DWARF ALBERTA SPRUCE	3	24"-30" HT.	B & B	AS SHOWN	
PP	PICEA ABIES	NORWAY SPRUCE	3	5'-6" HT.	B & B	AS SHOWN	
TC	TILIA CORDATA 'CHANCEOLE'	CHANCELLOR LINDEN	8	2 1/2" CAL.	B & B	AS SHOWN	
BT	BERBERIS THUNBERGII AUTOPURPUREA 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	46	12" HT.	5 GAL	AS SHOWN	
CA	COTONEASTER APICULATA	CRANBERRY COTONEASTER	46	15" HT.	3 GAL	AS SHOWN	
CAE	CORNUS ALBA 'ARGENTEO-MARGINATA'	SILVERBLOTTCH DOGWOOD	3	24"-30" HT.	5 GAL	AS SHOWN	
EA	EUONYMUS ALATA 'COMPACTA'	DWARF BURNINGBUSH	3	18" HT.	5 GAL	AS SHOWN	
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	169	15" HT.	3 GAL	AS SHOWN	
JH	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA YOUNGSTOWN'	SEA GREEN JUNIPER	193	15" HT.	3 GAL	AS SHOWN	
PA	POTENTILLA FRUTICOSA 'ABBOTTSWOOD'	ABBOTTSWOOD POTENTILLA	20	15" HT.	3 GAL	AS SHOWN	
PT	POTENTILLA FRUTICOSA 'TANGERINE'	TANGERINE POTENTILLA	34	15" HT.	3 GAL	AS SHOWN	
RN	RHODODENDRON 'NOVA ZEMBLA'	NOVA ZEMBLA RHODODENDRON	2	18" HT.	5 GAL	AS SHOWN	
SB	SPIRAEA x BUMALDA 'DART'S RED'	DART'S RED SPIRAEA	22	15" HT.	3 GAL	AS SHOWN	
VP	VIBURNUM Plicatum tomentosum 'Mariesii'	MARIESI DOUBLEFILED VIBURNUM	6	30" HGT	5 GAL	AS SHOWN	
W	WEIGELA FLORIDA 'PINK PRINCESS'	PINK PRINCESS WEIGELA	8	30" HT.	5 GAL	AS SHOWN	
HK	HOSTA FORTUNEI x KROSSA REGAL	KROSSA REGAL HOSTA	9	-	1 GAL	30" O.C.	
HSD	HEMEROCALLIS x STELLA D'ORO	STELLA D'ORO DAYLILY	31	-	1 GAL	18" O.C.	
IW	IMPATIENS WALLERANA 'SUPER ELFIN TWILIGHT'	SUPER ELFIN TWILIGHT IMPATIENS	12	-	FLAT *	8" O.C.	
PG	PETUNIA x GRANDIFLORA 'CELEBRITY'	CELEBRITY PETUNIA	15	-	FLAT *	8" O.C.	

\* FLAT - ASSUME 50 PLANTS PER FLAT QUANTITIES BASED ON NUMBER OF FLATS  
NOTE: SEE SD7 FOR LANDSCAPING NOTES AND SPECIFICATIONS

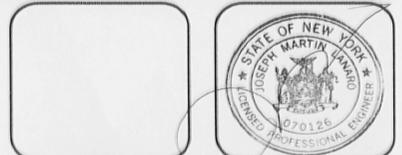
Lands Now or Formerly  
**WAL-MART REAL ESTATE BU.**  
Deed Book 11038 Page  
Section 95 Block 1 Lot

**APPLICANT:**  
HUDSON VALLEY FEDERAL CREDIT UNION  
159 BARNEGAT ROAD  
POUGHKEEPS, NY 12601

**NEW WINDSOR PLANNING BOARD  
NEW WINDSOR, NEW YORK  
SITE PLAN APPROVAL**

APPROVAL GRANTED BY TOWN OF NEW WINDSOR  
JUN 13 2007  
By: [Signature]  
Title: [Title]

**ISSUED FOR FINAL APPROVAL**



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**HUDSON VALLEY FEDERAL CREDIT UNION**  
**PROPOSED BRANCH -  
NYS ROUTE 300  
LANDSCAPE & GRADING PLAN**  
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

Drawn: CAM  
Checked: JML  
Date: 12/7/05  
Scale: 1" = 20'  
Project no.: 10512.00  
Sheet no.: **SP4**



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Section 95 Block 1 Lot

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159 BARNEGAT ROAD  
ROUGHKEEPSIE, NY 12601

NEW WINDSOR PLANNING BOARD  
NEW WINDSOR, NEW YORK  
SITE PLAN APPROVAL

APPROVAL GRANTED BY TOWN OF NEW WINDSOR  
JUN 13 2007  
By: [Signature]  
Town Engineer, Secretary

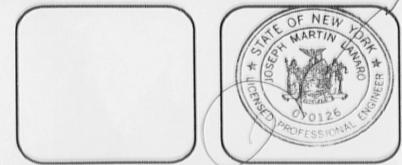
ISSUED FOR FINAL APPROVAL

LEGEND:  
■ PROPOSED POST AND LUMINAIRE  
1.6 PROPOSED LUMINOUS INTENSITY

LUMINAIRE SCHEDULE OR APPROVED EQUAL

SYMBOL	QTY	CATALOG NUMBER	MANUFACTURER	DESCRIPTION	LAMP
■	14	MCGRAW EDISON - GSM-AM-400-MH-MT-SL-FG	MCGRAW-EDISON PRODUCTS (COOPER LIGHTING)	MCGRAW EDISON GALLERIA SQUARE 20' MOUNTING HEIGHT	400 WATT METAL HALIDE
◀	2	INVUE - VFM-K-250-MH-MT-NF-BK-L-VFM-GL-SMT-BK	INVUE PRODUCTS (COOPER LIGHTING)	INVUE ARCHITECTURAL FLOOD LUMINAIRE	250 WATT METAL HALIDE

NOTE: LAMP TYPE SHALL BE CONSISTENT WITH LAMP TYPE ON THE ADJOINING WAL-MART SHOPPING CENTER. (HIGH PRESSURE SODIUM vs. METAL HALIDE)



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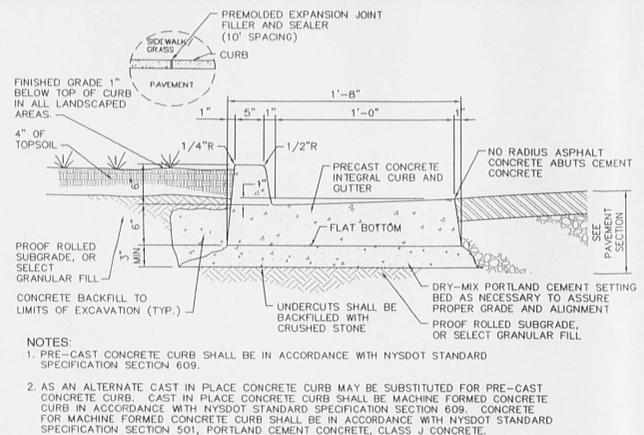
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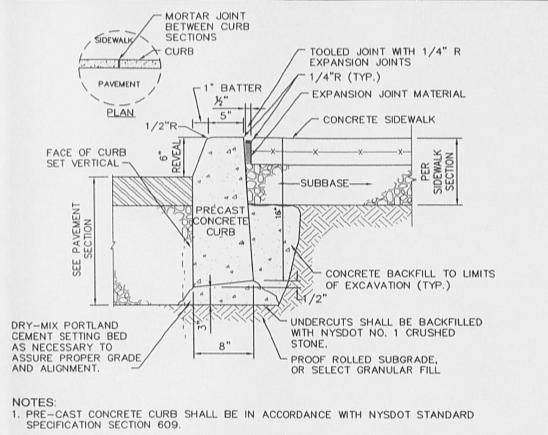
HUDSON VALLEY FEDERAL CREDIT UNION  
PROPOSED BRANCH -  
NYS ROUTE 300  
LIGHTING PLAN  
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

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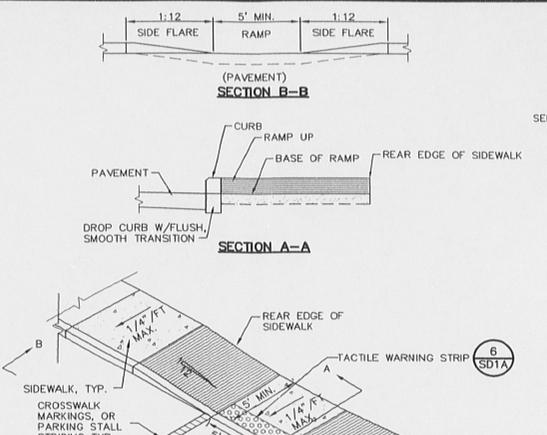




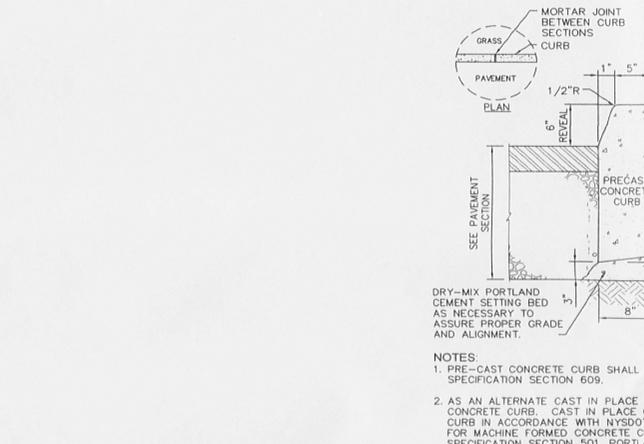
**1 PRECAST CONCRETE INTEGRAL CURB AND GUTTER**  
SCALE: NOT TO SCALE



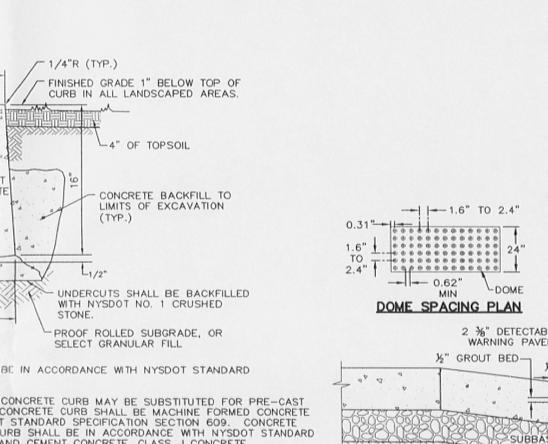
**2 PRECAST CONCRETE CURB AT SIDEWALK**  
SCALE: NOT TO SCALE



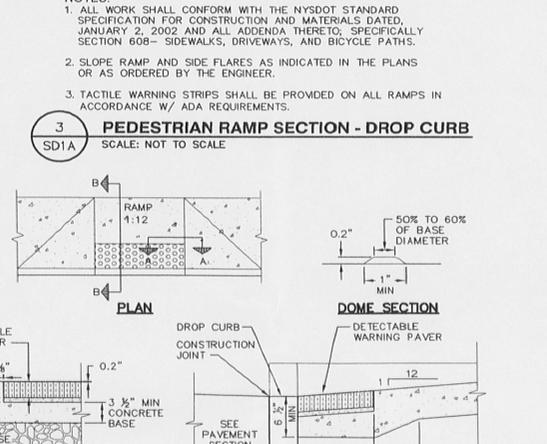
**3 PEDESTRIAN RAMP SECTION - DROP CURB**  
SCALE: NOT TO SCALE



**4 PRECAST CONCRETE CURB AT GRASS**  
SCALE: NOT TO SCALE



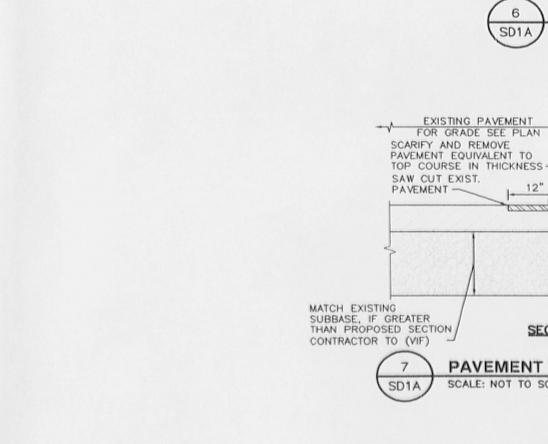
**5 PRECAST CONCRETE CURB AT SIDEWALK**  
SCALE: NOT TO SCALE



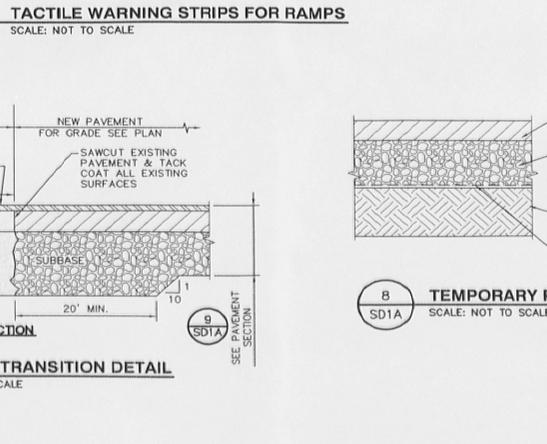
**6 TACTILE WARNING STRIPS FOR RAMPS**  
SCALE: NOT TO SCALE



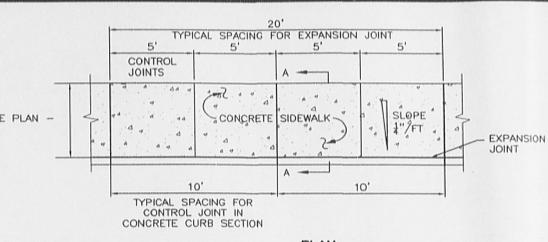
**7 PAVEMENT TRANSITION DETAIL**  
SCALE: NOT TO SCALE



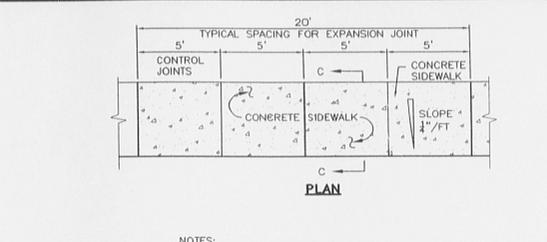
**8 TEMPORARY PAVEMENT SECTION DETAIL**  
SCALE: NOT TO SCALE



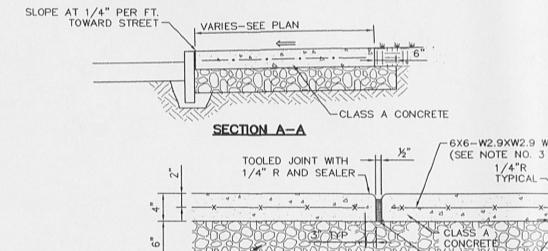
**9 PAVEMENT SECTION DETAIL**  
SCALE: NOT TO SCALE



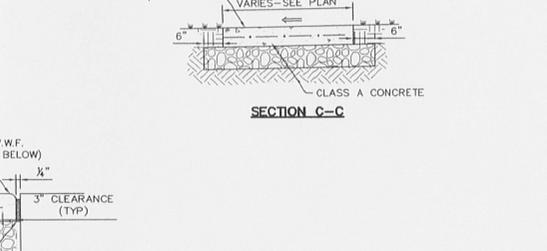
**10 EXPANSION JOINT**  
SCALE: NOT TO SCALE



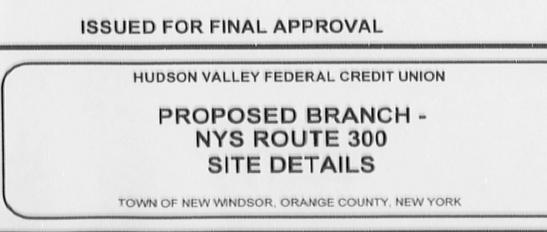
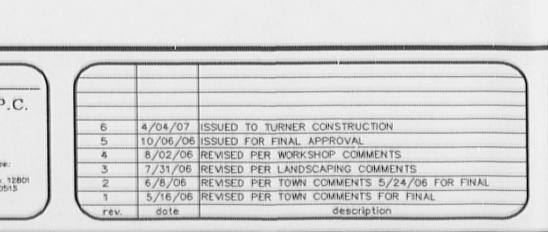
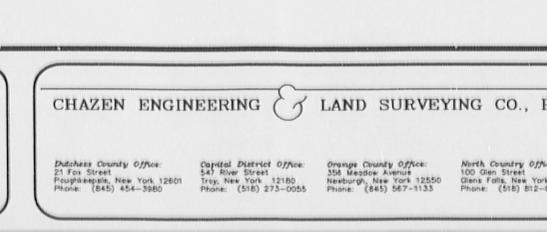
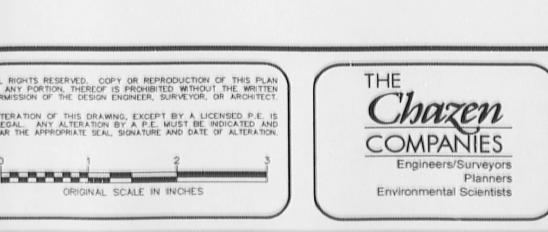
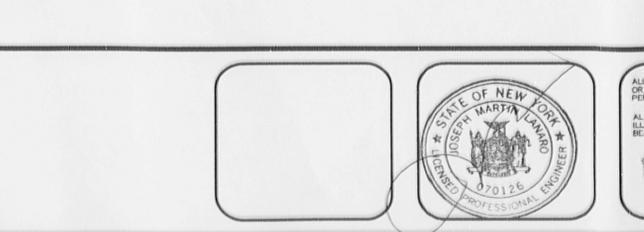
**11 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE

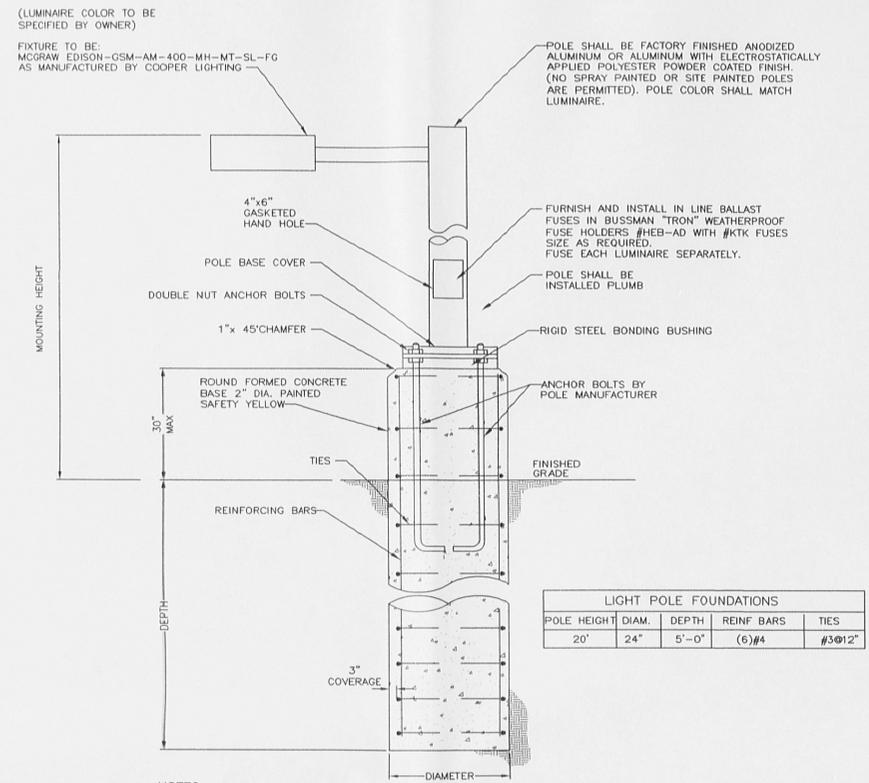


**12 EXPANSION JOINT**  
SCALE: NOT TO SCALE



**13 CONCRETE SIDEWALK DETAIL**  
SCALE: NOT TO SCALE





**LIGHT POLE FOUNDATIONS**

POLE HEIGHT	DIAM.	DEPTH	REINF. BARS	TIES
20'	24"	5'-0"	(6)#4	#3@12"

- NOTES:
- ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS
  - DESIGN CRITERIA:  
WIND: 90 MPH  
FIXTURE AREA: 13 SF
  - FOUNDATION DIAMETER AND REINFORCING CIRCLE SHALL BE COORDINATED WITH ANCHOR BOLT LIMITS
  - FOUNDATIONS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR COMPACTED CRUSHED STONE
  - ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OF DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST
  - EXPOSED AREAS OF CONCRETE AND ONE FOOT MIN BELOW FINISHED GRADE SHALL BE FORMED

**1 PARKING LOT LIGHTING STANDARD WITH CONCRETE BASE**  
 SD1B SCALE: NOT TO SCALE

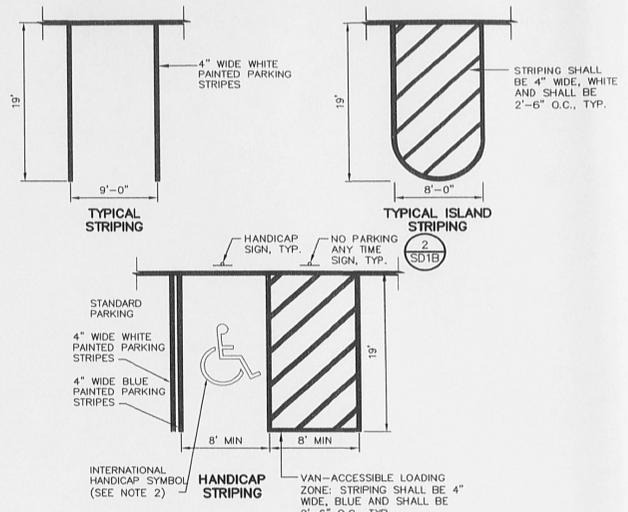
**SIGN SCHEDULE**

SIGN NO.	SIGN FACE	NUMBER	SIZE	COLORS	LEGEND
1	STOP	R1-1B	24"x24"	RED	WHITE
4	ONE WAY	R3-10C	36"x12"	BLACK	WHITE
5	ONE WAY	R3-11C	36"x12"	BLACK	WHITE
7	DO NOT ENTER	R3-15C	30"x30"	RED	WHITE
8	INTERNATIONAL HANDICAP SYMBOL	M12-1	24"x24"	BLUE	WHITE
9	VAN ACCESSIBLE	P4-7C	12"x6"	WHITE	BLUE
11	NO PARKING ANY TIME	SIGN PROVIDED BY BARCO PRODUCTS, MODEL NUMBER RSP2-12X18 OR EQUIVALENT			
12	EMPLOYEE PARKING ONLY	SIGN PROVIDED BY BARCO PRODUCTS, MODEL NUMBER RSP205-12X18 OR EQUIVALENT			

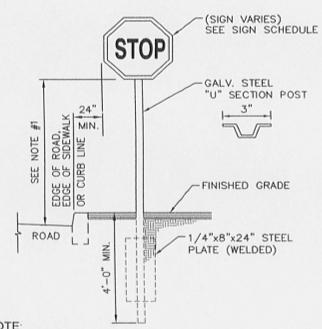
**2 SIGN SCHEDULE**  
 SD1B SCALE: NOT TO SCALE

**SIGNAGE AND PAVEMENT MARKING NOTES:**

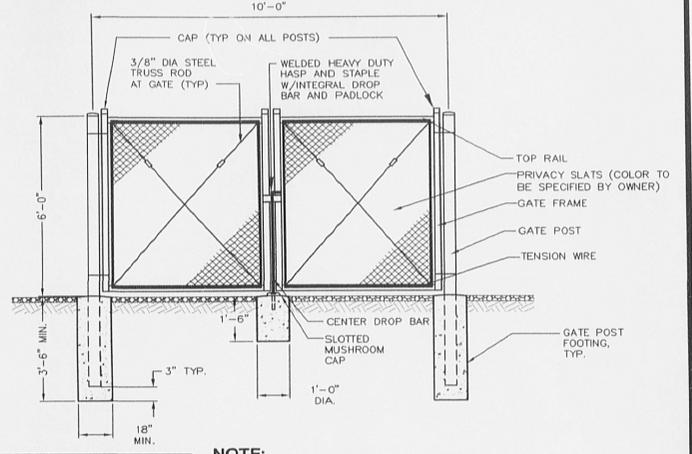
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE NYS DOT STANDARD SPECIFICATIONS, SECTION 640 AND THE CODES RULES AND REGULATIONS OF THE STATE OF NEW YORK (NYCRR) TITLE 17-TRANSPORTATION OF THE STATE OF NEW YORK
- STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.



**3 PAVEMENT STRIPING DETAILS**  
 SD1B SCALE: NOT TO SCALE



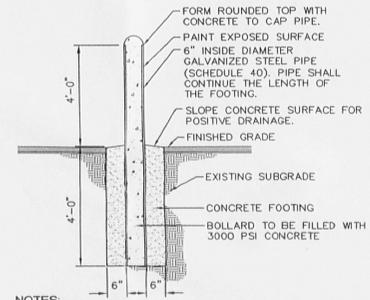
**6 REGULATORY SIGN**  
 SD1B SCALE: NOT TO SCALE



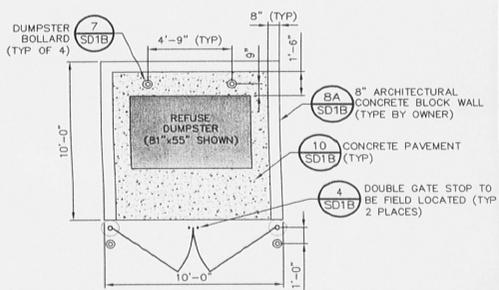
**GATE POST SCHEDULE**

GATE LEAF SIZE	POST O.D.
UP TO 12'	3"
12' TO 20'	4"

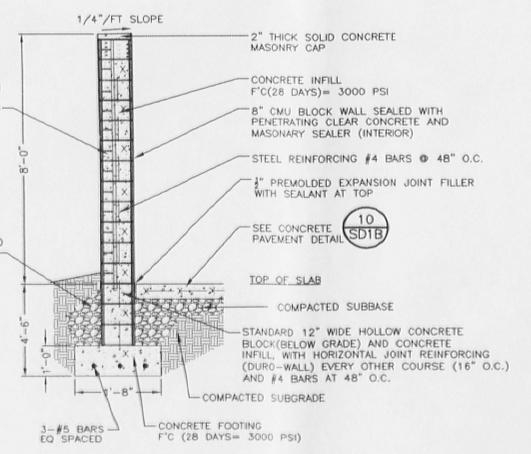
**4 DUMPSTER WIRE SWING GATE, DOUBLE**  
 SD1B SCALE: NOT TO SCALE



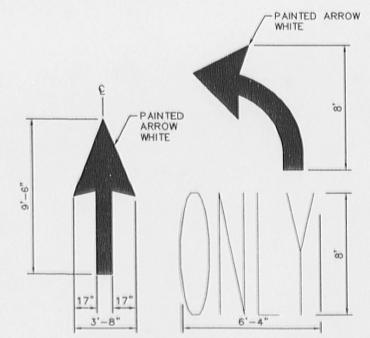
**7 DUMPSTER BOLLARD DETAIL**  
 SD1B SCALE: NOT TO SCALE



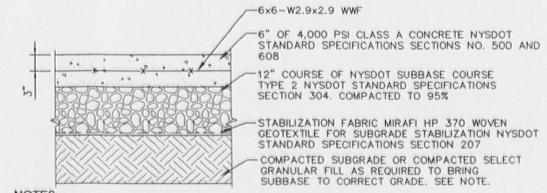
**8 DUMPSTER ENCLOSURE**  
 SD1B SCALE: NOT TO SCALE



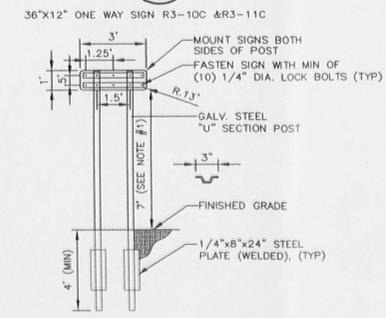
**9 DIRECTIONAL ARROW**  
 SD1B SCALE: NOT TO SCALE



**10 CONCRETE PAVEMENT DETAIL**  
 SD1B SCALE: NOT TO SCALE



**11 TWO POST ONE WAY SIGN MOUNTING DETAIL**  
 SD1B SCALE: NOT TO SCALE



**12 DUMPSTER ENCLOSURE WALL**  
 SD1B SCALE: NOT TO SCALE

ISSUED FOR FINAL APPROVAL



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0 1 2 3  
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**THE CHAZEN COMPANIES**  
 Engineers/Surveyors  
 Planners  
 Environmental Scientists

**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

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 Capital District Office: 247 Rear Street, Troy, New York 12180, Phone: (518) 273-0055  
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 North Country Office: 100 Glen Street, Champlain, New York 12801, Phone: (518) 812-0513

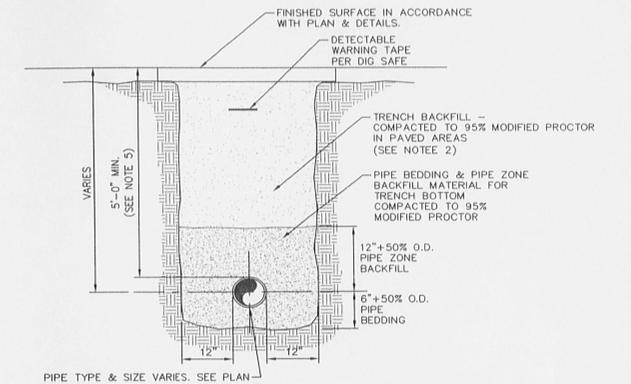
rev.	date	description
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5	10/06/06	ISSUED FOR FINAL APPROVAL
4	8/02/06	REVISED PER WORKSHOP COMMENTS
3	7/31/06	REVISED PER LANDSCAPING COMMENTS
2	6/18/06	REVISED PER TOWN COMMENTS 5/24/06 FOR FINAL
1	5/16/06	REVISED PER TOWN COMMENTS FOR FINAL

HUDSON VALLEY FEDERAL CREDIT UNION

**PROPOSED BRANCH - NYS ROUTE 300 SITE DETAILS**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
JML	JML
date	scale
12/7/05	AS NOTED
project no.	10512.00
sheet no.	SD1B



PIPE TYPE & SIZE VARIES. SEE PLAN

**NOTES:**

1. PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

2. TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

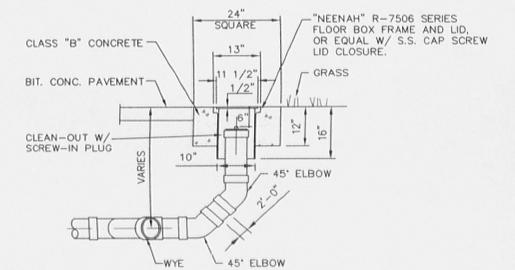
IN UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER.

3. INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLABS.

4. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

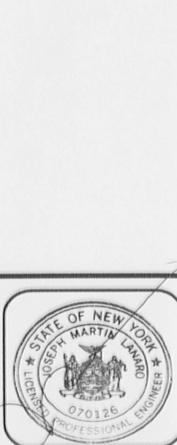
5. 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

**1 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE



**NOTES:**  
1. SEWER PIPE FITTINGS SHALL BE ASTM D-3033 OR D-3034 PVC SDR-35.  
2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

**2 CLEAN OUT DETAIL**  
SCALE: NOT TO SCALE



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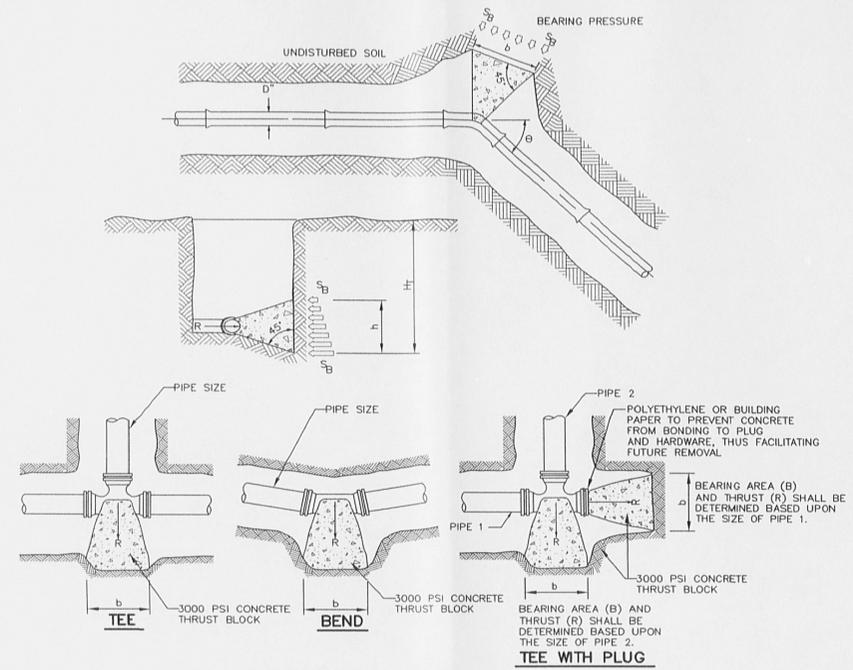
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**PROPOSED BRANCH - NYS ROUTE 300 SANITARY SEWER DETAILS**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
date	scale
project no.	AS NOTED
sheet no.	10512.00
	<b>SD2</b>



**REQUIRED BEARING AREAS -B (SQFT) FOR BEARING BLOCKS\***

PIPE SIZE (INCHES)	TEE	BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4	2.0	2.8	1.5	0.8	0.4
6	4.2	5.9	3.2	1.6	0.8
8	7.2	10.1	5.5	2.8	1.4
10	10.9	15.4	8.3	4.2	2.1
12	15.4	21.8	11.8	6.0	3.0
14	20.6	29.1	15.8	8.0	4.0
16	26.8	37.9	20.5	10.4	5.2
18	33.6	47.5	25.7	13.1	6.6
20	41.2	58.2	31.5	16.1	8.1
24	58.8	83.1	45.0	22.9	11.5
30	90.5	128.0	69.2	35.3	17.7
36	129.6	183.3	99.1	50.5	25.4

\*FACTOR OF SAFETY=1.5 SOIL BEARING OF 3,000 PSF 225 PSI DESIGN PRESSURE.

\*BEARING ARE (B) = b x h

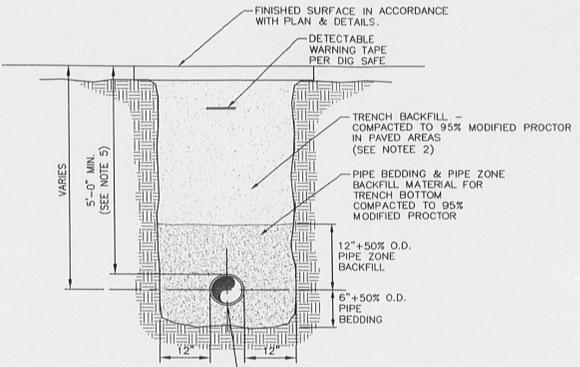
**NOTES:**

- CONCRETE SHALL NOT TO OVERLAP ANY JOINT.
- THRUST BLOCKS SHALL BE CONFIGURED IN A MANNER THAT DOES NOT INTERFERE WITH REMOVAL OR INSTALLATION OF ANY JOINTING COMPONENTS.
- FOR REDUCERS, USE MECHANICAL JOINT FITTINGS WITH RETAINER GLANDS.
- BEARING SURFACE SHALL, WHERE POSSIBLE, BE PLACED AGAINST UNDISTURBED SOIL. WHERE THAT IS NOT POSSIBLE, THE FILL BETWEEN THE BEARING SURFACE AND UNDISTURBED SOIL MUST BE COMPACTED TO AT LEAST 90% STANDARD PROCTOR DENSITY.
- BLOCK HEIGHT (h) SHALL BE EQUAL TO OR LESS THAN ONE-HALF THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK, (HT), BUT NOT LESS THAN THE PIPE DIAMETER (D).
- BLOCK HEIGHT (h) SHALL BE ESTABLISHED SUCH THAT THE CALCULATED BLOCK WIDTH (b) VARIES BETWEEN ONE AND TWO TIMES THE HEIGHT.
- VALUES FOR TEES APPLY TO TEES, END PLUGS, CAPS, AND TAPPING SLEEVES.
- REQUIRED BEARING AREAS ARE DEVELOPED TO RESIST THRUSTS RESULTING FROM 150 PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE. REQUIRED BEARING AREAS ARE BASED UPON ALLOWABLE SOIL BEARING CAPACITY OF 3,000 POUNDS PER SQUARE FOOT. IN RESPONSE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS REQUIRED MAY BE MODIFIED BY THE ENGINEER.

SOIL	BEARING STRENGTH S <sub>b</sub> (LB/SQ.FT)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

- IN MUCK, PEAT, OR RECENTLY PLACED FILL, ALL THRUSTS SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL, AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS; ALL AS REQUIRED BY THE ENGINEER.

**1 CONCRETE THRUST BLOCK DETAILS**  
SCALE: NOT TO SCALE



- PIPE TYPE & SIZE VARIES. SEE PLAN
- NOTES:**
- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A Mixture OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
3/4"	100%
NO. 40	0-70%
NO. 200	0-10%

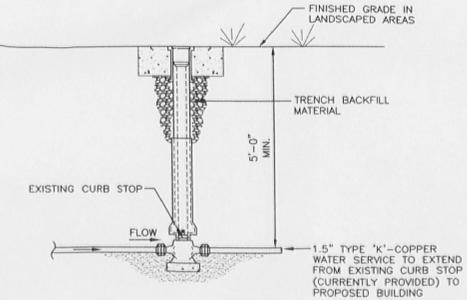
- TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE ENGINEER AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE DESIGNATION	% PASSING
4"	100%
NO. 40	0-70%
NO. 200	0-10%

IN UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER.

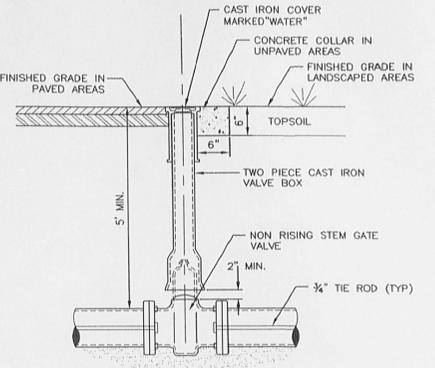
- INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
- TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
- 5'-0" MIN COVER SHALL BE APPLIED TO WATER MAIN OR SANITARY SEWER FORCE MAINS ONLY.

**2 PIPE TRENCH DETAIL (TYPICAL)**  
SCALE: NOT TO SCALE



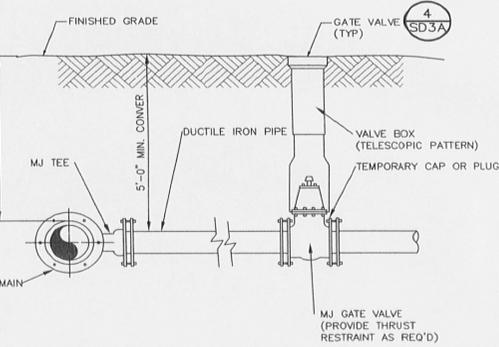
- NOTE:**
- MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE MAINTAINED IN ACCORDANCE WITH REGULATORY AGENCY.

**3 COPPER WATER SERVICE**  
SCALE: NOT TO SCALE

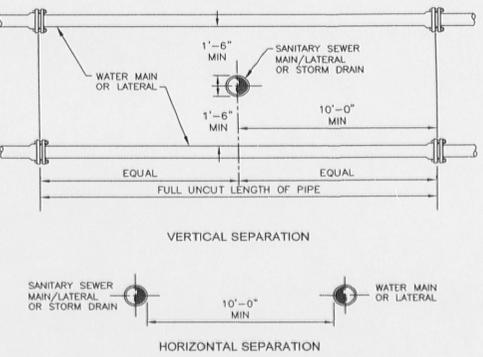


- NOTES:**
- NON-RISING STEM GATE VALVE, OPERATING DIRECTION SHALL BE COUNTERCLOCKWISE TO OPEN.
  - MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
  - IF VALVE IS TO BE RODDED, PROVIDE VALVE WITH RODDING FLANGES OR EYEBOLTS. TWO (2) 3/4" GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180° SPACING SHALL BE USED FOR RODDING VALVES.
  - GATE VALVE SHALL BE IN ACCORDANCE WITH MUNICIPAL STANDARDS & AS MANUFACTURED BY MUELLER OR APPROVED EQUIVALENT.

**4 TYPICAL GATE VALVE DETAIL**  
SCALE: NOT TO SCALE

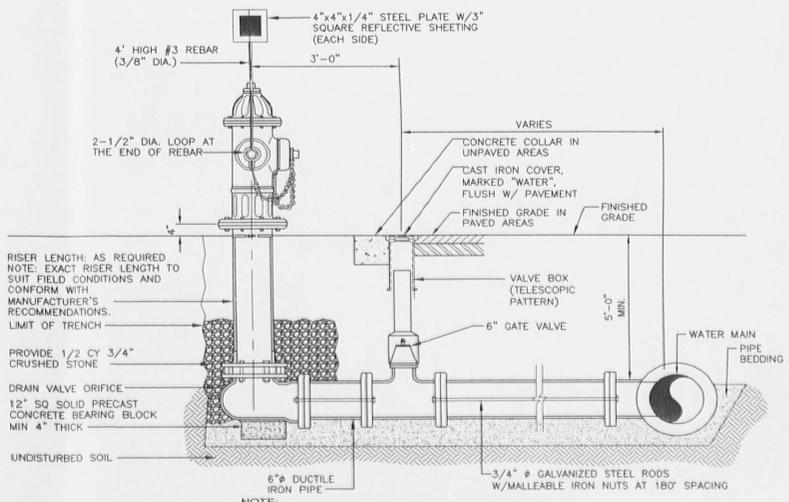


**5 DUCTILE IRON SERVICE PIPE**  
SCALE: NOT TO SCALE



- NOTE:**
- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE NYS HEALTH DEPARTMENT. CONCRETE ENCASEMENT OF WATERLINE OR OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED.

**6 SANITARY/STORM SEWER AND WATERMAIN SEPARATION DETAIL**  
SCALE: NOT TO SCALE



**7 HYDRANT ASSEMBLY DETAIL**  
SCALE: NOT TO SCALE

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ORIGINAL SCALE IN INCHES

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HUDSON VALLEY FEDERAL CREDIT UNION

**PROPOSED BRANCH - NYS ROUTE 300 WATER DETAILS**

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
date	scale
project no.	AS NOTED
sheet no.	10512.00
	<b>SD3A</b>

**TESTING WATER MAINS:**

- AFTER TRENCH HAS BEEN BACKFILLED, HYDROSTATIC ACCEPTANCE TESTS, CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST, SHALL BE PERFORMED ON ALL SECTIONS OF WATER MAINS INSTALLED. LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH PRESSURE TEST. TEST SECTION SHALL BE LIMITED TO ABOUT 2000 FT (MAX.) UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- AFTER ALL TESTS AND INSPECTIONS HAVE BEEN PERFORMED EVIDENCE OF COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE MUNICIPALITY PRIOR TO ACCEPTANCE.
- ALL WATER FOR TESTS SHALL BE FURNISHED AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. SOURCE AND/OR QUALITY OF WATER WHICH THE CONTRACTOR PROPOSES TO USE IN TESTING LINES SHALL BE ACCEPTABLE TO THE ENGINEER.
- HYDROSTATIC PRESUMPTIVE TESTS MAY BE PERFORMED WHEN SYSTEM IS PARTIALLY BACKFILLED TO SIMPLY CHECK WORK, BUT ACCEPTANCE OF SYSTEM SHALL BE BASED ON HYDROSTATIC TESTS RUN ON FINISHED SYSTEM AFTER IT HAS BEEN COMPLETELY BACKFILLED. ALL HYDROSTATIC TESTS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 651-05 OR LATER ADDITION, AS MODIFIED HEREIN.
- FOR THE PRESSURE TEST, SYSTEM SHALL BE PRESSURIZED AND MAINTAINED AT A MINIMUM OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON THE ELEVATION OF THE LOWEST POINT IN THE SECTION BEING TESTED AND CORRECTED TO THE ELEVATION OF THE GAUGE. PROVISIONS SHALL BE MADE TO RELIEVE AIR TRAPPED AT HIGH POINTS IN THE SYSTEM THROUGH ADJACENT HYDRANTS OR THROUGH TAPS AND CORPORATION STOPS INSTALLED FOR THIS PURPOSE BY THE CONTRACTOR. AFTER SAID PRESSURE HAS BEEN MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS, THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.
- LEAKAGE TEST SHALL BE PERFORMED CONCURRENTLY USING A MINIMUM TEST PRESSURE OF 150 LBS/SQ. INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON THE ELEVATION OF THE LOWEST POINT IN THE SECTION UNDER TEST AND CORRECTED TO ELEVATION OF THE GAUGE. LEAKAGE TEST DURATION SHALL BE A MINIMUM OF 2 HOURS AFTER LEAKAGE RATE HAS STABILIZED.
- MAXIMUM ALLOWABLE LEAKAGE SHALL BE AS SHOWN IN THE FOLLOWING TABLE:  
ALLOWABLE LEAKAGE PER 1000 FT (305M) OF PIPELINE (GPH)

AVG. TEST PRESSURE PSI (BAR)	NOMINAL PIPE DIAMETER-IN.						
	4	6	8	10	12	14	16
450 (31)	0.64	0.95	1.27	1.59	1.91	2.23	2.55
400 (28)	0.60	0.90	1.20	1.50	1.80	2.10	2.40
350 (24)	0.56	0.84	1.12	1.40	1.69	1.97	2.25
300 (21)	0.52	0.78	1.04	1.30	1.56	1.82	2.08
275 (19)	0.50	0.75	1.00	1.24	1.49	1.74	1.99
250 (17)	0.47	0.71	0.95	1.19	1.42	1.66	1.90
225 (16)	0.45	0.68	0.90	1.13	1.35	1.58	1.80
200 (14)	0.43	0.64	0.85	1.06	1.28	1.48	1.70
175 (12)	0.40	0.59	0.80	0.99	1.19	1.39	1.59
150 (10)	0.37	0.55	0.74	0.92	1.10	1.29	1.47
125 (9)	0.34	0.50	0.67	0.84	1.01	1.18	1.34
100 (7)	0.30	0.45	0.60	0.75	0.90	1.05	1.20

(NOTE: A STANDARD 55 GALLON STEEL BARREL CONTAINS 19.75 GAL/FT OF DEPTH OR 1.64 GAL/IN OF DEPTH).  
8. IF LEAKAGE IN SYSTEM EXCEEDS THE SPECIFIED AMOUNT, THE CONTRACTOR SHALL, AT NO ADDED COST TO THE OWNER, LOCATE, REPAIR, AND/OR REPLACE DEFECT(S) AND RE-TEST PIPING SYSTEM.

**WATER NOTES:**

- ALL WATER LINES SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, UNLESS OTHERWISE SPECIFIED BY OR APPROVED BY THE ENGINEER.
- THE WATER LINE MAY BE FLEXED WITHIN PIPE SPECIFICATIONS OR LAID DEEPER IN AREAS WHERE CROSSINGS WITH THE SANITARY LINE OCCUR, TO ACHIEVE THE REQUIRED 1.5' VERTICAL SEPARATION DISTANCE. IF THIS DISTANCE CANNOT BE REASONABLY ACHIEVED, THE CONTRACTOR SHALL EITHER CUT AND JOINT THE PIPE OR CONCRETE ENCASE BOTH LINES 10' IN EACH DIRECTION. (SEE WATERLINE OFFSET DETAIL FOR FURTHER INFORMATION).
- ALL NEW WATER MAIN INSTALLATIONS SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH AWWA STANDARD C 600(LATEST REVISION) AT A PRESSURE OF 150 PSI, OR 1.5 TIMES (AS REFERENCED ABOVE) THE WORKING PRESSURE OF THE SYSTEM AS A MINIMUM. ALLOWABLE LEAKAGE OF THIS TEST SHALL BE AS DEFINED IN SECTION 4.2 OF SAID AWWA SPECIFICATION.
- APPROVED AND TESTED WATER MAIN SHALL BE DISINFECTED PER AWWA SECTION C 651 (AS REFERENCED ABOVE), AS DIRECTED BY ENGINEER.
- THE WATERMAIN IS TO BE INSTALLED AT A CONTINUOUS GRADE WITH NO ABRUPT HIGH OR LOW POINTS.

**DISINFECTION OF POTABLE WATER SERVICE MAINS:**

- DISINFECTION WILL BE ACCOMPLISHED AFTER PIPE HAS PASSED ANY LEAKAGE TESTS.
- THE MUNICIPALITY AND THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF PRESSURE TESTING, LEAKAGE TESTING, AND DISINFECTION.
- DISINFECTION WILL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C 651-05 OR LATER ADDITION. (EXCLUDING SECTION 5.1 COVERING THE TABLET METHOD).
- CHLORINE-WATER SOLUTION IS PREPARED BY ADDING SODIUM HYPOCHLORITE TO WATER IN ACCORDANCE WITH THE FOLLOWING TABLE (VERIFY AGAINST TOWN REQUIREMENTS):  
CHLORINE REQUIRED TO PRODUCE 25 MG/L CONCENTRATION IN 100 FT. OF PIPE BY DIAMETER

PIPE SIZE -IN.	1000 PERCENT CHLORINE	1 PERCENT CHLORINE SOLUTIONS
	LB.	GAL.
8	0.034	0.36
6	0.030	0.36

NOTE: 1% SOLUTIONS REQUIRE 1 POUND OF SODIUM HYPOCHLORITE IN 8 GAL OF WATER

- PRODUCT DETERIORATION MUST BE CONSIDERED IN COMPUTING THE QUANTITY OF SODIUM HYPOCHLORITE REQUIRED FOR THE DESIRED CONCENTRATION.
- CHLORINE-WATER SOLUTION SHALL BE INTRODUCED INTO THE WATER MAIN WITH A GASOLINE OR ELECTRICALLY POWERED CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS. FEED LINES SHALL BE OF SUCH MATERIAL AND STRENGTH TO PERMIT THEM TO WITHSTAND SAFELY THE MAXIMUM PRESSURE THAT MAY BE CREATED BY PUMP. ALL CONNECTIONS SHALL BE CHECKED FOR TIGHTNESS BEFORE HYPOCHLORITE SOLUTION IS APPLIED TO MAIN.
- THE CONTRACTOR SHALL FURNISH AND INSTALL A CORPORATION STOP JUST DOWNSTREAM FROM THE NEWLY INSTALLED GATE VALVE OR AS OTHERWISE SHOWN ON DRAWINGS OR APPROVED BY THE ENGINEER.
- GENERALLY, THE FOLLOWING PROCEDURE SHALL BE USED TO DISINFECT THE NEW MAIN. THE CONTRACTOR SHALL HOWEVER, REVIEW THEIR PROPOSED PROCEDURES WITH THE ENGINEER AT LEAST 48 HOURS PRIOR TO START OF DISINFECTION. ALL DISINFECTION PROCEDURES MUST BE APPROVED BY THE ENGINEER BEFORE DISINFECTION STARTS.
  - ALL GATE VALVES AND HYDRANTS MUST BE CLOSED. THE NEW MAIN SHOULD ALREADY BE FULL OF WATER FROM THE HYDROSTATIC TESTS; IF NOT, IT SHALL BE FILLED.
  - MIX CHLORINE-WATER SOLUTION IN 55 GALLON DRUMS; CONNECT FEED LINE TO PUMP AND NEW MAIN.
  - OPEN GATE VALVE ON THE HYDRANT LEAD OF END HYDRANT. THEN OPEN HYDRANT FULLY. (NOTE: HYDRANT MUST ALWAYS BE EITHER FULLY OPENED OR FULLY CLOSED. THE HYDRANT FLOW MAY BE CONTROLLED BY THROTTLING THE GATE VALVE ON THE HYDRANT LEAD).
  - START PUMPING CHLORINE-WATER SOLUTION INTO WATER MAIN; THEN OPEN UPSTREAM GATE VALVE SLOWLY UNTIL FLOW FROM HYDRANT IS PROPORTIONATE TO THE AMOUNT OF CHLORINE-WATER SOLUTION BEING PUMPED (30 PARTS WATER TO 1 PART CHLORINE-WATER SOLUTION). IF A WATER METER IS NOT AVAILABLE, DISCHARGE RATE MAY BE DETERMINED BY USING EITHER A PILOT GAUGE IN THE DISCHARGE OR BY MEASURING THE TIME TO FILL A CONTAINER OF KNOWN VOLUME (SUCH AS A 55 GAL. BARREL). THE PUMPING RATE CAN BE DETERMINED BY MEASURING THE DROP IN LIQUID LEVEL IN A GIVEN LENGTH OF TIME.
    - A STANDARD 55 GALLON STEEL BARREL CONTAINS 19.75 GAL/FT OF DEPTH OR 1.64 GAL/IN OF DEPTH).
  - AFTER HYDRANT FLOW AND PUMPING RATE HAVE BEEN ADJUSTED, MAINTAIN A CONSTANT FLOW SO THAT CHLORINE CONCENTRATION IN THE MAIN IS MAINTAINED AT A MINIMUM OF 25 PPM.
  - PERIODICALLY CHECK HYDRANT DISCHARGE FOR CHLORINE CONCENTRATION BY USING A FIELD CHLORINE RESIDUAL TEST KIT. MAINTAIN HYDRANT DISCHARGE AND PUMPING RATE UNTIL THE MINIMUM CHLORINE CONCENTRATION OF 25 PPM HAS BEEN ACHIEVED THROUGHOUT THE ENTIRE MAIN DISINFECTED.
  - AFTER THE REQUIRED CONCENTRATION HAS BEEN ACHIEVED, ALL VALVES AND HYDRANTS ON THE MAIN LINE BETWEEN THE UPSTREAM GATE VALVE AND THE DISCHARGE HYDRANT SHALL BE OPERATED IN ORDER TO DISINFECT THE INTERNAL APPURTENANCES. DO NOT OPERATE ANY GATE VALVE THAT IS LOCATED ON A CONNECTION TO AN EXISTING WATER MAIN THAT IS IN SERVICE.
- AFTER THE ENGINEER HAS TAKEN A WATER SAMPLE AND VERIFIED THE MINIMUM 25 PPM CHLORINE CONCENTRATION, THE CONTRACTOR SHALL RETAIN THE CHLORINATED WATER IN THE MAIN BY THE FOLLOWING METHOD:
  - FIRST, CLOSE THE UPSTREAM GATE VALVE.
  - SECOND, CLOSE THE DISCHARGE HYDRANT.
  - THIRD, SHUT OFF THE PUMP.
- CHLORINATED WATER SHALL REMAIN IN THE MAIN FOR A MINIMUM OF 24 HOURS.
- IF THE CHLORINE RESIDUAL IS LESS THAN 10 PPM, REPEAT SYSTEM TREATMENT.
- ANY SECTION OF PIPE, VALVES OR FITTINGS, INCLUDING TAPPING SLEEVES AND VALVES WHICH ARE INSTALLED OUTSIDE THE LIMITS OF THE SYSTEM SUBJECTED TO THE CHLORINATION PROCEDURES SPECIFIED ABOVE, SHALL BE SPRAYED OR SWABBED WITH A 1% HYPOCHLORITE SOLUTION PRIOR TO INSTALLATION.
- AFTER THE ENGINEER HAS TAKEN A WATER SAMPLE AND VERIFIED THE MINIMUM 10 PPM CHLORINE RESIDUAL, CONTRACTOR SHALL THOROUGHLY FLUSH CHLORINATED WATER FROM THE MAIN BY THE FOLLOWING METHOD:
  - FIRST, OPEN THE DISCHARGE HYDRANT.
  - SECOND, OPEN THE UPSTREAM GATE VALVE.
  - THIRD, OPEN ANY HYDRANTS ON THE MAIN LINE TO REMOVE ALL CHLORINATED WATER FROM THE HYDRANT LEADS.
- FLUSH THE MAIN WITH POTABLE WATER IN SUCH A MANNER THAT SHALL NOT ADVERSELY AFFECT FISH, PLANT, OR ANIMAL LIFE.
- THE QUANTITY AND LOCATION OF WATER SAMPLES TO BE TAKEN SHALL BE DETERMINED BY THE ENGINEER.
- WATER SAMPLES SHALL BE TAKEN BY THE CONTRACTOR IN STERILIZED BOTTLES.
- ANALYZE WATER SAMPLES IN ACCORDANCE WITH STANDARD METHODS FOR EXAMINATION OF WATER AND WASTEWATER, 14TH EDITION, PUBLISHED BY AMERICAN WATER WORKS ASSN., 6666 WEST QUINCY AVE., DENVER, CO 80235.
- IF A BACTERIOLOGICAL TEST PROVES THE WATER QUALITY TO BE UNACCEPTABLE, REPEAT SYSTEM TREATMENT.
- IF A BACTERIOLOGICAL TEST PROVES WATER TO BE ACCEPTABLE; REMOVE FEED LINE AND CORPORATION STOP. CORPORATION STOP WILL BE REPLACED WITH A THREADED BRASS PLUG UNLESS OTHERWISE DIRECTED BY ENGINEER.
- SAMPLES MUST BE BACTERIOLOGICALLY SAFE BEFORE WATER MAIN IS PLACED IN SERVICE.

ISSUED FOR FINAL APPROVAL

HUDSON VALLEY FEDERAL CREDIT UNION  
**PROPOSED BRANCH -  
 NYS ROUTE 300  
 WATER DETAILS**  
 TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

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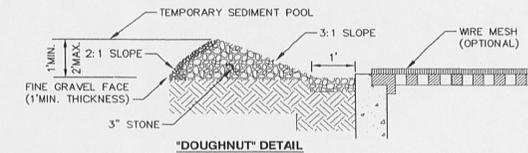
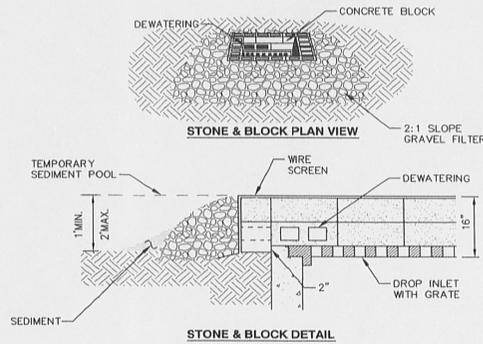
**THE Chazen COMPANIES**  
 Engineers/Surveyors  
 Planners  
 Environmental Scientists

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ORIGINAL SCALE IN INCHES

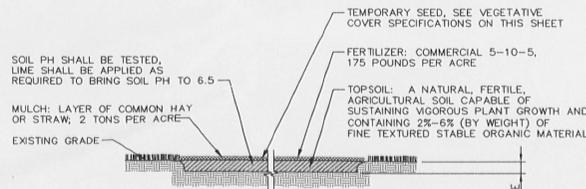






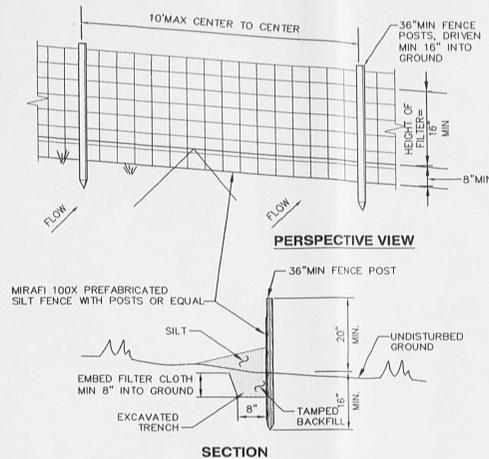
- CONSTRUCTION SPECIFICATIONS:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
  - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
  - USE CLEAN NYSDOT NO. 1 AND NO. 2 STONE OR GRAVEL PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE SHALL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

**1 CATCH BASIN STONE AND BLOCK INLET PROTECTION DETAIL**  
SCALE: NOT TO SCALE



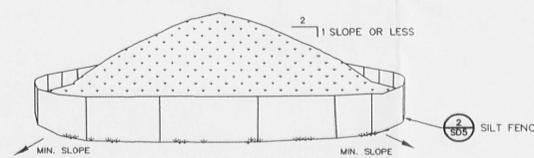
- NOTES:**
- TOPSOIL, SEED, MULCH, AND FERTILIZE DISTURBED SOIL AREAS THAT WILL BE LEFT EXPOSED FOR 14 DAYS OR MORE.

**4 TEMPORARY TOPSOIL, FERTILIZER, SEED & MULCH DETAIL**  
SCALE: NOT TO SCALE



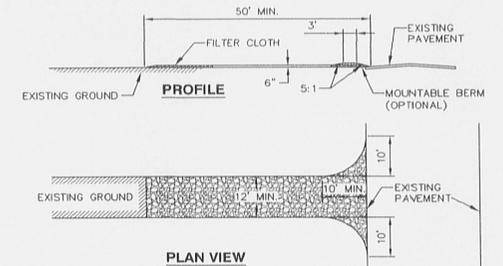
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  - MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/2 ACRE PER 100 FEET OF FENCE.
  - SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
  - SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
  - MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:
- | SLOPE STEEPNESS  | MAXIMUM SLOPE LENGTH(FT) |
|------------------|--------------------------|
| 2:1              | 50                       |
| 3:1              | 75                       |
| 4:1              | 125                      |
| 5:1              | 175                      |
| FLATTER THAN 5:1 | 200                      |

**2 SILT FENCE INSTALLATION DETAIL**  
SCALE: NOT TO SCALE



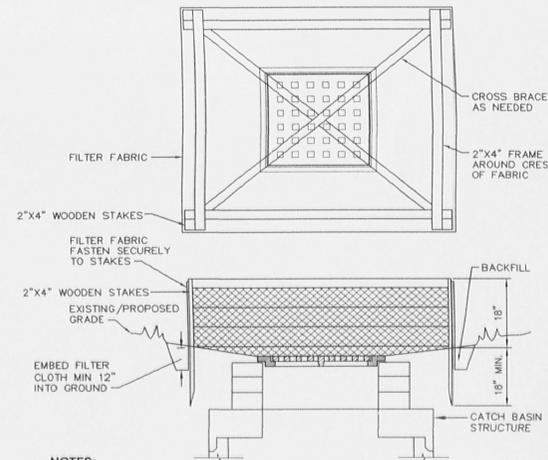
- NOTES:**
- AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
  - SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

**5 TEMPORARY SOIL STOCKPILE DETAIL**  
SCALE: NOT TO SCALE



- CONSTRUCTION ENTRANCE SPECIFICATIONS:**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR FEET (24') IF SINGLE ENTRANCE TO SITE.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50'.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**3 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
SCALE: NOT TO SCALE



- NOTES:**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
  - CUT FABRIC FROM CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED, OVERLAP TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT, WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE MINIMUM 18" DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.
  - MAXIMUM DRAINAGE AREA IS 1 ACRE.
  - INLET PROTECTION SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.

**6 TEMPORARY OUT OF PAVEMENT FILTER FABRIC DROP INLET PROTECTION DETAIL**  
SCALE: NOT TO SCALE

ISSUED FOR FINAL APPROVAL



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ORIGINAL SCALE IN INCHES

**THE Chazen COMPANIES**  
Engineers/Surveyors  
Planners  
Environmental Scientists

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HUDSON VALLEY FEDERAL CREDIT UNION  
**PROPOSED BRANCH - NYS ROUTE 300**  
**EROSION & SEDIMENT CONTROL DETAILS**  
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
JML	JML
date	scale
12/7/05	AS NOTED
project no.	10512.00
sheet no.	SD5

**SPDES GENERAL PERMIT GP-02.01 COMPLIANCE NOTES:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FOLLOWING:

- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL READ AND UNDERSTAND THE CONDITIONS OF THE "NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION (SPDES) GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITY", GP-02-01 FOR THIS PROJECT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS SHALL SIGN A COPY OF THE GENERAL PERMIT, GP-02-01 CERTIFICATION STATEMENT AS IDENTIFIED IN APPENDICES OF THE STORM WATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE WORK OUTLINED HEREIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL STORM WATER POLLUTION PREVENTION MEASURES OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN AND PROJECT DRAWINGS.
- THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION CONFERENCE WITH THE OWNER'S REPRESENTATIVES AT LEAST ONE WEEK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR/OWNER SHALL HAVE A QUALIFIED PROFESSIONAL, AS DEFINED WITHIN THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY PERMIT NO. GP-02-01, CONDUCT SITE INSPECTIONS PRIOR TO CONSTRUCTION, FOLLOWING THE COMMENCEMENT OF CONSTRUCTION, AT LEAST EVERY 7 CALENDAR DAYS, AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. REFER TO SWPPP FOR WHAT EACH INSPECTION SHALL CONSIST OF.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A QUALIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (HIRED BY CONTRACTOR/OWNER) SHALL CONDUCT AN ASSESSMENT OF THE SITE AND CERTIFY THAT THE APPROPRIATE EROSION AND SEDIMENT CONTROL STRUCTURES AS DEPICTED ON THE PLANS HAVE BEEN ADEQUATELY INSTALLED AND IMPLEMENTED. CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER CONCERNING EROSION AND SEDIMENT CONTROL STRUCTURES HAVE BEEN INSTALLED. REFER TO 'STORMWATER POLLUTION PREVENTION PLAN' FOR WHAT EACH INSPECTION SHALL CONSIST OF.
- THE OWNER/OPERATOR SHALL MAINTAIN A RECORD OF ALL EROSION AND SEDIMENT CONTROL INSPECTION REPORTS AT THE SITE IN A LOG BOOK. THE SITE LOG BOOK SHALL BE MAINTAINED ON-SITE AND BE MADE AVAILABLE TO THE PERMITTING AUTHORITY. THE OWNER/CONTRACTOR SHALL POST AT THE SITE, IN A PUBLICLY-ACCESSIBLE LOCATION, A SUMMARY OF THE SITE INSPECTION ACTIVITIES ON A MONTHLY BASIS.
- THE OWNER/OPERATOR SHALL FILE A NOTICE OF INTENT (NOI) WITH THE NYSDEC AND LOCAL GOVERNING AUTHORITY PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AND A NOTICE OF TERMINATION (NOT) WITH NYSDEC FOLLOWING CONSTRUCTION ACTIVITIES.

**CONSTRUCTION SEQUENCING NOTES:**

- PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC. AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
- PRIOR TO COMMENCING CLEARING, GRUBBING AND/OR EARTHWORK ACTIVITIES WITHIN THE SITE, THE CONTRACTOR SHALL INSTALL INLET AND OUTLET PROTECTION MEASURES (RIPRAP OVERFLOW WEIR(S), CULVERT INLET/OUTLET PROTECTION, ETC.)
- THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES AS REQUIRED.
- IMMEDIATELY FOLLOWING COMPLETION OR SUSPENSION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- UPON ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON ALL DISTURBED AREAS OF THE SITE, THE CONTRACTOR SHALL REMOVE THE CONSTRUCTION FABRIC FROM THE PRIMARY INLET OF THE OUTLET CONTROL STRUCTURE. THIS SHALL ONLY BE DONE WHEN THE PRIMARY OUTLET IS NO LONGER SUBMERGED.
- THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

EROSION AND SEDIMENT INSPECTION AND MAINTENANCE SCHEDULE					
STRUCTURE	DAILY	WEEKLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER COMPLETION OF CONSTRUCTION
SILT FENCE BARRIER	--	INSPECT	INSPECT	CLEAN/ REPLACE	REMOVE
STABILIZED CONSTRUCTION ENTRANCE	INSPECT	--	INSPECT	CLEAN/ REPLACE STONE AND FABRIC	REMOVE
DUST CONTROL	INSPECT	--	INSPECT	MULCHING/ SPRAYING WATER	N/A
VEGETATIVE ESTABLISHMENT	--	INSPECT	INSPECT	WATERING/ RE-SEEDING/ RE-MULCHING	PERMANENT
INLET PROTECTION	--	INSPECT	INSPECT	CLEAN/ REPAIR/ REPLACE	REMOVE

**EROSION AND SEDIMENT CONTROL MEASURES:**

- GENERAL MEASURES:**
- SURFACE WATER DAMAGE RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
  - AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
  - SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
  - PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

**PARTICULAR MEASURES - CONSTRUCTION ENTRANCE**

- STABILIZED CONSTRUCTION ENTRANCE, UTILIZED DURING CONSTRUCTION, SHALL BE MAINTAINED IN A CONDITION THAT SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- SOIL STOCKPILES: SILT FENCES SHALL BE CONSTRUCTED AROUND ALL STOCKPILES OF FILL, TOPSOIL, AND EXCAVATED OVERBURDEN THAT ARE TO REMAIN EXPOSED FOR PERIODS LESS THAN 21 DAYS. SILT FENCES SHALL BE ANCHORED AND MAINTAINED IN GOOD CONDITION UNTIL SUCH TIME AS SAID STOCKPILES ARE REMOVED AND STOCKPILING AREAS ARE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED. TOPSOIL AND FILL THAT IS TO REMAIN STOCKPILED ON-SITE FOR PERIODS GREATER THAN 21 DAYS SHALL BE STABILIZED BY SEEDING. PRIOR TO THE SEEDING OPERATION, THE STOCKPILED MATERIAL SHALL BE GRADED AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.

**TOPSOIL SPECIFICATIONS:**

- EXISTING EXCESS TOPSOIL TO BE REMOVED AND STORED IN TOPSOIL STOCKPILES SUFFICIENTLY REMOVED FROM OTHER EXCAVATION OR DISTURBANCE TO AVOID MIXING. SILT FENCE OR HAYBALES ARE TO BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.

**SITE PREPARATION:**

- COMPLETE ROUGH GRADING AND FINAL GRADE, ALLOWING FOR DEPTH OF TOPSOIL TO BE ADDED.
- SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE TEXTURED SUBSOIL AREAS. SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
- REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3 INCHES IN DIAMETER, AND OTHER LITTER.

**TOPSOIL MATERIALS:**

- THE FURNISHING OF NEW TOPSOIL SHALL BE OF A BETTER OR EQUAL TO QUALITY OF THE EXISTING ADJACENT TOPSOIL. IT SHALL MEET THE FOLLOWING CRITERIA:
  - TOPSOIL SHALL HAVE AT LEAST 2% BY WEIGHT OF FINE TEXTURED STABLE ORGANIC MATERIAL, AND NO GREATER THAN 8%.
  - TOPSOIL SHALL HAVE NOT LESS THAN 20% FINE TEXTURES MATERIAL (PASSING THE No. 200 SIEVE) AND NOT MORE THAN 15% CLAY.
  - TOPSOIL SHALL BE RELATIVELY FREE OF STONES OVER 1/2" DIAMETER, TRASH, NOXIOUS WEEDS, AND WILL HAVE LESS THAN 10% GRAVEL BY VOLUME.

**APPLICATION AND GRADING:**

- TOPSOIL SHALL BE DISTRIBUTED TO A UNIFORM DEPTH OVER THE AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR ON FROZEN SLOPES OR OVER ICE, SNOW, OR STANDING WATER.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.
- APPLY TOPSOIL IN THE FOLLOWING AMOUNTS FOR INTENDED USE:
  - MOWED LAWN: 4 TO 6 INCHES
  - UNMOWED AREA: 2 TO 4 INCHES

**VEGETATIVE COVER SPECIFICATIONS:**

**TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):**

- SITE PREPARATION (SAME AS PERMANENT VEGETATIVE COVER)
- SEED MIXTURES
  - RAPIDLY GERMINATING ANNUAL RYEGRASS 30 POUNDS PER ACRE
  - PERENNIAL RYEGRASS 100 POUNDS PER ACRE
  - CEREAL RYE 30 POUNDS PER ACRE
- SEEDING (SAME AS PERMANENT VEGETATIVE COVER)

**PERMANENT VEGETATIVE COVER (AFTER CONSTRUCTION):**

- SITE PREPARATION
  - BRING AREA TO BE SEED TO REQUIRED GRADE. A MINIMUM OF 4" OF TOPSOIL IS REQUIRED.
  - PREPARE SEEDBED LOOSENING SOIL TO A DEPTH OF 4-6 INCHES.
  - REMOVE ALL STONES OVER 1 INCH IN DIAMETER, STICKS AND FOREIGN MATTER FROM THE SURFACE.
  - LIME TO PH OF 6.5.
  - FERTILIZE AS PER SOIL TEST OR APPLY 200 LBS. OF 5-5-10 (NPK) OR EQUIVALENT PER ACR (4.6 LBS./1000 SQ. FT.)
  - INCORPORATE LIME AND FERTILIZER IN THE TOP 2-4 INCHES OF TOPSOIL.
  - SMOOTH AND FIRM THE SEEDBED.
- SEED MIXTURE FOR USE ON LAWN AREAS (AREAS TO BE MAINTAINED)
 

<b>ALTERNATE A</b> (SUNNY SITE)	65% KENTUCKY BLUE GRASS BLEND 20% PERENNIAL RYEGRASS 15% FINE FESCUE	85-114 LBS. PER ACRE 26-35 LBS. PER ACRE 19-26 LBS. PER ACRE 130-175 LBS. PER ACRE
<b>ALTERNATE B</b> (SHADY SITE)	80% BLEND OF SHADE TOLERANT KENTUCKY BLUEGRASS 20% PERENNIAL RYEGRASS	105-138 LBS. PER ACRE 25-37 LBS. PER ACRE 130-175 LBS. PER ACRE
- SEEDING
  - APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
  - MULCH SEEDED AREAS WITH HAY OR STRAW MULCH (2 TONS/ACRE).
  - IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT NOT TO DISLODGE PLANTING SOIL.
  - SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.

**EROSION AND SEDIMENT CONTROL NOTES:**

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH DRAFT NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, JANUARY 2004.
- THE CONTRACTOR SHALL ESTABLISH THE LIMIT OF DISTURBANCE FOR ANY PROPOSED SITE CLEARING OR GRADING.
- THE CONTRACTOR SHALL ESTABLISH THE LOCATION OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES (STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, TOPSOIL STOCKPILE AREA, ETC.) AND CLEAR SAID LOCATIONS FOR THEIR INSTALLATION.
- THE CONTRACTOR SHALL INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
- THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIERS AND TRAPS (SILT FENCE, BASIN TRAPS, OUTLET PROTECTION, ETC.) AND INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
- THE CONTRACTOR SHALL INSTALL RUNOFF CONTROL MEASURES (DIVERSIONS, OUTLET PROTECTION, ETC.) INSTALLING ADDITIONAL RUNOFF CONTROL MEASURES AS NEEDED DURING GRADING.
- CLEAR AND GRADE THE PROPOSED AREA OF DISTURBANCE.
- EXCESS SOIL SHALL BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. THE CONTRACTOR SHALL INSTALL SILT FENCE OR HAY BALES AROUND SOIL STOCKPILES.
- APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
- SEEDED AREAS SHALL BE MULCHED WITH STRAW OR HAY MULCH, SPREAD UNIFORMLY AT A RATE OF TWO (2) TONS PER ACRE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

**MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:**

**PERMANENT AND TEMPORARY VEGETATION:**

THE CONTRACTOR SHALL INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED VEGETATION SHALL BE REPAIRED AND RESTABILIZED IMMEDIATELY.

**STABILIZED CONSTRUCTION ENTRANCE:**

THE CONTRACTOR SHALL INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. CHECK FOR MUD, SEDIMENT BUILD-UP, AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCES AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

**SILT FENCE:**

THE CONTRACTOR SHALL INSPECT FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 2/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

**SOIL STOCKPILE:**

THE CONTRACTOR SHALL INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAYBALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS AND AFTER EVERY STORM EVENT THAT EQUALS OR EXCEEDS 1/2 INCH. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCKPILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

**DUST CONTROL:**

THE CONTRACTOR SHALL SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

**DEWATERING PITS:**

(IF REQUIRED) - THE CONTRACTOR SHALL INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND NEW PITS CONSTRUCTED AS NEEDED.

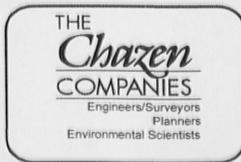
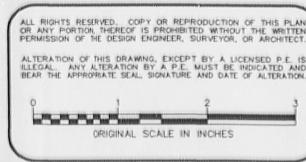
**SNOW AND ICE CONTROL:**

PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

ISSUED FOR FINAL APPROVAL

HUDSON VALLEY FEDERAL CREDIT UNION  
**PROPOSED BRANCH - NYS ROUTE 300**  
**EROSION & SEDIMENT CONTROL**  
**NOTES & DETAILS**  
 TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

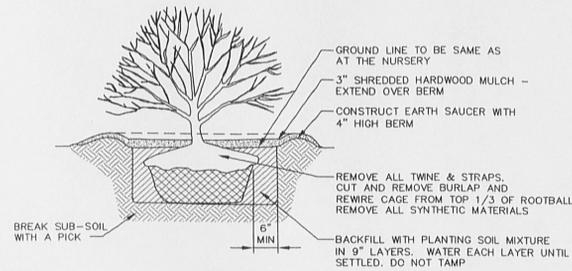
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**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

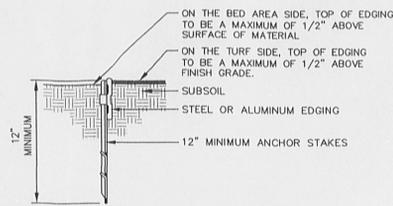
Dutchess County Office: 21 Fox Street Poughkeepsie, New York 12601 Phone: (845) 454-3880	Capital District Office: 547 River Street Troy, New York 12180 Phone: (518) 273-0055	Orange County Office: 358 Meeting Avenue Newburgh, New York 12550 Phone: (845) 567-1133	North Country Office: 100 Glen Street Glens Falls, New York 12801 Phone: (518) 812-0513
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rev.	date	description
6	4/04/07	ISSUED TO TURNER CONSTRUCTION
5	10/06/06	ISSUED FOR FINAL APPROVAL
4	8/02/06	REVISED PER WORKSHOP COMMENTS
3	7/31/06	REVISED PER LANDSCAPING COMMENTS
2	6/8/06	REVISED PER TOWN COMMENTS 5/24/06 FOR FINAL
1	5/16/06	REVISED PER TOWN COMMENTS FOR FINAL



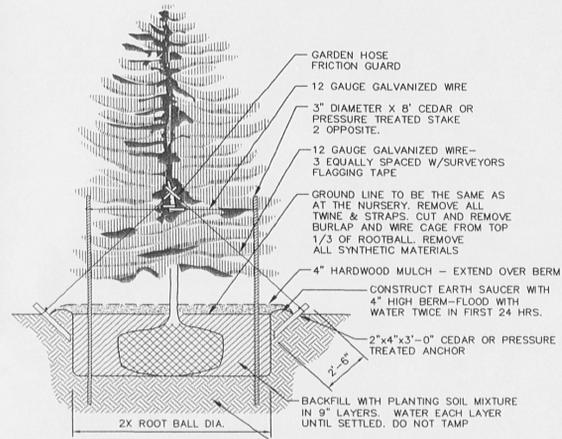
NOTE:  
 1. SPRAY WITH ANTIDISECCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS IF FOLIAGE IS PRESENT.

**1 SHRUB PLANTING DETAIL FOR ALL SHRUBS BALLED AND BURLAPPED**  
 SD7 SCALE: NOT TO SCALE



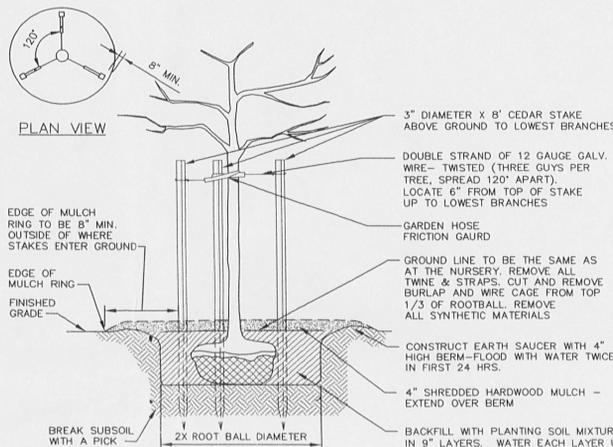
NOTES:  
 1. 16'-0" SECTIONS TO INCLUDE FIVE (5) 12" STAKES  
 2. 8'-0" SECTIONS TO INCLUDE THREE (3) 12" STAKES  
 3. COMPACT GRADES ADJACENT TO EDGING TO MINIMIZE SETTLING  
 4. CORNERS - CUT BASE OF EDGING HALF WAY AND FORM A CONTINUOUS CORNER.

**2 LANDSCAPE BED EDGING**  
 SD7 SCALE: NOT TO SCALE



NOTES:  
 1. SPRAY WITH ANTIDISECCANT IN ACCORDANCE WITH MFG.'S RECOMMENDATIONS.  
 2. TREES LESS THAN 3" CALIPER SHALL BE STAKED.  
 3. TREES GREATER THAN 3" CALIPER AND UP SHALL BE GUYED AND ANCHORED.  
 4. STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

**3 EVERGREEN PLANTING DETAIL**  
 SD7 SCALE: NOT TO SCALE



NOTE:  
 STAKES SHALL BE REMOVED AT THE END OF THE FIRST GROWING SEASON AFTER PLANTING

**4 PLANTING AND GUYING DETAILS-FOR TREES SMALLER THAN 3" CALIPER, BALLED AND BURLAPPED**  
 SD7 SCALE: NOT TO SCALE

**LANDSCAPING NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL CAREFULLY CORRELATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.
- THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER ALL CONDITIONS WHICH PRESENT PROPER EXECUTION OF THIS WORK.
- THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNUSED MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE.
- NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.
- QUALITY ASSURANCE:  
 A. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE LATEST EDITION OF "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.  
 B. SIZE AND GRADING: PLANT SIZES AND GRADING SHALL CONFORM TO THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC (AAN), UNLESS OTHERWISE SPECIFIED.  
 C. NURSERY SOURCE: OBTAIN FRESHLY DUG, HEALTHY, VIGOROUS PLANTS NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF 2 YEARS. PLANTS SHALL HAVE BEEN LINED OUT IN ROWS, ANNUALLY CULTIVATED, SPRAYED, PRUNED AND FERTILIZED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. ALL PLANTS SHALL HAVE BEEN TRANSPLANTED OR ROOT PRUNED AT LEAST ONCE IN THE PAST 3 YEARS. BALLED AND BURLAPPED PLANTS MUST COME FROM SOIL WHICH WILL HOLD A FIRM ROOT BALL. HEeled IN PLANTS AND PLANTS FROM COLD STORAGE ARE NOT ACCEPTABLE.  
 D. SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS OF TREES AND/OR SHRUB MATERIALS. IF REQUIRED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY AND PROPOSAL FOR USE OF EQUIVALENT MATERIAL. WHEN AUTHORIZED, ADJUSTMENTS OF CONTRACT AMOUNT (IF ANY) WILL BE MADE BY CHANGE ORDER.
- SEEDING & PLANTING SEASONS AND TIMING CONDITIONS:  
 A. UNLESS OTHERWISE DIRECTED IN WRITING, SEED LAWNS FROM MARCH 15 TO JUNE 15, AND FROM AUGUST 15 TO OCTOBER 15.  
 B. UNLESS OTHERWISE DIRECTED IN WRITING PLANT TREES AND SHRUBS FROM MARCH 15 TO JUNE 1, AND FROM AUGUST 15 TO OCTOBER 30.  
 C. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE LAWNS OR PLANTINGS ARE TO BE ESTABLISHED AND WORK IS COMPLETE, SHALL BE RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. WORK SHALL BE WITHIN THE SEASONAL LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER (TOPSOIL AND TEMPORARY COVER SEED MIX) WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.

**8. PRODUCTS:**  
 A. IMPORTED TOPSOIL: PROVIDE TOPSOIL CONFORMING TO THE FOLLOWING:

- ORIGINAL LOAM TOPSOIL: WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND FREE OF DENSE MATERIAL, HARDPAN, CLAY, STONES, SOD OR OTHER OBJECTIONABLE MATERIAL.
- CONTAINING NOT LESS THAN 5% NOR MORE THAN 20% ORGANIC MATTER IN THAT PORTION OF A SAMPLING PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°.
- CONTAINING A PH VALUE WITHIN THE RANGE OF 6.5 TO 7.5 ON THAT PORTION OF THE SAMPLE WHICH PASSES A 1/4" SIEVE.
- CONTAINING THE FOLLOWING WASHED GRADATIONS:

SIEVE DESIGNATION	% PASSING
1 1/4"	100
1/2"	97-100
NO 200	20-60

**LAWN SEED MIX**

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM PURITY	MINIMUM % GERMINATION
40%	KENTUCKY BLUE GRASS	95%	60%
35%	PERENNIAL RYE	98%	90%
25%	RED FESCUE	97%	85%
100%			

**TEMPORARY COVER SEED MIX**

AMOUNT BY WEIGHT	SPECIES OR VARIETY	MINIMUM PURITY	MINIMUM % GERMINATION
100%	ANNUAL RYEGRASS	98%	90%

- FERTILIZER:  
 I. FOR STARTER FERTILIZING: COMMERCIAL STARTER FERTILIZER, GRANULAR, NONBURNING PRODUCT CONTAINING 5% NITROGEN, 10% AVAILABLE PHOSPHOROUS, AND 5% WATER SOLUBLE POTASH (5-10-5).  
 II. FOR FINAL FERTILIZING: IF APPLIED IN SPRING SEASON, SHALL BE A SLOW RELEASE COMMERCIAL FERTILIZER, GRANULAR, WITH 3-1-2 NPK. IF APPLIED IN FALL SEASON, SHALL BE AS SPECIFIED IN (3.D.I) ABOVE.
- TREES, SHRUBS, GROUND COVERS, PERENNIALS, ANNUALS:  
 I. PLANTING SOIL MIXTURE: SHALL BE PREPARED IN BULK, AND CONTAIN THE FOLLOWING BY VOLUME:  
 30 PARTS TOPSOIL  
 10 PARTS PEAT  
 1 PART BONE MEAL  
 II. PEAT: BROWN TO BLACK IN COLOR, WEED AND SEED FREE, DRIED SPHAGNUM PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS AND CONFORMING TO NYSDOT 713-20.  
 III. BONE MEAL: FINELY GROUND, RAW, MINIMUM 4% NITROGEN AND 20% PHOSPHORIC ACID. IT SHALL BE DELIVERED IN SEALED BAGS SHOWING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- STAKES: 8 FEET LONG, 3 INCH DIA. CEDAR OR P.T. WOOD STAKES.
- HOSE: NEW, 2-PLY GARDEN HOSE NOT LESS THAN 1/2 INCH IN DIAMETER.
- WEED CONTROL FABRIC: SOIL CHECK AS MANUFACTURED BY BRIGHTON BYPRODUCTS CO. INC, NEW BRIGHTON, PA; MIRASCAPE OR MIRAFI GEOSYNTHETIC PRODUCTS, NORCROSS, PA, OR APPROVED EQUIVALENT.
- MULCH:  
 I. **LAWN AREAS**  
 OAT OR WHEAT STRAW, FREE OF WEEDS. AN ALTERNATIVE IS WOOD FIBER CELLULOSE IF HYDROSEEDING IS USED.  
 II. **PLANT BED AREAS**  
 GROUND OR SHREDDED HARDWOOD BARK, UNCOLORED. NO PIECES OVER 2 INCHES GREATEST DIMENSION. FREE FROM SAWDUST.
- EXECUTION:  
 A. LANDSCAPE WORK SHALL BE UNDERTAKEN AS SOON AS SITE AREAS ARE AVAILABLE.  
 B. TOPSOIL SHALL BE SPREAD NO LESS THAN 4" OVER SUB-GRADE MATERIAL. SOIL AMENDMENTS SHALL BE THOROUGHLY MIXED INTO THE TOP 4" OF TOPSOIL, FOLLOWING THE SPECIFICATIONS STATED BELOW.  
 C. PERFORM FINE GRADING TO FINISHED ELEVATION ONLY IMMEDIATELY PRIOR TO PLANTING. PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN SURFACE, FREE OF DEPRESSIONS OR RIDGES WITH A UNIFORM LOOSE, FINE TEXTURE.  
 D. FERTILIZING:  
 I. THE SOIL SHALL BE TESTED FOR PH AND LIME ADDED AS NECESSARY. ALL AMENDMENTS SHALL BE CHECKED AND APPROVED BY LANDSCAPE ARCHITECT BEFORE AMENDMENTS ARE MADE.  
 II. APPLY FERTILIZER AT RATE OF 4 LBS/1000 SF FOR LAWN AREAS.
- LAWN:  
 I. LAWN SEED MIX: SEED AT THE RATE OF 5 TO 6 LBS PER 1,000 SF.  
 II. TEMPORARY COVER SEED MIX: SEED AT THE RATE OF 3 TO 4 LBS PER 1,000 SF.  
 III. TEMPORARY COVER SEED MIX TO BE APPLIED ONLY FOR LATE FALL OR SUMMER SOIL STABILIZATION OUTSIDE ALLOWED SEEDING PERIODS.
- ALL SEEDED AREAS SHALL BE PROTECTED FROM EROSION BY ONE OF THE FOLLOWING METHODS:  
 I. A UNIFORM BLANKET OF STRAW APPLIED AT A RATE OF 2 TONS/ACRE MIN, TO BE APPLIED ONCE SEEDING IS COMPLETE.  
 II. WOOD FIBER CELLULOSE APPLIED WITH SEED MIX BY A HYDROSEEDER AT A RATE OF 2,000 LBS/ACRE.
- ALL SEEDED SLOPES 3:1 OR GREATER SHALL BE PROTECTED FROM EROSION WITH JUTE MESH OR APPROVED EQUAL.
- ALL NEWLY PLANTED AREAS SHALL BE KEPT MOIST BY WATERING UNTIL GRASSES AND GROUND COVERS ARE WELL ESTABLISHED. THE LANDSCAPE CONTRACTOR MUST WATER PLANT MATERIAL WHEN NECESSARY FOR 60 DAYS AFTER INSTALLATION.
- LAWNS ARE TO BE WARRANTED UNTIL THEY BECOME ESTABLISHED, UNTIL FINAL ACCEPTANCE, AND NOT LESS THAN 60 DAYS AFTER COMPLETION OF ALL WORK. TREES, SHRUBS, GROUND COVERS, AND PERENNIALS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING POOR GROWTH AND DEATH, EXCEPT WHEN RESULTING FROM OWNER NEGLECT. INCIDENTS THAT ARE BEYOND THE CONTROL OF THE LANDSCAPE INSTALLER AND DAMAGE OR ABUSE BY OTHERS, FOR AT LEAST ONE FULL YEAR AFTER PROJECT COMPLETION.

ISSUED FOR FINAL APPROVAL



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**THE Chazen COMPANIES**  
 Engineers/Surveyors  
 Planners  
 Environmental Scientists

**CHAZEN ENGINEERING & LAND SURVEYING CO., P.C.**

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rev.	date	description
6	4/04/07	ISSUED TO TURNER CONSTRUCTION
5	10/06/06	ISSUED FOR FINAL APPROVAL
4	8/02/06	REVISED PER WORKSHOP COMMENTS
3	7/31/06	REVISED PER LANDSCAPING COMMENTS
2	6/8/06	REVISED PER TOWN COMMENTS 5/24/06 FOR FINAL
1	5/16/06	REVISED PER TOWN COMMENTS FOR FINAL

HUDSON VALLEY FEDERAL CREDIT UNION  
**PROPOSED BRANCH - NYS ROUTE 300 LANDSCAPING DETAILS**  
 TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

drawn	checked
	JML
date	scale
12/7/05	AS NOTED
project no.	10512.00
sheet no.	SD7

