

PB# 97-41

**BLOOMING GROVE OPERATING
PHASE 3**

52-1-30.23

Approved Phase III 4/27/98

Main File # 91-22

Phases :	File #
II	= 97-40
III	= 97-41 ✓
IV	= 97-42
V	= 97-43

PB# 97-41

Blooming Grove
Oper.

(Phase III)

See Additional

* maps *

97-41 Blooming Grove Oper, Sub.
over All Proj. - Phase III
number is 91-22 Tolman Rd.

Map Number 177-98 City []
Section 52 Block 1 Lot 30.23 Town [x] Village [] New Windsor

97-41

Title: Blooming Grove Operating Co.
Phase III (16 sheets)

Dated: June 19, 1997 (Rev.) Filed April 28, 1998

Approved by Edward Stent Jr.

on April 27, 1998

Record Owner Blooming Grove Operating Co

DONNA L. BENSON
Orange County Clerk

USB UNION STATE BANK

Do business with us, do better with us.

July 15, 2003

Town of New Windsor
555 Union Avenue
New Windsor, N.Y. 12553

Re: Letter of Credit No. 1946

Dear Sir or Madam:

This letter will serve as notification that the following Letter of Credit matures on July 12, 2003 and is being renewed for additional year.

The next maturity date will be July 12, 2004

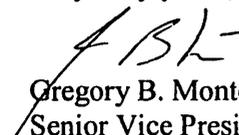
Customer: Highland Operating Company Inc.

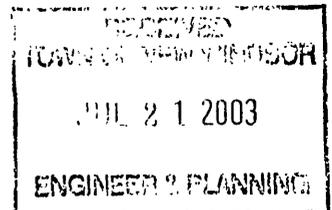
Amount - \$63,097.50

LCNo. 1946

In accordance with the original letter of credit, dated July 12, 2002, all other terms and conditions remain the same.

Very truly yours,


Gregory B. Monteith
Senior Vice President



Corporate Headquarters

USB Financial Center

100 Dutch Hill Road, Orangeburg, NY 10962

845-365-4600

www.unionstate.com

Convenient Locations Throughout the Metropolitan Area

Customer Service Center

845-365-4811

1-800-616-3491

24 Hour Telephone Banking

845-624-2008

1-800-ASK-USB1
(Outside 845 Area Code)



cc: RDMcG
Jim Pullar
Myra



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

- Main Office
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(914) 582-8640
- Branch Office
507 Broad Street
Milford, Pennsylvania 18337
(717) 296-2766

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS**

REVIEW NAME: BLOOMING GROVE OPERATING MAJOR SUBDIVISION (PHASE III)

PROJECT LOCATION: TOLEMAN ROAD
SECTION 52-BLOCK 1-LOT 30.23

PROJECT NUMBER: 97-41 (FORMERLY 91-22)

DATE: 10 DECEMBER 1997

DESCRIPTION: THIS IS PHASE III OF THE OVERALL MAJOR SUBDIVISION. THIS PHASE CONSISTS OF THIRTEEN (13) BUILDING LOTS (PLUS THE REMAINDER) OF THE OVERALL THIRTY FIVE (35) LOTS.

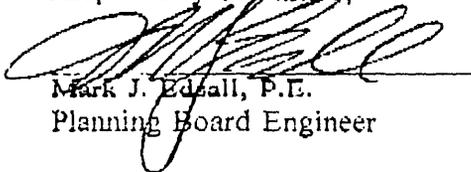
1. The overall subdivision received preliminary approval and is returning to the Planning Board for final approval on a phased basis. Phase III involves development of the north loop of Road A (Melissa Lane), with thirteen (13) lots. Phase III has received a Certificate of Approval from the Orange County Department of Health.
2. Based on the above, I see no problem in the Board considering conditional final subdivision approval for this application. I suggest the following conditions be included, in addition to any others established by the Board:
 - a. That the public improvement construction estimate amount be established and approved by the Town Board, including the inspection review fee.
 - b. That the Applicant submit the required Offers of Dedication, including metes and bounds descriptions for roadways and related easements to the Town Attorney.
 - c. The Applicant submit the necessary title insurance to the Town Attorney for the involved roadway.
 - d. That the Applicant pay all appropriate fees in connection with this subdivision approval.

**TOWN OF NEW WINDSOR
PLANNING BOARD
REVIEW COMMENTS
PAGE 2**

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MAJOR SUBDIVISION (PHASE III)
PROJECT LOCATION: TOLEMAN ROAD
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PROJECT NUMBER: 97-41 (FORMERLY 91-22)
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- e. That the Applicant resolve an outstanding issue regarding construction of the Phase I access roadway off Toleman Road. This issue involves concerns identified by then Highway Superintendent Fred Fayo and Engineer Richard McGoey.
- f. That the Applicant insure that the filing of this subdivision creates only subdivision lots for Phase III, with Phases IV and V remaining as a single "remainder parcel".

Respectfully submitted,



Mark J. Edall, P.E.
Planning Board Engineer

MJEmk

A:BLOOIII.mk

BLOOMING GROVE OPERATING SUBDIVISION

(TOLEMAN ESTATES)

PHASE III – APPROVED MAPS

P.B. #97-41

~~ADDITIONAL~~ SIGNED PLANS – ROLLED IN TOWN
CLERK'S VAULT

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE: PHIII

STATUS [Open, Withd]
A [Disap, Appr]

FOR PROJECT NUMBER: 97-41

NAME: BLOOMING GROVE OPERATING CO. - PHASE III
APPLICANT: BLOOMING GROVE OPERATING CO.

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
04/27/98	PLANS STAMPED	APPROVED
12/10/97	P.B. APPEARANCE	APPR. SUB. TO MARK
12/03/97	WORK SHOP APPEARANCE	NEXT AGENDA

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
APPROVAL

FOR PROJECT NUMBER: 97-41

NAME: BLOOMING GROVE OPERATING CO. - PHASE III
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	DESCRIPTION-----	TRANS	---AMT---CHG	-AMT-PAID	---BAL---DUE
04/22/98	SUB. APPROVAL FEES	CHG	460.00		
04/23/98	REC. CK. #3002	PAID		460.00	
		TOTAL:	460.00	460.00	0.00

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD FEES
RECREATION

FOR PROJECT NUMBER: 97-41

NAME: BLOOMING GROVE OPERATING CO. - PHASE III
APPLICANT: BLOOMING GROVE OPERATING CO.

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
04/22/98	13 LOT RECREATION FEE	CHG	6500.00		
04/23/98	REC. CK. #3001	PAID		6500.00	
		TOTAL:	6500.00	6500.00	0.00

DISCUSSIONBIAGINI

MR. EDSALL: For the minutes, reference being the undated memo to Myra from Vincent Biagini, Blooming Grove Operating Company. They are looking for permission to build two model homes in Section 3 and the reason why they have to ask permission is because they haven't finalized the filing of the plan. I was explaining to Mike Babcock the fact that the reason why they are delayed in getting the plan filed, two problems, one we're trying to straighten out the bond estimate, how it was split up between phases 3, 4 and 5 and get all the fees straightened out and get that number back to Vince so we can get the bank to issue the letter of credit. There was some delay in doing that because there was problems in the numbers. I had to make it out to the field, at one point, it snowed, we couldn't check to see what was done, wasn't done, there was some delay beyond his control, that has been resolved. The bank has been calling me once a week, they want the numbers so they can issue the letter of credit. I don't believe anybody is holding it up. I don't see any reason why we can't work. He's been very cooperative as of late.

MR. PETRO: Any objections?

MR. LANDER: No.

MR. PETRO: Motion to adjourn.

MR. LUCAS: So moved.

MR. LANDER: Second it.

ROLL CALL

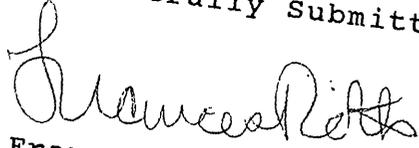
MR. ARGENIO	AYE
MR. LUCAS	AYE
MR. LANDER	AYE

MR. STENT
MR. PETRO

AYE
AYE

32

Respectfully Submitted By:



Frances Roth
Stenographer

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 04/28/98

PAGE: 1

LISTING OF PLANNING BOARD BOND DATA

FOR PROJECT NUMBER: 97-41

NAME: BLOOMING GROVE OPERATING CO. - PHASE III
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	EXP-DATE	TYPE	DESCRIPTION-----	RECD-AMT	- PAID-OUT
04/07/98	04/07/99	LOC	PHASE III PERF. BOND	37637.50	-----
			TOTAL:	37637.50	0.00



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.

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New Windsor, New York 12553
(914) 562-8640
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400 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765

**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF New Windsor P/B # 97-41

WORK SESSION DATE: 18 MAR 98 APPLICANT RESUB.
REQUIRED:

REAPPEARANCE AT W/S REQUESTED: _____

PROJECT NAME: BG Of Co. Ph III

PROJECT STATUS: NEW _____ OLD X

REPRESENTATIVE PRESENT: Vince B. 567-1910

MUNIC REPS PRESENT: BLDG INSP. _____

FIRE INSP. X

ENGINEER X

PLANNER _____

P/B CHMN. _____

OTHER (Specify) _____

496-0451

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

Phase III

needs amt for bond so

map can be filed.

Cc of JCE/ALB.

BLOOMING GROVE OPERATING CO. INC.
PO BOX 479
WASHINGTONVILLE, NY 10992
PHONE 914-567-1910
FAX 914-567-8387

To: Myra – Town of New Windsor Planning Board

From: Vince Biagini

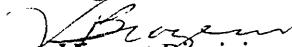
Dear Myra:

Let this letter serve as my request to ask the planning board for permission to build 2 model homes in Section III Toleman Estates approved section parcel of 14 lots.

At present, inspection fees are paid and the road, drainage, curbing is completed in this section. The remaining items are: park fees, letter of credit and approval fees. These are immediately available.

As the weather is getting better for the new construction market, I would like to get started and hope permission can be granted.

Regards,


Vincent Biagini

cc: Mark Edsal, Town Engineer

cc: M.B.

BLOOMING GROVE OPERATING SUBDIVISION - PHASE III
(97-41) TOLEMAN ROAD

Mr. Gerald Zimmerman appeared before the board for this proposal.

MR. ZIMMERMAN: So in keeping with that now that this lot is out of the property and these two lots were out before we have remaining portion of the property which we developed as Phase 3 and the remaining land and that is the map.

MR. PETRO: Franny, let the minutes reflect that we're now reviewing the Blooming Grove Operating Subdivision of Phase 3.

MR. ZIMMERMAN: Phase 3 consists of 17 building lots which we would like to have approved and these 17 lots will be, you know, would be available to be built on and served by a portion of the roadway which is basically the upper portion of the loop.

MR. LUCAS: The lower portion exists.

MR. ZIMMERMAN: The whole roadway. But we're not at this point seeking, we have to get health department approval yet on these other two phases, Phase 4 and Phase 5.

MR. LANDER: All your drainage would work stopping at that point?

MR. ZIMMERMAN: That's right.

MR. EDSALL: Can I just ask one question? Let's just check the numbers, isn't this 13 single family lots plus the remainder?

MR. ZIMMERMAN: I'm sorry, 13 lots plus the remainder.

MR. EDSALL: And the health department has approved, they have approved it as a 14 lot subdivision because they count the remainder as a lot.

MR. ZIMMERMAN: Right, it's 13 lots, I apologize, it's

13 lots in Phase 3 plus the remaining land. These 13 lots would be built on and served by this portion of the roadway and we questioned all public improvements have been in place.

MR. EDSALL: Ron, what we did on the drainage the breakoff at that turnaround or that intersection provides for a turnaround temporary and also all the drainage from that point goes down that side of the loop so that is a good place to break it.

MR. PETRO: We're just phasing this again, it's almost as simple as the first one, just a little more complicated.

MR. BABCOCK: Gerry, why it's so confusing when we're looking at the paperwork this whole project that we're talking about tonight is actually Phase 2 in itself because there was a Phase 1 and a Phase 2 of this project already done, so the Phase 2 is this remainder that he's got all colored up there was 2 lot subdivision beginning with Phase 1 then the rest of these so now he's phasing Phase 2 of this project.

MR. EDSALL: Mike, if you notice all his paperwork with the health department and town is calling it Phase 2 revised cause he's, as you say, he's breaking Phase 2 up but he's now making a new Phase 2 amending the way the board's treating it.

MR. PETRO: Why don't you make 13 lots Phase 2 and this one lot Phase 3 because you're going to go to Phase 2 next.

MR. ZIMMERMAN: I just felt that this was an easier one to get approved and sell as a single lot, that is why I made that no improvements or anything like that.

MR. PETRO: Is there any wetlands on Phase 2?

MR. ZIMMERMAN: Yeah, it's shown on the other sheets.

MR. PETRO: Mark, why don't you discuss A, B, C and D, you felt they need to be subject-to's.

MR. EDSALL: No, I think as with any major subdivision or subdivision with public improvements and offers of dedication, those are conditions of approval and to make things more convenient for the board, I have listed six recommended conditions which they involve and A, the public improvement bond estimate and that approval of same by the town board, Gerry's already submitted that to me, we just need to get the town board to approve that amount and obviously inspection fees calculated based on that, B, is just saying as always we need offers of dedication and metes and bounds descriptions that need to be reviewed by the town attorney, C is just asking for the title insurance for the property that is involved in the dedication which is another normal procedure and D, which Myra always like to see is a condition that it be a condition that all the fees be paid, E, on the next page, is an outstanding issue that maybe resolved, Gerry believes that it was resolved but there may just not be a record at this point of it. There was a concern about the sub-base that was used on the road for Phase 1 and Dick McGoey is still listing that as an open item so I am suggesting that the board make a condition of approval for this Phase 3 straightening out any concerns about the road that is effectively a feeder road to this subdivision so we get that resolved at this point. So that is something that Jerry will have to get to go with Jim Pullar and Dick McGoey on. Last comment one which I think would be a safety valve for us, we have to make sure that when they file Phase 3 that they ensure that Phases 4 and 5 don't get shown up as lots which happened to us on Rock Tavern, they do not show up as individual lots shown as a single balance parcel until this board approves them so straightforward conditions I just am trying to make it easier by listing them.

MR. LANDER: Make a motion that we grant conditional final on the Blooming Grove Operating.

MR. LUCAS: Second it.

MR. KRIEGER: Phase 3 condition of those items listed on Mark's comments.

MR. PETRO: Mark's already read into the minutes.

MR. LUCAS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final conditional approval to the Blooming Grove Operating Major Subdivision on Toleman Road for Phase 3 and again, well, there are conditions, they have been read into the minutes by the planning board engineer and they would certainly need to be met before any plans are signed. With that, is there any further discussion from the members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. STENT	AYE
MR. LANDER	AYE
MR. LUCAS	AYE
MR. PETRO	AYE

ZIMMERMAN ENGINEERING & SURVEYING, P.C.

Page 17M

Harriman, N.Y. 10926

(914) 782-7976

FAX: 782-3148

November 18, 1997

GERALD ZIMMERMAN P.E. L.S.

Mr. Mark Edsall, P.E.
McGoey, Hauser & Edsall
Consulting Engineers
45 Quassaick Avenue
New Windsor, N.Y. 12550

Ref: Workshop meeting November 12, 1997
Job No. 85256-Blooming Grove

Enclosed for your use are copies of bond estimates previously submitted as requested and for phase 5 for your review as follows:

1. Bonds estimate for phase 1 dated October 8, 1996
2. Bonds estimate for phase 3 dated August 12, 1997
3. Bonds estimate for phase 4 dated October 21, 1997
4. Bonds estimate for phase 5 dated November 17, 1997

Note phase 2 revised did not require bond estimate since it included only lot number 35 on Toleman Road

In order to calculate the dollar value that remains for phase 1 and phase 3 respectively the amounts are as follows.

Phase 1--all items on above bond estimate have been completed except:

- a) R.O.W. monuments: 4 at \$250.00 each = \$600.00
 - b) pavement top course: 2" hot mix asphalt concrete at say 1/3 of 1,776 sy at \$12.00/sy = \$7,400.00
- Total remaining dollar value = \$8,000.00(ph. 1)

Phase 3--all items have been completed except:

- a) Rip Rap channel: 1725 s f at \$5.00 s f = \$8,625.00
- b) drainage channel: 200 feet at \$4.00 /ft = \$800.00
- c) pavement top course: 2 inch hot mix asphalt concrete at say 1/3 Of 4,900 s y. = \$20,416.66, say \$20,417.00
- d) R.O.W. monuments: 10 at \$150.00 each = \$1,500.00

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 702-7970

FAX: 782-3143

GERALD ZIMMERMAN P.C. L.S.

Total remaining dollar value = \$31,342.00 (phase 3)

We will be submitting final plans to the planning board for final approval and they will include Town of New Windsor file numbers for each phase.

Very truly yours,

Gerald Zimmerman

FAIRVIEW HOMES

March 13, 1998

Facsimile Letter

Town of New Windsor
555 Union Ave
New Windsor, NY 12553

Attn: Myra Mason, Planning Board Secretary

Re: Toleman Estates Section II

Dear Myra:

Regarding Toleman Road Subdivision, Section 2; I would like to file our map. I understand that a bond in the amount of \$_____ needs to be posted and park fees paid for 14 lots.

I am prepared to do this now and need verification of the amount. Pawling Savings Bank will be preparing my letter of credit.

Thank you for your cooperation and continued assistance.

Very truly yours,

Fairview Homes Inc.

Vincent Biagini

cc: Mark Edsall
cc: Zimmerman Engineering
cc: Morton Marshak, Atty

P O BOX 479 • WASHINGTONVILLE NY • 10992
PHONE: 914-567-1910 • FAX: 914-567-8387



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CONSULTING ENGINEERS P.C.

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**TOWN OF NEW WINDSOR
 PLANNING BOARD
 REVIEW COMMENTS**

REVIEW NAME: BLOOMING GROVE OPERATING
 MAJOR SUBDIVISION (PHASE III)

PROJECT LOCATION: TOLEMAN ROAD
 SECTION 52-BLOCK 1-LOT 30.23

PROJECT NUMBER: 97-41 (FORMERLY 91-22)

DATE: 10 DECEMBER 1997

DESCRIPTION: THIS IS PHASE III OF THE OVERALL MAJOR SUBDIVISION.
 THIS PHASE CONSISTS OF THIRTEEN (13) BUILDING LOTS
 (PLUS THE REMAINDER) OF THE OVERALL THIRTY
 FIVE (35) LOTS.

1. The overall subdivision received preliminary approval and is returning to the Planning Board for final approval on a phased basis. Phase III involves development of the north loop of Road A (Melissa Lane), with thirteen (13) lots. Phase III has received a Certificate of Approval from the Orange County Department of Health.
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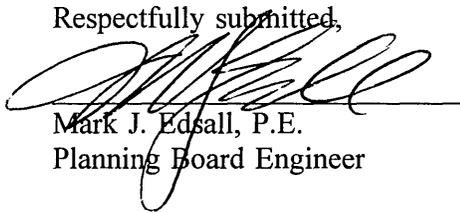
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Respectfully submitted,



Mark J. Edsall, P.E.
Planning Board Engineer

MJEmk

A:BLOOIII.mk



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

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**PLANNING BOARD WORK SESSION
RECORD OF APPEARANCE**

TOWN/VILLAGE OF New Windsor P/B # 97-41

WORK SESSION DATE: 3 DEC 1997 APPLICANT RESUB.
REQUIRED: Plan In

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Blooming Grove Op. Co. Phase III

PROJECT STATUS: NEW X OLD _____

REPRESENTATIVE PRESENT: Cory Z

MUNIC REPS PRESENT:

BLDG INSP.	_____
FIRE INSP.	<u>X</u>
ENGINEER	<u>X</u>
PLANNER	_____
P/B CHMN.	_____
OTHER (Specify)	_____

ITEMS TO BE ADDRESSED ON RESUBMITTAL:
Phase III

X

- P/E breakdown @ MJE
- Description + Del. Dates (Attch?)
- Fees -

Agenda 1 -

12/10/97 agenda
for Cond Fund



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553
Telephone: (914) 563-4615
Fax: (914) 563-4693

NEW WINDSOR PLANNING BOARD MEETING
TOWN HALL
WEDNESDAY, DECEMBER 10, 1997 - 7:30 P.M.

TENTATIVE AGENDA

CALL TO ORDER → ROLL CALL → APPROVAL OF MINUTES DATED: 10/8/97 & 10/22/97

ANNUAL MOBILE HOME PARK REVIEW:

- a. SILVER STREAM MOBILE HOME PARK - RT. 207 (CLARK)

TO SHOW

PUBLIC HEARING:

PLIM
APPROVED

- 1. SHANNON ACRES SUBDIVISION - (97-11) DEAN HILL & MT. AIRY ROADS

POSSIBLE Z.B.A. REFERRALS:

- 2. Mans, Clarence - Vails Gate Annex Amended Site Plan (95-35) (Cuomo)
- 3. Flannery Animal Hospital Site Plan (97-44) Rt. 300 (Shaw)

TO ZBA

REGULAR ITEMS:

APPROVED

- 4. Jagger Subdivision (92-5) Union Avenue (Kartiganer)
- 5. Mobil Oil Site Plan (97-25) Rt. 32 & Rt. 94 (Tyree Engineering)

SUBJECT OF HIGHWAY

MYRA SEND MAP TO HIGHWAY

APPROVED

- 6. Blooming Grove Operating Subdivision - PHASE II (97-40) Toleman Rd (Zimmerman)

SUBJECT

- 7. Blooming Grove Operating Subdivision - PHASE III (97-41) Toleman Road (Zimmerman)

APPROVED

- 8. Windsor Crest Amended Site Plan (97-45) Rt. 32 (Shaw)

PRESUBMISSION:

RETURN

- 9. Destina Theaters Amended Site Plan - Squire Plaza (Kartiganer)

CORRESPONDENCE:

APPROVED

- 10. C & R ENTERPRISES SUB - REQUEST FOR REAPPROVAL (90-31)

DISCUSSION:

OK WITH P.B.

- 11. "Mommy & Me" classes at site on corner of Rt. 32 & Union Ave. (Engineer)

ADJOURNMENT

MYRA TO CALL

(NEXT MEETING - JANUARY 14, 1998)

Wilson Jones • Carbonless • S1612-4WCL Duplicate • S1644-4WCL Triplicate



RECEIPT NUMBER

DATE August 14, 1997

91-22

RECEIVED FROM Fairview Homes

Address P.O. Box 479 - Washingtonville, N.Y. 10992

Eleven Thousand Two Hundred Twelve 00/100 DOLLARS \$11,212.00

FOR 4% Inspection Fee

ACCOUNT		HOW PAID	
BEGINNING BALANCE	11,212.00	CASH	
AMOUNT PAID	11,212.00	CHECK	# 7696
BALANCE DUE	-0-	MONEY ORDER	

BY Merna Mason, Secretary

71-22
400 fee

FAIRVIEW HOMES, INC.
P.O. BOX 479
WASHINGTONVILLE, NEW YORK 10992

EXPLANATION	AMOUNT
<u>Insp fee</u>	
<u>Balance</u>	<u>24-27</u>
	<u>24-34</u>

50-235/219
7696

JNT Eleven Thousand Two Hundred Twelve 00/100 DOLLARS

E	TO THE ORDER OF	DESCRIPTION	CHECK NUMBER
97	<u>Town of New Windsor</u>		<u>7696</u>

CHECK AMOUNT
\$ 11,212.00

THE BANK OF NEW YORK
353 WINDSOR HIGHWAY
NEW WINDSOR, NEW YORK 12550 604

Wm O Beggs

⑈007696⑈ ⑆021902352⑆ ⑈6809106436⑈

*Amount Credited
by Mark Ball*

SUBDIVISION FEES - TOWN OF NEW WINDSOR

MAJOR SUBDIVISION FEES:

APPLICATION FEE.....\$ 100.00

ESCROW:

RESIDENTIAL:

 LOTS @ 150.00 (FIRST 4 LOTS).....\$ _____
 LOTS @ 75.00 (ANY OVER 4 LOTS).....\$ _____

COMMERCIAL:

 LOTS @ 400.00 (FIRST 4 LOTS).....\$ _____
 LOTS @ 200.00 (ANY OVER 4 LOTS).....\$ _____

TOTAL ESCROW DUE....\$ _____

* * * * *

APPROVAL FEES MAJOR SUBDIVISION:

PRE-PRELIMINARY PLAT APPROVAL.....\$ ~~100.00~~
PRELIMINARY PLAT APPROVAL (150.00 OR 15.00/LOT).....\$ 195.00
FINAL PLAT APPROVAL (\$100.00 + \$5.00/LOT).....\$ 165.00
FINAL PLAT SECTION FEE.....\$ 100.00
BULK LAND TRANSFER...(\$100.00).....\$ _____

TOTAL SUBDIVISION APPROVAL FEES.....\$ 460.00

* * * * *

RECREATION FEES:

13 LOTS @ \$ 500.00 PER LOT.....\$ 6,500.00

* * * * *

THE FOLLOWING CHARGES ARE TO BE DEDUCTED FROM ESCROW:

PLANNING BOARD ENGINEER FEES.....\$ _____
PLANNING BOARD ATTORNEY FEES.....\$ _____
MINUTES OF MEETINGS.....\$ _____
OTHER.....\$ _____

* * * * *

PERFORMANCE BOND AMOUNT.....\$ Posted L. O. C.

4% OF ABOVE AMOUNT.....\$ _____

ESTIMATE OF PRIVATE IMPROVEMENTS: \$ _____

2% OF APPROVED COST ESTIMATE\$ _____

IRREVOCABLE STANDBY LETTER OF CREDIT NO. #98-022

Pawling Savings Bank
1301 Route 52
P.O. Box 7000
Fishkill, New York 12524.
April 7, 1998

Gentlemen:

At the request of **Highland Operating LTD.**, (the "customer"), we hereby establish in your favor this Irrevocable Standby Letter of Credit in the amount of **Thirty Seven Thousand Six Hundred Thirty Seven and 50/100 Dollars (\$37,637.50)** ("the Standby Letter of Credit"). Subject to the terms and conditions set forth below, this Standby Letter of Credit authorizes you to draw on us an amount not exceeding **Thirty Seven Thousand Six Hundred Thirty Seven Thousand and 50/100 Dollars (\$37,637.50)** in the aggregate. You may obtain the funds available under this Standby Letter of Credit at any time and from time to time prior to the Expiration Time (as hereinafter defined) by presentation of the following documents to our office at 1301 Route 52 P.O. Box 7000, Fishkill, New York 12524, Attention: Letter of Credit Department:

1. your sight draft drawn on us in the form attached as Exhibit 1 hereto, drawn by and payable to you, and bearing the clause: "DRAWN UNDER [BANK] IRREVOCABLE STANDBY LETTER OF CREDIT NUMBER #98 - 022 DATED April 7, 1998."
2. a certificate in the form attached as Exhibit 2 hereto, signed by any person purporting to be an officer of the beneficiary.

Each draft presented for payment against this Standby Letter of Credit and each accompanying certification must be dated the date of its presentation or transmission to us, and may be presented or transmitted only on a Banking Day. As used in this Standby Letter of Credit, "Banking Day" shall mean any day other than a Saturday, Sunday, legal holiday or a day on which banking institutions in New York are authorized or required to close.

We hereby agree to honor and to pay the amount of each draft drawn under and in compliance with the terms of this Standby Letter of Credit which is presented or transmitted to us, with the certificate specified above, before the Expiration Time. Payment hereunder will be made in immediately available United States funds by wire transfer to the account specified in such draft, and all funds so wired will be received in the specified account no later than 3:00 p.m., New York time ("Local Time"), on the second Banking Day after the date of our receipt of such draft and accompanying certificate, if we received the same at or before 11:00 a.m. Local Time, or no later than 3:00 p.m. Local Time on the third Banking Day after the date of our receipt of such draft and accompanying certificate, if we receive the same after 11:00 a.m. Local Time.

This Standby Letter of Credit is not subject to offset of any kind, whether for claims against the Company, you or any subsequent holder or transferee of the Note, or otherwise, and regardless of how any such claims may arise. We hereby agree with the drawers, endorsers and bona fide holders of all drafts drawn under and in compliance with the terms of this Standby Letter of Credit that we will honor such drafts upon presentation or transmission, notwithstanding any claims of illegality, unenforceability or fraud in connection with the transaction, and we hereby waive the right to defer the honor of any such drafts.

If a demand for payment made by you hereunder does not, in any instance, conform to the terms and conditions of this Standby Letter of Credit, we will give you prompt notice that the purported negotiation was not effected in accordance with this Standby Letter of Credit, stating the reasons therefor and that we are holding any documents at your disposal or are returning them to you, as you may elect by notice to us in writing. Upon being notified that the purported negotiation was not effected in conformity with this Standby Letter of Credit, you may attempt to correct any such nonconforming demand for payment.

Drafts presented or transmitted to us under this Standby Letter of Credit may not exceed the stated amount available to you under this Standby Letter of Credit, as such amount may vary from time to time. Upon the payment of each such draft the maximum amount of our commitment hereunder, as the same may have been reduced theretofore, will be reduced (or further reduced, as the case may be) by the amount of such payment.

This Standby Letter of Credit will expire at (a) such time as this Standby Letter of Credit is surrendered to us by you, or (b) subject to the renewal of this Standby Letter of Credit as specified below at 3:00 p.m., Local Time on April 7, 1999 whichever of (a) or (b) is earlier (the "Expiration Time").

This Standby Letter of Credit will be automatically renewed annually until April 7, 1999, unless, 30 days prior to its expiration date of any future annual expiration date, we notify you by registered mail that we will not renew this Standby Letter of Credit. Upon receipt of that notice, you will have the right to draw against the amount remaining available under this Standby Letter of Credit by presentation or transmission of your clean sight draft, without any accompanying statement.

This Standby Letter of Credit may not be revoked or amended without your prior written approval.

This Standby Letter of Credit is not transferable or assignable.

If at any time to the Expiration Time we receive a certificate signed by you stating that this Standby Letter of Credit has been lost, stolen or destroyed, we will issue to you a replacement Standby Letter of Credit bearing the same number and containing the same terms and conditions as, and in the amount then available for drawing under, this Standby Letter of Credit.

This Standby Letter of Credit will be governed by and construed in accordance with the Uniform Customs and Practice for Documentary Credits (1983 Revision), International Chamber of Commerce Publication No. 400, (the, "Uniform Customs and Practice") and , to the extent not inconsistent therewith, the laws of the State of New York; provided, however that:

- a. Notwithstanding Article 19 of the Uniform Customs and Practice, if this Standby Letter of Credit shall be properly drawable upon us prior to the Expiration Time during an interruption of business as described in Article 19, then we will be specifically authorized and agree to effect payment in accordance with such draw, so long as the Standby Letter of Credit is drawn against within ten (10) days after the resumption of business, and notwithstanding that the Expiration Time may have passed;
- b. Notwithstanding Article 45 of the Uniform Customs and Practice, this Standby Letter of Credit is intended to remain in full force and effect until it expires in accordance with its terms. Any failure by you to draw upon this Standby Letter of Credit with respect to a default under the Note shall not cause this Standby Letter of Credit to be unavailable for any future drawing with respect to any subsequent default under the Note in accordance with the terms and conditions of the Note: and
- c. Notwithstanding Article 54(e) of the Uniform Customs and Practice this Standby Letter of Credit may not be transferred.

Very truly yours,
PAWLING SAVINGS BANK,


Gregory Monteith
Assistant Vice President

CERTIFICATE
(Partial Drawing)

The undersigned hereby certifies to Pawling Savings Bank (the "Bank") that: (a) he or she is the President or a Vice President of _____ or a duly authorized officer or agent ("Beneficiary"); and (b) he or she is authorized to execute this Certificate on behalf of Beneficiary.

With reference to Irrevocable Standby Letter of Credit Number _____ dated _____, 1997, issued by the Bank to _____ (the "Standby Letter of Credit") the undersigned certifies that:

1. The amount for which payment is demanded hereunder has become due and payable as a result of acceleration due to an event of default having occurred. In accordance therewith, Beneficiary is entitled to receive, and has made demand (the "Demand") upon the Company for \$ _____. At least five (5) business days have passed since the Demand and Beneficiary has not received payment of such amount;
2. To the best knowledge of Beneficiary the amount referred to herein and set forth in the draft presented herewith does not exceed the maximum amount available under the Standby Letter of Credit, as such amount may have been reduced from time to time by the payment of drafts previously presented thereunder or as other wise contemplated therein.

Accordingly, Beneficiary hereby makes demand under the Standby Letter of Credit for payment of \$ _____.

Beneficiary hereby requests that the payment hereby demanded be made no later than 3:00 p.m., New York time ("Local Time"), on _____, 19 _____. If this certificate and accompanying draft are delivered at or before 11:00 a.m., Local Time, payment will be made on a date which is a Banking Day and is no earlier than the second Banking Day following the date those documents are delivered; if this certificate and accompanying draft are delivered after 11:00 a.m., Local Time, payment will be made on a date which is a Banking Day and is no earlier than the third Banking Day following the date those documents are delivered.

IN WITNESS WHEREOF, the undersigned has executed this Certificate this _____ day of _____, 19 _____.

by: _____
[Name and title]

On the _____ day of _____, 19____, before me personally came _____ known to me to be the individual(s) described in and who executed the foregoing instrument, and duly acknowledged the he/she/ they executed the same.

SIGHT DRAFT

To _____:

PAY TO _____ by wire transfer to ABA Routing NO., _____
_____ Attention Account No. _____ at the office of _____
_____ at _____
_____, \$ _____ (United States Dollars).

DRAWN UNDER PAWLING SAVINGS BANK IRREVOCABLE STANDBY
LETTER OF CREDIT NUMBER _____ DATED _____, 19_____

BY: _____
[NAME AND TITLE]

EXHIBIT 1



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
WILLIAM J. HAUSER, P.E.
MARK J. EDSALL, P.E.
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
and PENNSYLVANIA

Main Office
45 Quassaick Ave. (Route 9W)
New Windsor, New York 12553
(914) 562-8640
o-mail: mheny@att.net

Regional Office
507 Broad Street
Millford, Pennsylvania 18337
(717) 296-2765
e-mail: mhepa@ptd.net

MEMORANDUM
3 April 1998



TO: SUPERVISOR GEORGE J. MEYERS
AND TOWN BOARD MEMBERS

FROM: MARK J. EDSALL, P.E., TOWN CONSULTING ENGINEER

SUBJECT: BLOOMING GROVE OPERATING CO. MAJOR SUBDIVISION - PHASE III
REQUEST FOR REDUCTION IN PUBLIC IMPROVEMENT BOND AMOUNT

I have received a request for the reduction in the bond amount for Phase III of the subject subdivision from the Developer's Engineer (see attached Zimmerman Engineering letter).

The original Phase III bond amount is \$ 280,300 and was approved by the Town Board on 4 June 1997 (as part of total bond amount Phases 3-5). The developer has requested a reduction for Phase III to \$31,342.

Based on our review of the site completion, it is our recommendation that the amount be reduced to \$37,637.50 (see attached breakdown).

I have reviewed the site completion status with Highway Superintendent Jim Pullar and he is in concurrence with the reduction.

Very truly yours,

McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS, P.C.

Mark J. Edsall, P.E.
Town Consulting Engineer

MJE/st
doc:BGOP4.3



McGOEY, HAUSER and EDSALL
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.
 WILLIAM J. HAUSER, P.E.
 MARK J. EDSALL, P.E.
 JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY
 and PENNSYLVANIA

Main Office
 45 Quassaick Ave. (Route 9W)
 New Windsor, New York 12553
 (914) 562-8640
 e-mail: mheny@att.net

Regional Office
 507 Broad Street
 Milford, Pennsylvania 18337
 (717) 296-2765
 e-mail: mhpa@pid.net



REMAINING WORK ITEMS

BLOOMING GROVE OPERATING CO.
PHASE III
 (3 April 1998)

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
Erosion Control	50%	\$1000	\$ 500.00
Flared End Section*	2ea	\$ 250	\$ 500.00
Riprap Channel	1725sf	\$ 5	\$ 8625.00
Drainage Channel	200ft	\$ 4	\$ 800.00
Pavement (Top Course)	4900sy	\$ 4.125	\$20212.50
Curb	5%	\$30000	\$ 1500.00
ROW Monuments & A/Bs	LS	LS	\$ 1500.00
seeding & Topsoil	2000sy	\$ 2	\$ 4000.00
		TOTAL	\$37637.50

PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE
NEW WINDSOR, N.Y. 12553

Appl No:97-41

File Date:11/12/97

SEC-BLK-LOT:52-1-30-23

Project Name:BLOOMING GROVE OPERATING CO. - PHASE III

Type:1

Owner's Name:BLOOMING GROVE OPERATING CO.
Address:P.O. BOX 479 - WASHINGTONVILLE, NY

Phone:(913) 496-0451

Applicant's Name:BLOOMING GROVE OPERATING CO.
Address:P.O. BOX 479 - WASHINGTONVILLE, NY

Phone:(913) 496-0451

Preparer's Name:ZIMMERMAN ENGINEERING
Address:RT. 17M - HARRIMAN, NY

Phone:(914) 782-7976

Proxy/Attny's Name:N/A
Address:

Phone:

Notify:

Phone:

Location:TOLEMAN ROAD

Acerage	Zoned	Prop-Class	Stage	Status
0.000		0	PHIII	0
Printed-on	Schl-Dist	Sewr-Dist	Fire-Dist	Light-Dist
11/13/97				

Appl for:FILE NUMBER FOR OVERALL PROJECT IS 91-22: THIS FILE SET UP
FOR TRACKING PHASE III ONLY

PHASE III CONSISTS OF LOTS #21-27 AND #29-34.
SEE ALSO:

PHASES II = 97-40, IV = 97-42, V = 97-43 (PHASE I = 86-59)

Addl Municipal Services:

Streets:

Water:

Sewer:

Garbage:

PLANNING BOARD
TOWN OF NEW WINDSOR

AS OF: 11/13/97

PAGE: 1

LISTING OF PLANNING BOARD FEES
4% FEE

FOR PROJECT NUMBER: 97-41

NAME: BLOOMING GROVE OPERATING CO. - PHASE III
APPLICANT: BLOOMING GROVE OPERATING CO.

---DATE---	DESCRIPTION-----	TRANS	---AMT-CHG	-AMT-PAID	---BAL-DUE
08/14/97	REC CK. #7696	PAID		11212.00	
08/14/97	4% INSPECTION FEE PER MARK	CHG	11212.00		
		TOTAL:	<u>11212.00</u>	<u>11212.00</u>	<u>0.00</u>



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

JUL 16 1997

15 July 1997

Orange County Department of Health
124 Main Street
Goshen, New York 10924

**SUBJECT: BLOOMING GROVE OPERATING COMPANY
MAJOR SUBDIVISION
NW P.B. 91-22**

Gentlemen:

This letter is provided to advise you that the Town Planning Board granted conditional final approval to the subject subdivision. This approval applied to Lots 3 thru 35 (inclusive). As you are aware, Lots 1 and 2 were part of a previous approval.

The Planning Board is now aware that the Applicant desires phasing of the final subdivision approval and they further understand that revised plans, prepared to reflect the phased final approval must be approved by the Orange County Department of Health.

Please consider this letter our request that you review these phased plans, such that Planning Board can subsequently consider same for (phased) final approval.

If you have any questions regarding the above, please do not hesitate to contact the undersigned

Very truly yours,

TOWN OF NEW WINDSOR

Mark J. Edsall, P.E.
Planning Board Engineer
MJE:sh

cc Gerald Zimmerman, P.E.

a ocdoh sh

ZIMMERMAN ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y 10926

(914) 782-7976

FAX: 782-3148

GERALD ZIMMERMAN P

OUR JOB NO 85256

JULY 9, 1997

PRELIMINARY

BOND ESTIMATE FOR BLOOMING GROVE OPERATING COMPANY PHASE 3 LOTS NO. 21 THRU 27 & 29 THRU 34

(Issued to determine inspection fees required by the Town of New Windsor)

<u>Description</u>	<u>Estimated Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
<u>Site Preparation:</u>				
Clearing	2	ac	\$5000.00	\$ 10,000.00
Grubbing	2	ac	500.00	1,000.00
Cut & Fill	9,000	cy	10.00	90,000.00
Erosion Control	-0-	Lump sum	1,000.00	1,000.00
<u>Drainage Improvements:</u>				
Catch Basins	22	each	1,000.00	22,000.00
Manholes	-0-	each	-0-	-0-
Corrugated Metal Pipe				
15"	270	feet	20.00	5,400.00
18"	895	feet	25.00	22,375.00
24"	810	feet	30.00	24,300.00
36"	-0-	feet	-0-	-0-
48"	-0-	feet	-0-	-0-
Flared end section	2	each	250.00	500.00
Riprap channel	1,100	sf	5.00	5,500.00
Drainage channel	200	feet	4.00	800.00

**ZIMMERMAN
ENGINEERING & SURVEYING, P.C.**

Route 17M

Harriman, N.Y 10926

(914) 782-7976

FAX: 782-3148

GERALD ZIMMERMAN

PRELIMINARY

**BOND ESTIMATE FOR BLOOMING GROVE OPERATING COMPANY
PHASE 3
LOT NO. 21 THRU 27 & 29 THRU 34**

<u>Description</u>	<u>Estimated Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Total</u>
Roads:				
Subgrade	1,400	cy	20.00	\$28,000.00
Pavement	4,900	sy	12.50	61,250.00
Curb	3,000	feet	10.00	30,000.00
ROW Monuments	10	each	150.00	1,500.00
Seeding & Topsoil	2,000	sy	2.00	4,000.00
Street Name Signs	-0-	each	100.00	-0-
				<u>\$307,625.00</u>

Phase II Revised Inspection Fees = \$307,625.00 X 4% = 12,305.00

MEMO

TO: GEORGE J. MEYERS, SUPERVISOR

FROM: RICHARD MC GOEY, P.E., ENGINEER FOR THE TOWN

SUBJECT: BLOOMING GROVE OPERATING COMPANY - PHASE I & II
TOLEMAN ROAD SUBDIVISION PERFORMANCE BONDS

DATE: JUNE 2, 1997

Dear George:

Please find enclosed a letter dated 14 October 1996 from Zimmerman Engineering agreeing to the performance bond estimates as revised by our office for subject project. We have also enclosed for your use, our recommendation dated 9 October 1996 outlining the amount of the performance bonds recommended.

On the basis of the enclosed, we are requesting that the Town Board take action in regard to establishing performance bond amounts for Phase I at \$106,207.00 with an inspection fee of 4% of this amount at \$4,248.28 and Phase II at \$842,459.00 with an inspection fee of 4% of this amount at \$33,698.36.

After formal acceptance and establishment of the amount of the performance bonds, the applicant will post the inspection fees in order to perform the work to complete the improvements. At the time of final approval being granted by the Planning Board, any remaining improvements, as listed in the performance bond estimates, shall be bonded and the applicant will post the necessary performance bond amounts prior to the maps being stamped approved and signed for filing with the Orange County Clerk's Office.

If you should have any additional questions in this matter, please contact our office.

RDM:mlm

cc: Town Board Members
James R. Petro, Jr. - P.B. Chairman ✓
Michael Babcock, Building Inspector
Mark Edsall, P.E. - P.B. Engineer

ZIMMERMAN
ENGINEERING & SURVEYING, P.C.

Route 17M

Harriman, N.Y. 10926

(914) 782-7976

FAX: 782-3148

GERALD ZIMMERMAN P.E., L.S.

October 14, 1996

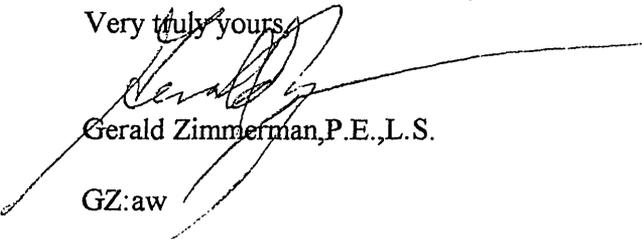
Mr. Richard McGoey, P. E.
Engineer for the Town of New Windsor
McGoey, Hauser & Edsall, P. C.
45 Quassaick Avenue
New Windsor, New York 12550

Re: Blooming Grove Operating Company - Phase I & II
Toleman Road - Town of New Windsor
Our Job No. 85256

Dear Mr. McGoey:

We are in receipt of your letter dated October 9, 1996 regarding the above referenced project. Blooming Grove Operating Company has agreed to the performance bond estimate and shall post the required engineering review fees upon acceptance by the Town Board.

Very truly yours,


Gerald Zimmerman, P.E., L.S.

GZ:aw

CC: Blooming Grove Operating Company



TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK 12553

¹⁷⁶³
October 9, 1996

Zimmerman Engineering & Surveying, P. C.
Rt. 17 M
Harriman, NY 10926

ATTN: GERALD ZIMMERMAN, P.E.

**RE: BLOOMING GROVE OPERATING COMPANY - PHASE I AND II
TOLEMAN ROAD - TOWN OF NEW WINDSOR**

Dear Mr. Zimmerman:

We have reviewed your latest cost estimate for Phase I and Phase II for subject project, a copy of which has been enclosed. In line with our review, we have made several revisions to the cost of the drainage pipe reflecting the cost shown in your estimate back in September of 1995, which is more in line with the cost to pay prevailing wage, if necessary. On the basis of our review of your cost estimate, we offer the following recommendations:

As can be seen from the revised estimates enclosed for Phase I, we are recommending that a performance bond be established for Phase I in the amount of \$106,207.00 and for Phase II in the amount of \$842,459.00. Further, engineering review fees are calculated on the basis of 4% of the performance bond estimate and we are, therefore, requesting that the applicant post engineering review fees in the amount of \$4,248.28 for Phase I and \$33,698.36 for Phase II.

We will be formally recommending the above to the Town Board for their acceptance, however, if you should have any questions in the interim, please contact our office.

Sincerely yours,

Richard M. Goey, P.E.

RICHARD MC GOEY, P.E.,
ENGINEER FOR THE TOWN

RDM/mlm

cc: George J. Meyers, Supervisor
James R. Petro, Jr. - P.B. Chairman
Michael Babcock, Building Inspector
Mark Edsall, P.E. - P.B. Engineer

Zimmerman Engineering
 Bond Estimate for Blooming Grove Operating Company
 Job No. 85-258

May 10, 1996
 Revised June 21, 1996
 Revised August 13, 1996

Phase I Description:	Estimated Quantity	Unit	Unit Price (\$)	Total (\$)
<u>Site Preparation:</u>				
Clearing	0.54	ac	5000.00	2,700.00
Grubbing	0.54	ac	500.00	270.00
Cut & Fill	2,719.00	cy	10.00	27,190.00
Erosion Control	1.00	lump sum	500.00	500.00
<u>Drainage Improvements:</u>				
Catch Basins	6.00	each	1,000.00	6,000.00
Manholes	0.00	each	1,300.00	0.00
Corrugated Metal Pipe:				
15"	40.00	feet	15.00 20.00	600.00 800.00
18"	335.00	feet	18.00 25.00	8,030.00 8,375.00
24"	0.00	feet	25.00 30.00	0.00
36"	280.00	feet	45.00 50.00	12,600.00 14,000.00
48"	50.00	feet	50.00 60.00	2,500.00 3,000.00
Flared end section	2.00	each	250.00	500.00
Riprap channel	200.00	sf	5.00	1,000.00
Drainage channel	0.00	feet	4.00	0.00
<u>Roads:</u>				
Subgrade	395.00	cy	20.00	7,900.00
Pavement	1,776.00	sy	12.50	22,200.00
Curb	940.00	feet	10.00	9,400.00
ROW Monuments	4.00	each	150.00	600.00
Seeding & Topsoil	836.00	sy	2.00	1,672.00
Street Name Signs	1.00	each	100.00	100.00
				+
Total				101,762.00
				106,207.00

Revised 8/20/96
 By RDMC

Zimmerman Engineering
 Bond Estimate for Blooming Grove Operating Company
 Job No. 85-256

May 10, 1998
 Revised June 21, 1998
 Revised August 13, 1998

Phase II

Description:	Estimated Quantity	Unit	Unit Price (\$)	Total (\$)
<u>Site Preparation:</u>				
Clearing	4.90	ac	5000.00	24,500.00
Grubbing	4.90	ac	500.00	2,450.00
Cut & Fill	2: 741.00	cy	10.00	257,410.00
Erosion Control	1.00	lump sum	3,000.00	3,000.00
<u>Drainage Improvements:</u>				
Catch Basins	40.00	each	1,000.00	40,000.00
Manholes	3.00	each	1,300.00	3,900.00
<u>Corrugated Metal Pipe:</u>				
15"	482.00	feet	15.00 * 20	7,230.00 9640
18"	2,445.00	feet	10.00 * 25	44,010.00 61,125
24"	1,170.00	feet	25.00 * 30	29,250.00 35,100
36"	73.00	feet	45.00 * 50	3,285.00 3650
48"	0.00	feet	50.00 * 60	0.00
Flared end section	6.00	each	250.00	1,500.00
Rebar channel	3,055.00	sf	5.00	15,265.00
Drainage channel	460.00	feet	4.00	1,840.00
<u>Roads:</u>				
Subgrade	4,756.00	cy	20.00	95,120.00
Pavement	4,287.00	sy	12.50	178,537.50
Curb	3,560.00	feet	10.00	35,600.00
ROW Monuments	32.00	each	150.00	4,800.00
Seedling & Topsoil	9,571.00	sy	2.00	19,022.00
Street Name Signs	2.00	each	100.00	200.00

Total

848,710.50
 842,459.5

Revised 8/04/98
 By RDMG

Collect Rec. fees + Approval fees on each phase
Mark to bill his fees at end - Check escrow each phase

Phase I 3 lots 2 bldg; Remainder Price

11/12/97 Need offers of Dedication on Complete Road
Per Mark through all phases. (To be accepted as completed)
Plus easements

Phase II (Lot #35) No inspect fees due for
Revised this Phase - No roadway in Phase II
No O.C.H.D. Approval

Total Bond Est: 842,459.00

Phase III: (Lots 21-27 + 29-34) ^{(13) lots total} Paid ^{8/14/97} \$11,212.00 Insp. fee

Need breakdown of Cost Estimates for Phases inspect fees.

Phase IV ^{10 lots total} (3-11 + 28) Paid insp. fee 11/12/97 7745.00

Phase V (lots 12-20) ^{to be paid} \$ 14,741.36 = (4% of 368,534.00)

(Need separate files for each phase)

ZONING DATA

DISTRICT: R-1
 MINIMUM LOT AREA (NET): 43,560 S.F.
 MINIMUM LOT WIDTH: 125 FT.
 MINIMUM FRONT YARD: 45 FT.
 MINIMUM SIDE YARD (ONE/BOTH): 20 FT./ 40 FT.
 MINIMUM REAR YARD: 50 FT.
 MINIMUM STREET FRONTAGE: 70 FT.
 MAXIMUM DEVELOPMENT COVERAGE: 10 %
 MAXIMUM BUILDING HEIGHT: 35 FT. / 2.5 STORIES
 MINIMUM LIVABLE FLOOR AREA: 1,200 S.F.
 REFER TO SHEET 10 FOR "ZONING DATA TABLE REQUIREMENTS & PROVISIONS"

TAX MAP NUMBER

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
 SECTION: 52
 BLOCK: 1
 LOT: 30.23

DEED

1) LIBER: 2856, PAGE: 30
 2) LIBER: 2909, PAGE: 227

TOTAL TRACT AREA

PHASE	III
NUMBER OF LOTS	14
AREA IN PHASE	56,00 ACS ±

RECORD OWNER & SUBDIVIDER

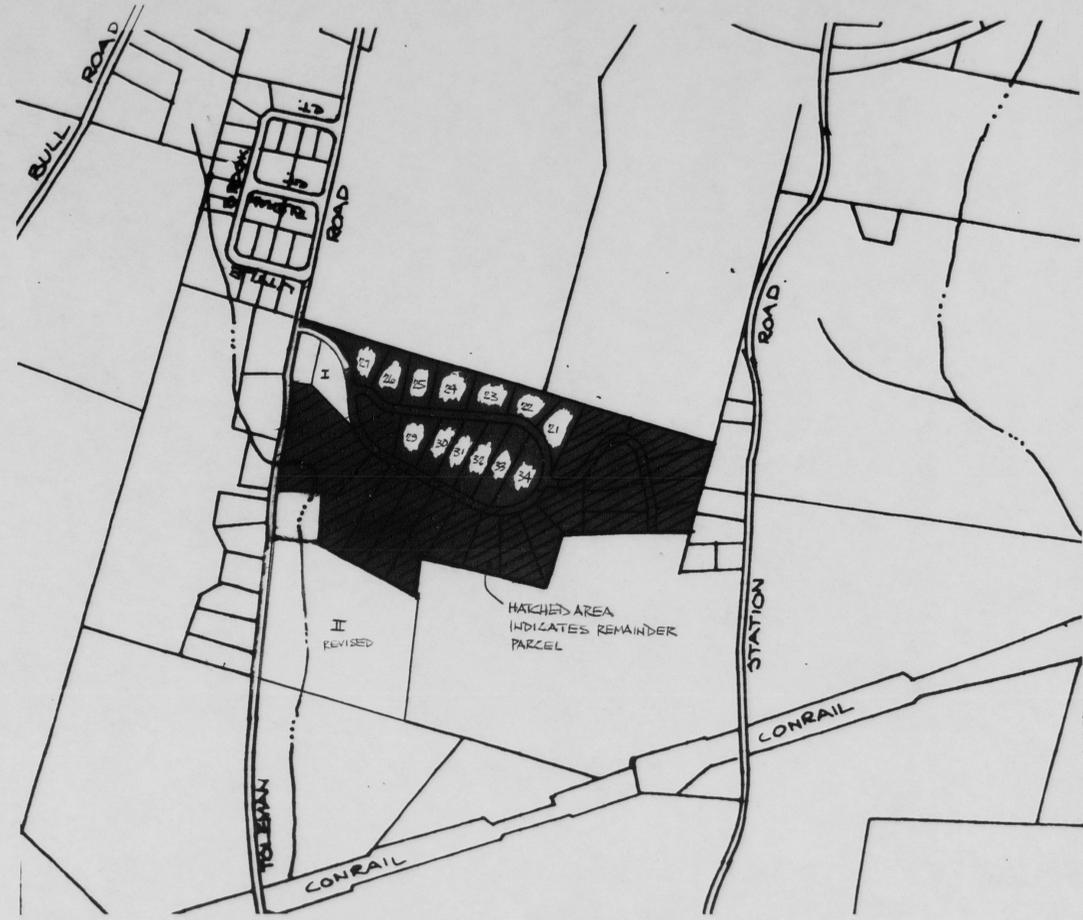
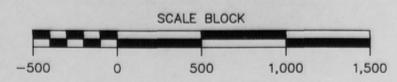
BLOOMING GROVE OPERATING COMPANY
 P.O. BOX 188
 WASHINGTONVILLE, NEW YORK 10992

MAP REFERENCE

LOT NO. 3 (REMAINING LANDS) ON A MAP KNOWN AS "PHASE I SUBDIVISION FOR BLOOMING GROVE OPERATING CO." TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK FILED IN THE ORANGE COUNTY CLERK'S OFFICE AS MAP NO. 8202, FILE DATE OF APRIL 6, 1987.

SHEET INDEX

VICINITY MAP	SHEET 1
PLAT	SHEET 2
UTILITY & GRADING	SHEET 3
UTILITY & GRADING	SHEET 4
UTILITY & GRADING	SHEET 5
UTILITY & GRADING	SHEET 6
ROADWAY PROFILES	SHEET 5
ROADWAY PROFILES	SHEET 6
ROADWAY & DRAINAGE DETAILS	SHEET 7
SANITARY DETAILS	SHEET 8
SOIL TEST DATA	SHEET 9
SOIL TEST DATA	SHEET 10
SOIL TEST DATA	SHEET 11
SOIL TEST DATA	SHEET 12
EROSION CONTROL PLAN	SHEET 13
EROSION CONTROL DETAILS	SHEET 14
SOIL TEST DATA	SHEET 15
PUMP STATION & WATER SUPPLY TREATMENT DETAILS	SHEET 16



SUBDIVISION FOR BLOOMING GROVE OPERATING COMPANY PHASE III

NOTES

- 1) TOPOGRAPHY IS BASED ON U.S.G.S. DATUM AND AERIAL PHOTOGRAPHY BY SKYTEK AERIAL SERVICES.
- 2) LOTS WITHIN THIS SUBDIVISION ARE TO BE SERVICED BY PRIVATELY OWNED INDIVIDUAL WELLS AND SUBSURFACE SEWAGE DISPOSAL SYSTEMS.
- 3) TOTAL NUMBER OF LOTS = 14
- 4) THERE SHALL BE NO FURTHER SUBDIVISION OF THE LOTS SHOWN WITHOUT THE REVIEW AND APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.
- 5) THE SUBDIVIDER HAS IRREVOCABLY OFFERED FOR DEDICATION TO THE TOWN OF NEW WINDSOR THE LAND AREAS NOTED AS RIGHT OF WAYS AND IS ALSO OFFERING PERMANENT EASEMENTS OVER LAND AREAS NOTED AS DRAINAGE EASEMENTS.
- 6) THE DEVELOPER IS OFFERING A TEMPORARY EASEMENT FOR ROADWAY CONSTRUCTION PURPOSES. THIS TEMPORARY EASEMENT WILL EXPIRE UPON THE COMPLETION OF ROADWAY CONSTRUCTION. THE PURPOSE OF THIS EASEMENT IS TO ALLOW FOR THE GRADING OF THE ROADWAY EMBANKMENTS BEYOND THE LIMITS OF THE PERMANENT RIGHT OF WAY. THE WIDTH OF THIS EASEMENT SHALL VARY AS REQUIRED TO ALLOW FOR PROPER GRADING OF ROADWAY EMBANKMENTS AS SHOWN IN THIS SET OF PLANS.
- 7) ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET OF THIS PROJECT HAVE BEEN LOCATED AND ARE SHOWN ON THIS SET OF PLANS.

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH

This is to certify that the proposed arrangements for water supply and sewage disposal for this subdivision in accordance with plans on file in the office of the Department of Health are hereby approved. Consent is hereby given to the filing of a map on which this endorsement appears in the office of the County Clerk in accordance with the provisions of Section 1117 of the Public Health Law.

ASSISTANT COMMISSIONER
[Signature]

SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON APR 27 1992
 BY *[Signature]*
 EDWARD STERN
 SECRETARY

THIS SHEET 1 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS SHEET SET.

TOWN APPROVAL BOX - FILE NO. 97-41

I HEREBY CERTIFY THAT THE SEWERAGE & WATER FACILITIES SHOWN ON THIS PLAN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE STANDARDS & REQUIREMENTS PROMULGATED BY THE N.Y.S. DEPT. OF HEALTH & ENVIRONMENTAL CONSERVATION FOR RESIDENTIAL LOTS & FURTHER THAT SUCH DESIGN IS BASED UPON ACTUAL SOIL & SITE CONDITIONS FOUND UPON SUCH LOT AT THE DESIGN LOCATION AT THE TIME OF SUCH DESIGN.

I HEREBY CERTIFY THAT THIS MAP SHOWS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED ON FEBRUARY 16, 1992.

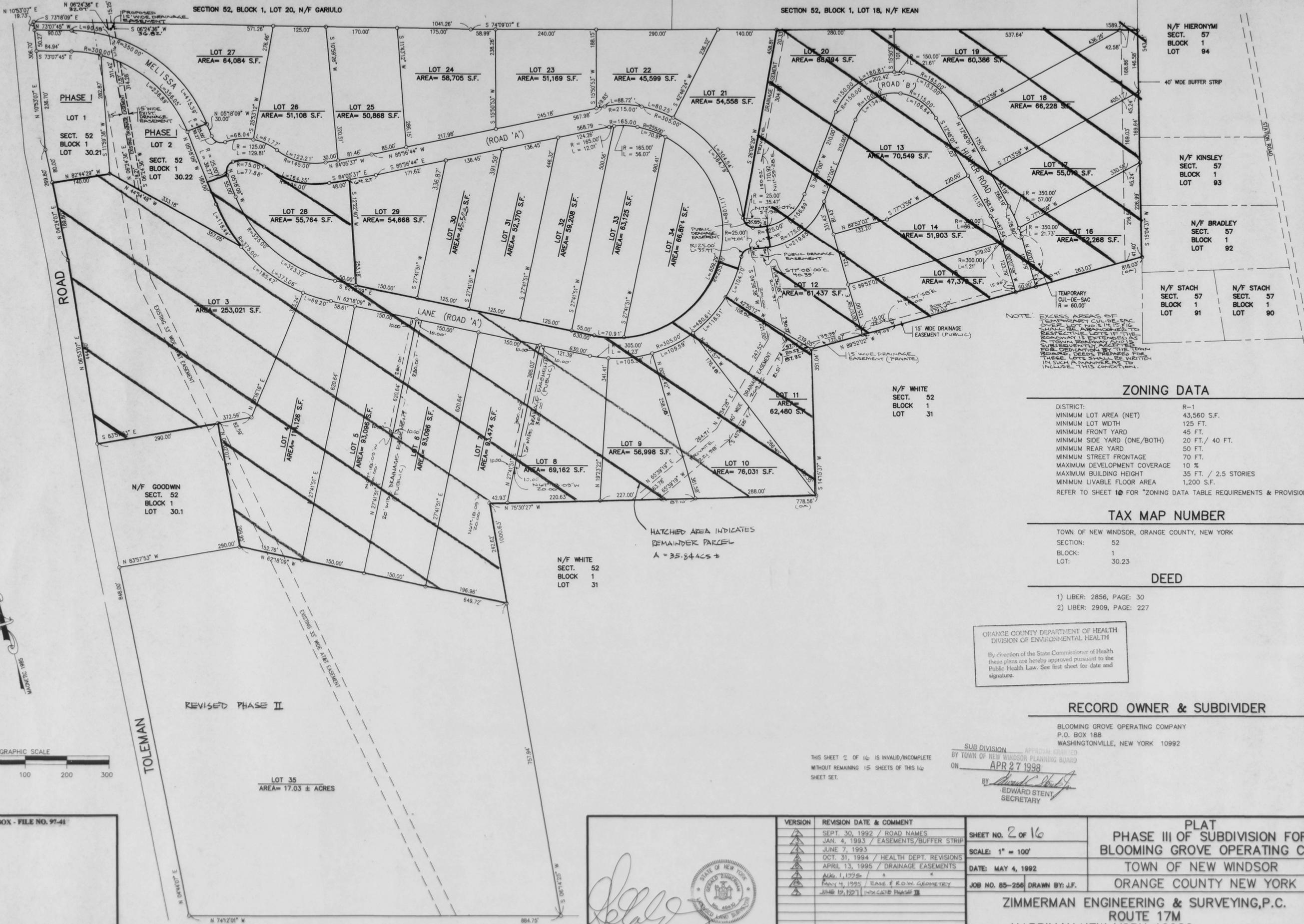


VERSION	REVISION DATE & COMMENT
▲	AUG 19, 1992 / PROPOSED GRADING & SOIL TEST LOTS
▲	SEPT 30, 1992 / DRAINAGE & EROSION CONTROL
▲	JAN 4, 1993 / DRAINAGE & BUFFER STRIP PLACEMENTS
▲	JUNE 7, 1993
▲	OCT 31, 1994 / HEALTH DEPT REVISIONS
▲	JUNE 12, 1997 / INDICATE PHASE III

SHEET NO. 1 OF 16
 SCALE: 1" = 500'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: M.M.M.

VICINITY MAP & NOTES
 PHASE III OF SUBDIVISION FOR BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976



N/F HIERONYMI
SECT. 57
BLOCK 1
LOT 94

N/F KINSLEY
SECT. 57
BLOCK 1
LOT 93

N/F BRADLEY
SECT. 57
BLOCK 1
LOT 92

N/F STACH
SECT. 57
BLOCK 1
LOT 91

N/F STACH
SECT. 57
BLOCK 1
LOT 90

NOTE: EXCESS AREAS OF TEMPORARY CUL-DE-SAC OVER LOT NORTH TO BE SHOWN AS REMAINDER TO RESPECTIVE LOTS IF THE TOWN BOARD IS EXTENDING A TOWN ROADWAY AND THE BOARD'S DECISION FOR THESE LOTS SHALL BE WRITTEN IN SUCH A MANNER AS TO INCLUDE THIS CONDITION.

N/F WHITE
SECT. 52
BLOCK 1
LOT 31

N/F WHITE
SECT. 52
BLOCK 1
LOT 31

HATCHED AREA INDICATES
REMAINDER PARCEL
A = 35.34 ACS ±

ZONING DATA

DISTRICT:	R-1
MINIMUM LOT AREA (NET)	43,560 S.F.
MINIMUM LOT WIDTH	125 FT.
MINIMUM FRONT YARD	45 FT.
MINIMUM SIDE YARD (ONE/BOTH)	20 FT./ 40 FT.
MINIMUM REAR YARD	50 FT.
MINIMUM STREET FRONTAGE	70 FT.
MAXIMUM DEVELOPMENT COVERAGE	10 %
MAXIMUM BUILDING HEIGHT	35 FT. / 2.5 STORIES
MINIMUM LIVABLE FLOOR AREA	1,200 S.F.

REFER TO SHEET 10 FOR "ZONING DATA TABLE REQUIREMENTS & PROVISIONS"

TAX MAP NUMBER

TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK
SECTION: 52
BLOCK: 1
LOT: 30.23

DEED

- 1) LIBER: 2856, PAGE: 30
- 2) LIBER: 2909, PAGE: 227

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

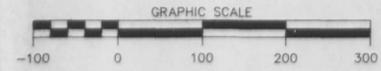
By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

RECORD OWNER & SUBDIVIDER

BLOOMING GROVE OPERATING COMPANY
P.O. BOX 188
WASHINGTONVILLE, NEW YORK 10992

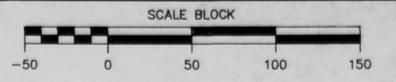
SUB DIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON **APR 27 1998**
BY *Edward Stent*
EDWARD STENT
SECRETARY

THIS SHEET 2 OF 16 IS INVALID/INCOMPLETE
WITHOUT REMAINING 15 SHEETS OF THIS 16
SHEET SET.



TOWN APPROVAL BOX - FILE NO. 97-41

 GERALD ZIMMERMAN P.L.S. LIC. NO. 49410	VERSION ▲ SEPT. 30, 1992 / ROAD NAMES ▲ JAN. 4, 1993 / EASEMENTS/BUFFER STRIP ▲ JUNE 7, 1993 ▲ OCT. 31, 1994 / HEALTH DEPT. REVISIONS ▲ APRIL 13, 1995 / DRAINAGE EASEMENTS ▲ AUG. 1, 1995 ▲ MAY 4, 1995 / EASE & R.O.W. GEOMETRY ▲ JUNE 19, 1997 / INDICATE PHASE III	SHEET NO. 2 of 16 SCALE: 1" = 100' DATE: MAY 4, 1992 JOB NO. 85-256 DRAWN BY: J.F.	PLAT PHASE III OF SUBDIVISION FOR BLOOMING GROVE OPERATING CO. TOWN OF NEW WINDSOR ORANGE COUNTY NEW YORK
	ZIMMERMAN ENGINEERING & SURVEYING, P.C. ROUTE 17M HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976		



LEGEND

- PROF. HOUSE
- PROF. DRIVEWAY
- PROF. WELL 4.10
- PROF. SEPTIC AREA
- SOIL TEST LOCATION
- EXIST. 2' CONTOUR
- EXIST. 10' CONTOUR
- MID-27 WETLAND BOUNDARY
- PROF. CATCH BASIN
- PROF. STORM DRAIN MANHOLE
- PROF. ROOF/FOOTING DRAIN
- PROF. SWALE - BERM
- PROF. CURTAIN DRAIN (CDR)
- PROF. DOSING/SIPHON CHAMBER
- PROF. PUMP STATION
- PROF. DISTRIBUTION MAIN
- PROF. SEPTIC TANK

TOWN APPROVAL BOX - FILE NO. 97-41

THIS SHEET 3 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 13 SHEETS OF THIS 1/4 SHEET SET.

24 25 26 27
28 29 30 31 32 33

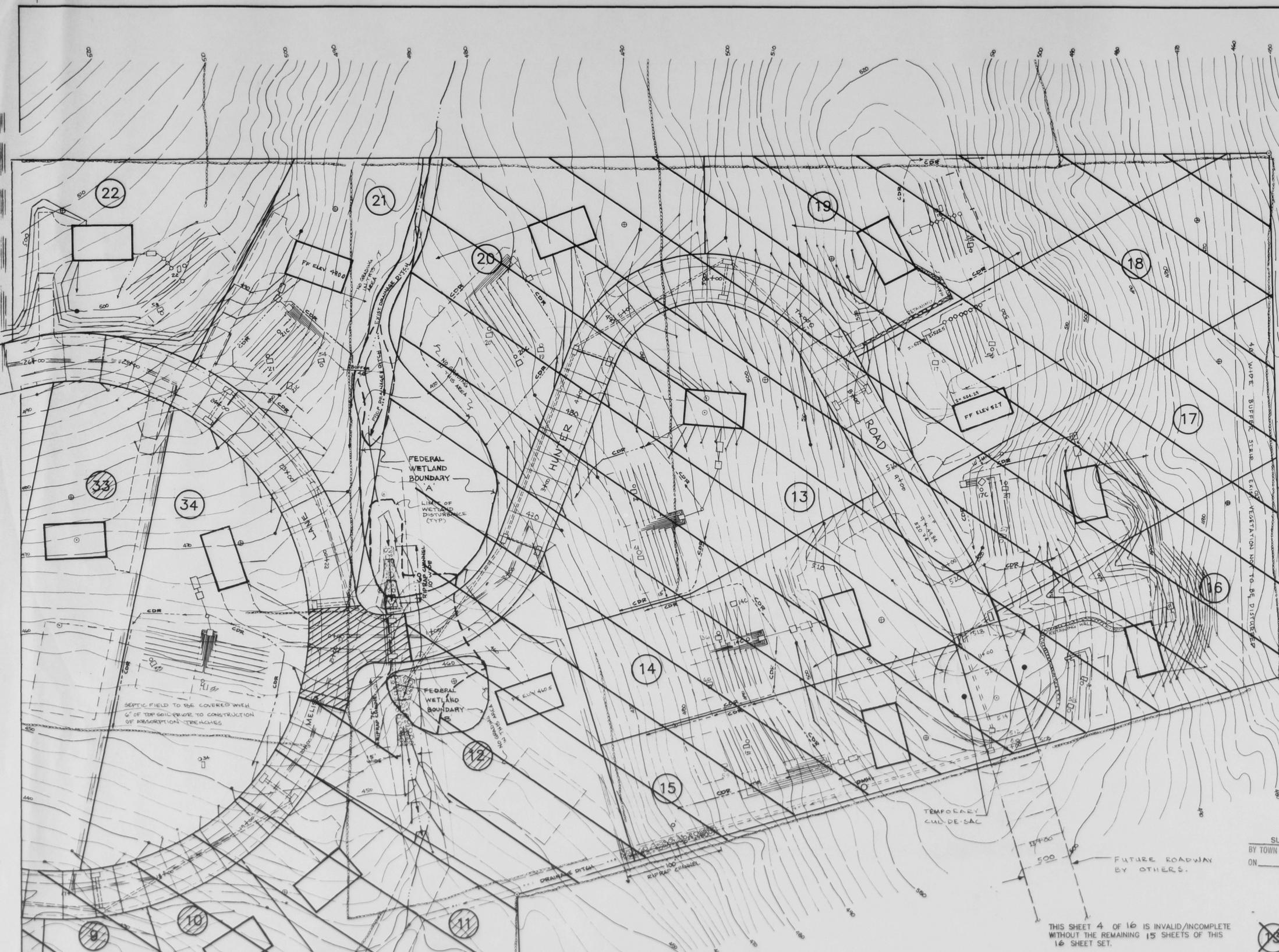
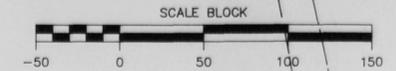
SUB DIVISION APPROVAL GRANT
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON APR 27 1998
BY *Edward Stent*
EDWARD STENT
SECRETARY

REVISIONS:

▲	AUG 19, 1992 / PROPOSED GRADING
▲	SEPT 30, 1992 / ADDITIONAL DRAINAGE
▲	JUNE 7, 1993
▲	OCT 31, 1994 / HEALTH DEPT. REVISIONS
▲	APRIL 13, 1995 / HEALTH DEPT. - DRAG CULV
▲	JUN 15, 1995 / HEALTH DEPT
▲	AUG 1, 1995
▲	ADG 22, 1995
▲	JUNE 19, 1997 INDICATE PHASE III

SHEET NO. 3 OF 16
SCALE: 1" = 50'
DATE: MAY 4, 1992
JOB NO. 85-256 DRAWN BY: J.F.

UTILITY & GRADING
PHASE III OF SUBDIVISION FOR
BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK
ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926
PHONE: (914) 782-7976



AREA OF FEDERAL WETLAND (THIS SHEET ONLY) = 0.89 acres
 PROP. AREA OF DISTURBANCE = 0.34 acres (SHADED)

LEGEND

- PROP. ROOF/FOOTING DRAIN
- PROP. SWALE - BERM
- PROP. CURTAIN DRAIN (CDR)
- PROP. DOSING/SIPHON CHAMBER
- PROP. PUMP STATION
- PROP. DISTRIBUTION BOX
- PROP. SEPTIC TANK
- PROP. HOUSE
- PROP. DRIVEWAY 4:10
- PROP. WELL
- PROP. SEPTIC AREA
- SOIL TEST LOCATION
- EXIST. 2' CONTOUR
- EXIST. 10' CONTOUR
- MD-27 WETLAND BOUNDARY
- PROP. CATCH BASIN
- PROP. STORM DRAIN MANHOLE

SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON APR 27 1998
 BY *Edward Stent*
 EDWARD STENT,
 SECRETARY

THIS SHEET 4 OF 16 IS INVALID/INCOMPLETE
 WITHOUT THE REMAINING 15 SHEETS OF THIS
 16 SHEET SET.



TOWN APPROVAL BOX - FILE NO. 97-41

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 By direction of the State Commissioner of Health
 these plans are hereby approved pursuant to the
 Public Health Law. See first sheet for date and
 signature.

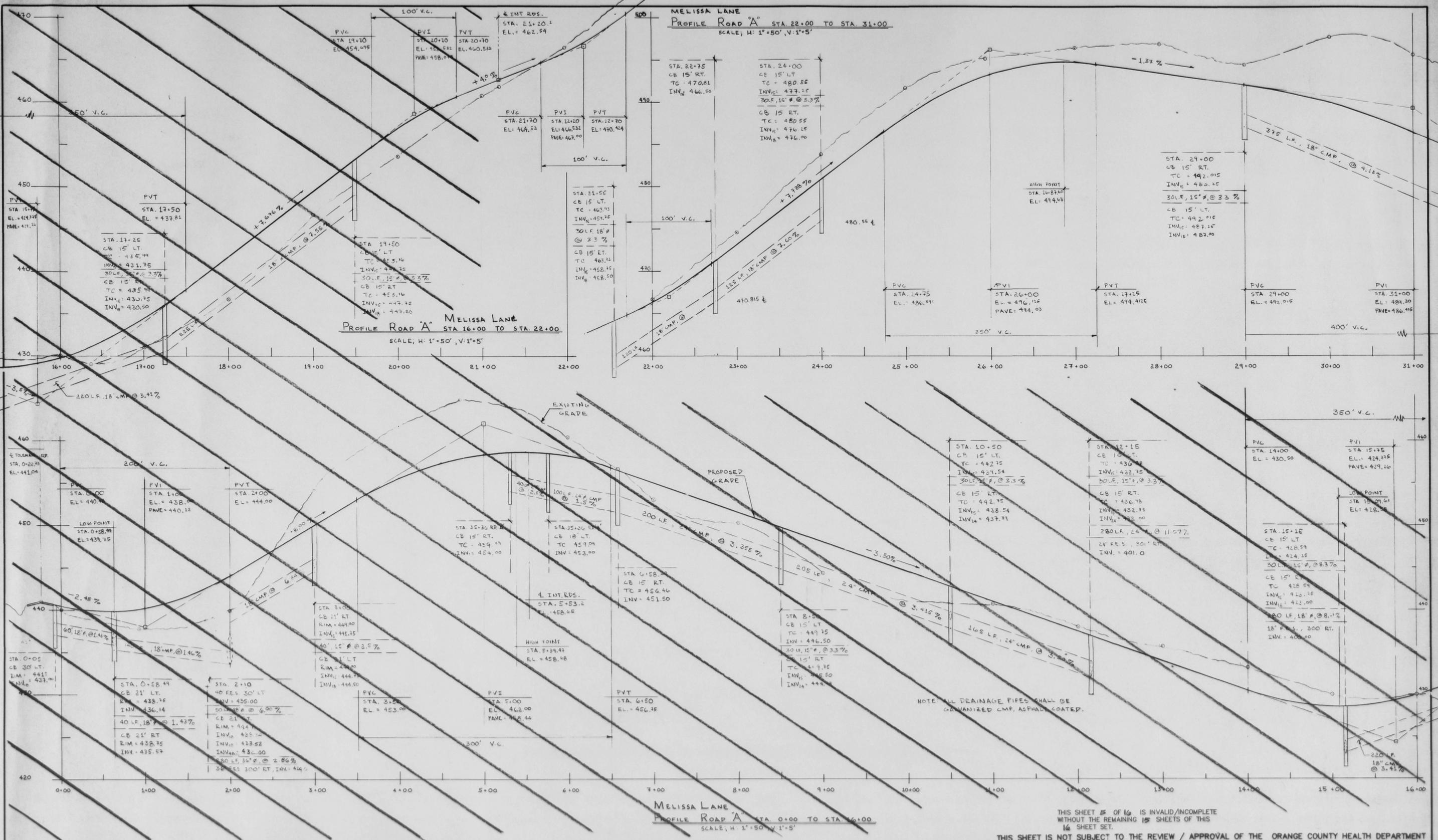


VERSION	REVISION DATE & COMMENT
▲	AUG 19, 1992 / PROPOSED GRADING
▲	SEPT 30, 1992 / DRAINAGE & CUL-DE-SAC REVISIONS
▲	JAN 4, 1993 / BUFFER STRIP LOTS 16, 17, 18
▲	JUNE 7, 1993
▲	OCT 31, 1994 / HEALTH DEPT. REVISIONS
▲	NOV 22, 1994 / ASSESS REVISIONS/UPGRADE AND 1994
▲	JUL 4, 1995 / HEALTH DEPT. REV.
▲	APRIL 13, 1995 / HEALTH DEPT. REV.
▲	JUN 18, 1995 / HEALTH DEPT.
▲	JUNE 19, 1997 / INDICATE PHASE III

SHEET NO. 4 OF 16
 SCALE: 1" = 50'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: J.F.

UTILITY & GRADING
 PHASE III OF SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY, NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
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NOTE ALL DRAINAGE PIPES SHALL BE GALVANIZED CMP, ASPHALT COATED.

TOWN APPROVAL BOX - FILE NO. 97-41

SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON APR 27 1998
 BY *Edward Stent*
 EDWARD STENT
 SECRETARY

GERALD ZIMMERMAN P.E. LIC. NO. 47391

VERSION	REVISION DATE & COMMENT
1	SEPT. 20, 1992 / DRAINAGE + REVISE INT. RDS. A+B
2	JAN. 4, 1993 / PIPE SIZE @ STA. 1+70
3	JUNE 7, 1993
4	OCT. 31, 1994 / HEALTH DEPT. REVISIONS
5	APRIL 13, 1995 / SUBJECT CROSSING
6	JUN. 13, 1995 / P&S @ STA. 12+15
7	JUNE 17, 1997 / INDICATE PHASE III

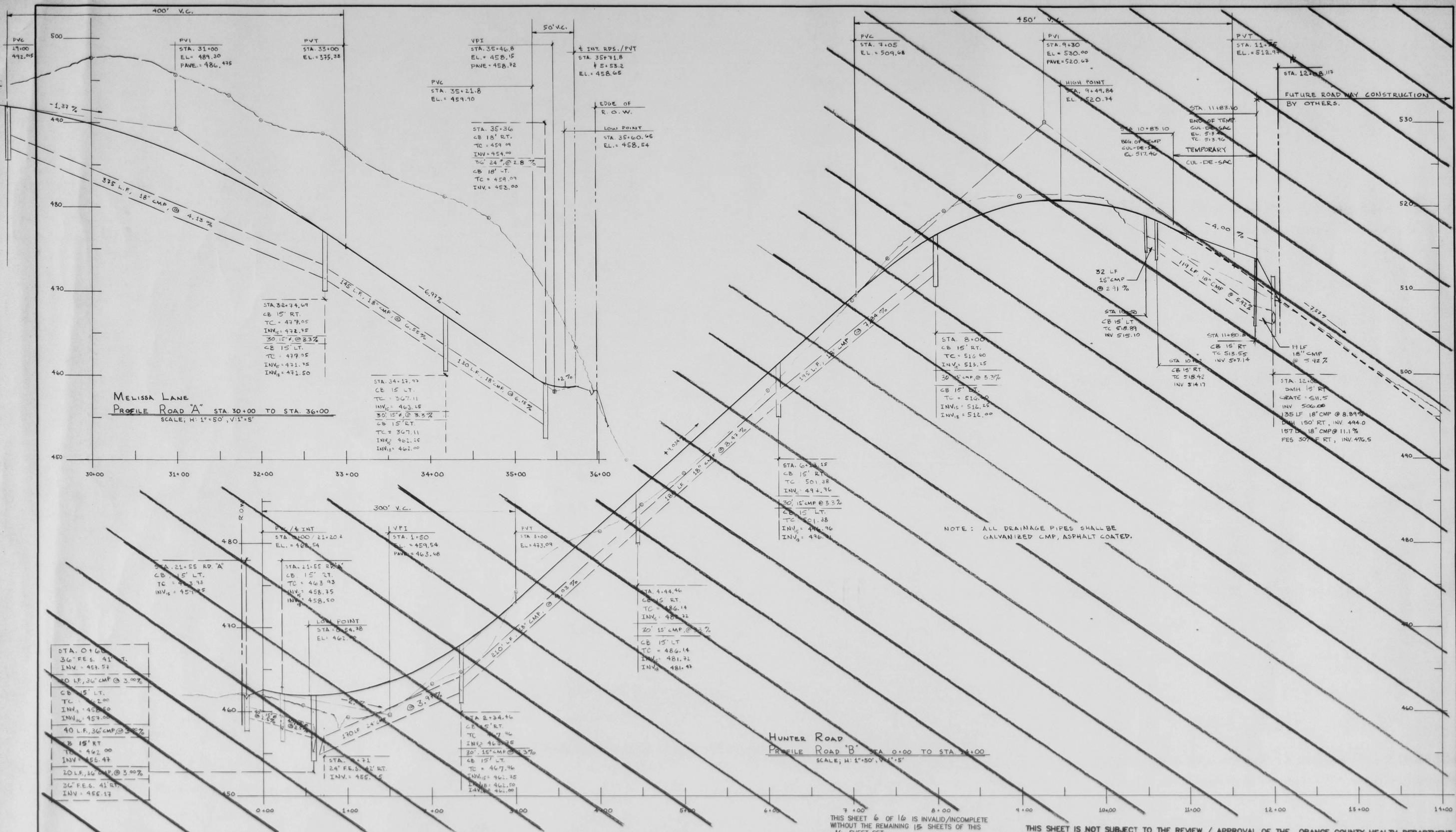
THIS SHEET 5 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 16 SHEET SET.

THIS SHEET IS NOT SUBJECT TO THE REVIEW / APPROVAL OF THE ORANGE COUNTY HEALTH DEPARTMENT

SHEET NO. 5 OF 16
 SCALE: H: 1"=50', V: 1"=5'
 DATE: MAY 4, 1992
 JOB NO. 85-256 DRAWN BY: M.M.

ROADWAY PROFILES
 PHASE III OF SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY, NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976



TOWN APPROVAL BOX - FILE NO. 97-41

SUB DIVISION APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON APR 27 1998 BY Edward Stent, SECRETARY

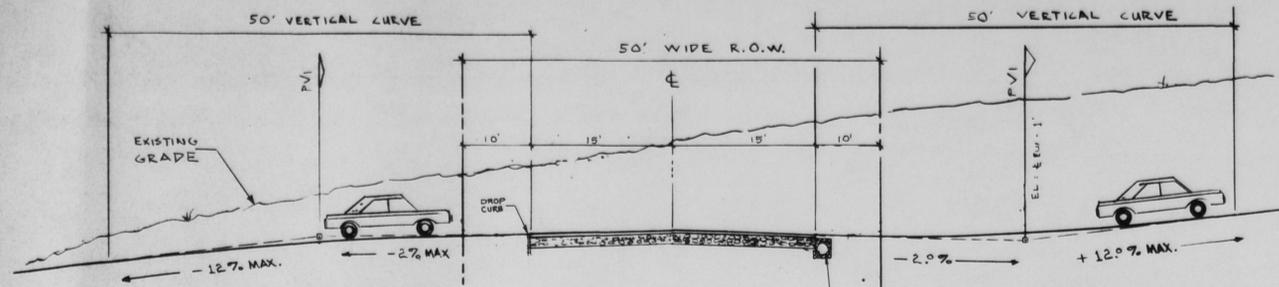


VERSION	REVISION DATE & COMMENT
1	SEPT 20, 1992 / ADD DRAINAGE INFORMATION
2	JUNE 7, 1993
3	OCT. 31, 1994 / HEALTH DEPT REVISIONS
4	JUNE 19, 1997 / INDICATE PHASE III

SHEET NO. 6 OF 16
SCALE: H: 1"=50', V: 1"=5'
DATE: MAY 4, 1992
JOB NO. 85-256 DRAWN BY: J.F.

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926
PHONE: (914) 782-7976

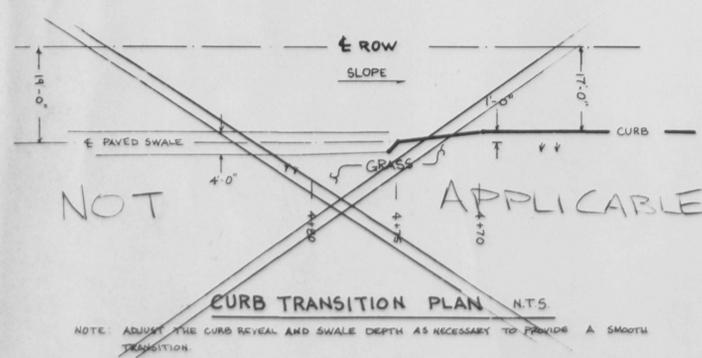
SUBMITTED TO THE PLANNING BOARD FOR REVIEW 3/13/96



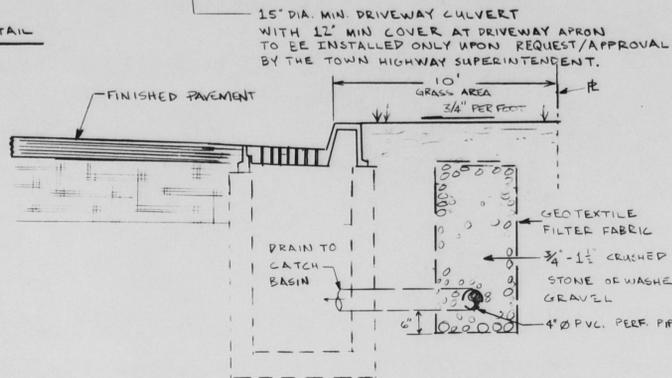
DRIVEWAY PROFILE & ROADWAY CROSS-SECTION DETAIL
SCALE: NONE

LOT NUMBER	GARAGE SLOPE FINISHED FLOOR ELEVATION	ELEVATION AT CENTER LINE OF ROAD	ELEVATION AT BVC 17' OFF CENTER LINE LT/RT	RESULTANT MAXIMUM DRIVEWAY SLOPE %
1	488.0	488.0	488.0	0%
2	487.5	487.5	487.5	0%
3	487.0	487.0	487.0	0%
4	486.5	486.5	486.5	0%
5	486.0	486.0	486.0	0%
6	485.5	485.5	485.5	0%
7	485.0	485.0	485.0	0%
8	484.5	484.5	484.5	0%
9	484.0	484.0	484.0	0%
10	483.5	483.5	483.5	0%
11	483.0	483.0	483.0	0%
12	482.5	482.5	482.5	0%
13	482.0	482.0	482.0	0%
14	481.5	481.5	481.5	0%
15	481.0	481.0	481.0	0%
16	480.5	480.5	480.5	0%
17	480.0	480.0	480.0	0%
18	479.5	479.5	479.5	0%
19	479.0	479.0	479.0	0%
20	478.5	478.5	478.5	0%
21	490.0	484.2	483.7	+6%
22	498.0	493.5	493.0	+9%
23	502.0	493.0	492.5	+11%
24	510.0	492.3	491.8	+12%
25	518.0	486.25	485.75	+12%
26	498.0	478.0	477.5	+12%
27	474.0	463.0	462.5	+12%
28	456.0	446.5	446.0	+13%
29	484.0	482.5	482.0	+3%
30	491.0	490.75	490.25	+2%
31	480.0	493.0	492.5	-10%
32	480.0	494.5	494.0	-11%
33	474.0	486.5	486.0	-10%
34	463.0	462.5	462.0	+3%

NOTE: Refer to driveway profile and roadway cross section detail.



CURB TRANSITION PLAN N.T.S.

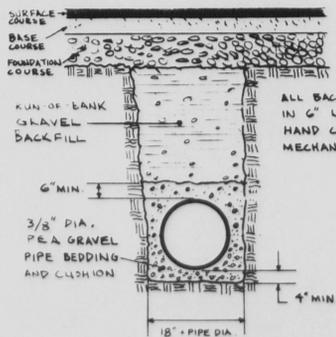


SHALLOW UNDERDRAIN DETAIL N.T.S.

- NOTES:
1. SHALLOW UNDERDRAINS SHALL BE INSTALLED AS DIRECTED BY THE TOWN HIGHWAY SUPERINTENDENT DURING ROADWAY CONSTRUCTION.
 2. UNDERDRAINS SHALL ONLY BE LOCATED WITHIN THE LIMITS OF THE PROPOSED R.O.W.. THE INSTALLATION OF THE UNDERDRAINS SHALL BE SHOWN ON THE SUBDIVISION "AS-BUILT" MAPPINGS.
 3. ALL UNDERDRAINS SHALL BE PIPED TO A FREE FLOWING OUTLET IN A CATCH BASIN.

SURFACE IN ROADWAY

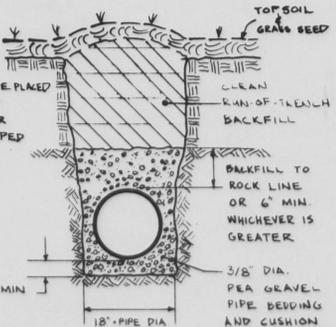
NOTE: 1) ROADWAY COURSES AS CALLED FOR IN ROAD SECTION DETAIL OR SPECIFICATIONS.



BEDDING IN EARTH EXCAVATION

SURFACE IN LAWN AREA

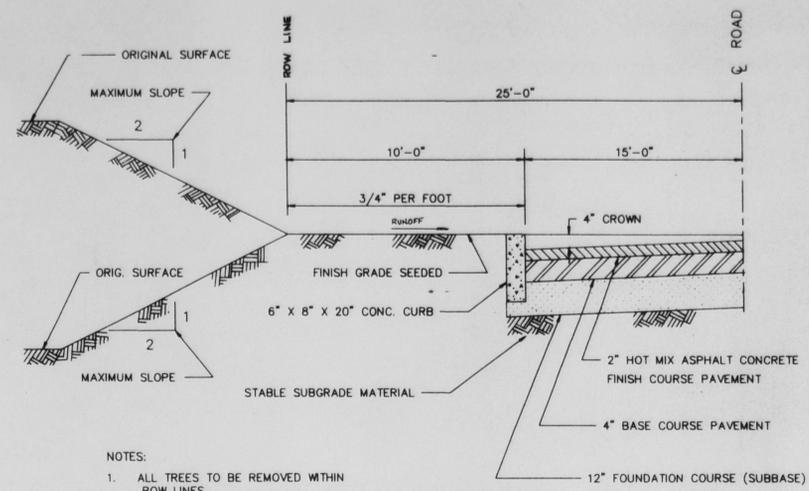
NOTE: 1) TOPSOIL & GRASS SEED AS REQUIRED.
2) OVERFILL TRENCH TO ALLOW FOR SETTLING.
3) CLEAN BACKFILL SHALL BE FREE FROM LARGE ROCKS, CLODS AND CINDERS.



BEDDING IN ROCK EXCAVATION

DRAINAGE PIPE TYPICAL TRENCH DETAILS

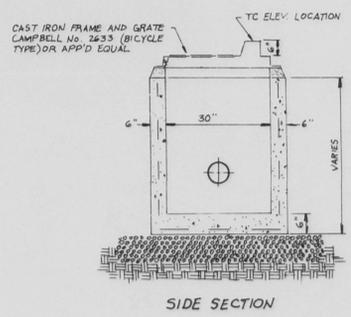
N.T.S.



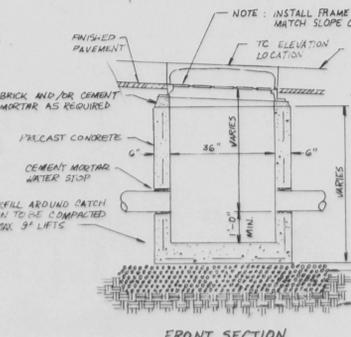
TYPICAL STREET CROSS-SECTION

SCALE: NONE

- NOTES:
1. ALL TREES TO BE REMOVED WITHIN ROW LINES.
 2. THIS DETAIL APPLIES TO STA. 4+80 AND GREATER. A SMOOTH CURB TRANSITION SHALL BE MADE FROM STA. 4+70 (34' WIDE RD. X-SECTION) TO STA. 4+80 (30' WIDE RD. X-SECTION).



SIDE SECTION



FRONT SECTION

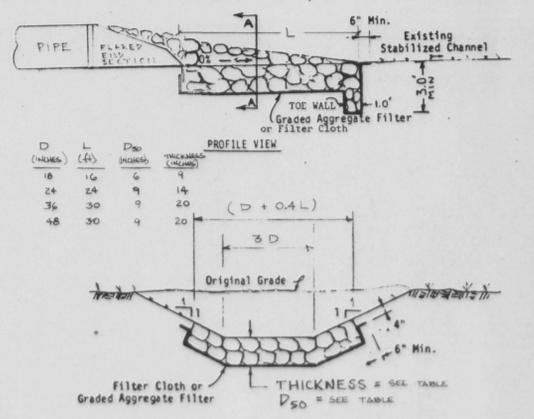
CATCH BASIN DETAIL

SCALE: NONE

Pipe Dia. in Inches	Metal Thickness in Inches	Dimensions in Inches					Approx. max. Slope	Body
		A ± 1'	B (max)	H ± 1'	L ± 1 1/2'	W ± 1/2'		
18"	.064	8	10	6	31	36	2 1/2	1 PC
24"	.064	10	13	6	41	48	2 1/2	1 PC
36"	.079	14	19	9	60	72	2 1/2	2 PC
48"	.109	18	27	12	78	90	2 1/4	2 PC

FLARED END SECTION DETAIL (STEEL)

N.T.S.



CROSS SECTION A-A

RIP-RAP OUTLET PROTECTION DETAIL N.T.S.

THIS SHEET 7 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 16 SHEET SET.

THIS SHEET IS NOT SUBJECT TO THE REVIEW / APPROVAL OF THE ORANGE COUNTY HEALTH DEPARTMENT

TOWN APPROVAL BOX - FILE NO. 97-41

SUB DIVISION	APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON	VERSION	REVISION DATE & COMMENT
ADD 2.7	1998	A	SEPT 30, 1992 / SHALLOW UNDERDRAIN - NOTES
		A	JUNE 7, 1993
		A	OCT 31, 1994 / HEALTH DEPT. REVISIONS
		A	MARCH 12, 1996 / ENGINEER'S COMMENTS
		A	JULY 19, 1997 / INDICATE TRASH TR

EDWARD STEN
SECRETARY

GERALD ZIMMERMAN P.E. LIC. NO. 47391

SHEET NO. 7 OF 16
SCALE: AS NOTED
DATE: MAY 4, 1992
JOB NO. 85-256 DRAWN BY: M.M.M.

ROADWAY & DRAINAGE CONSTRUCTION DETAIL SHEET FOR SUBD. FOR BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926
PHONE: (914) 782-7976

SUBMITTED TO THE PLANNING BOARD FOR REVIEW ON 3/13/96

JOB No. 85256 TEST DATE: 10-26-91 LOT # 3						JOB No. 85256 TEST DATE: 10-24-91 LOT # 8						JOB No. 85256 TEST DATE: 10-24-91 LOT # 12						JOB No. 85256 TEST DATE: 10-26-91 LOT # 19									
SOIL TEST PIT LOG SOIL TEST PIT No. 3						SOIL TEST PIT LOG SOIL TEST PIT No. 8						SOIL TEST PIT LOG SOIL TEST PIT No. 13						SOIL TEST PIT LOG SOIL TEST PIT No. 18									
DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE				
FROM	TO	SOIL TEXTURE				FROM	TO	SOIL TEXTURE				FROM	TO	SOIL TEXTURE				FROM	TO	SOIL TEXTURE							
0'	10"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL WITH MANY ROOTS	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	10"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
10'	9"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	1'	3'	CLAY LOAM WITH GRAVEL	BLOCKY AND GRANULAR	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	8'	3'	SILT LOAM WITH GRAVEL	GRANULAR & BLOCKY	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	10'	3'-6"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH STEEP SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA (MAPLE & ELM) WITH FLAT SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MAPLES & ELMS						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED NEAR TOE OF KNOLL ON MILD SLOPE, WOODED AREA									
JOB No. 85256 TEST DATE: 10-26-91 LOT # 4						JOB No. 85256 TEST DATE: 10-24-91 LOT # 9						JOB No. 85256 TEST DATE: 10-26-91 LOT # 13						JOB No. 85256 TEST DATE: 10-26-91 LOT # 20									
SOIL TEST PIT LOG SOIL TEST PIT No. 4						SOIL TEST PIT LOG SOIL TEST PIT No. 9						SOIL TEST PIT LOG SOIL TEST PIT No. 14						SOIL TEST PIT LOG SOIL TEST PIT No. 19									
0'	6"	TOPSOIL WITH GRAVEL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
6'	7"	SANDY LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST TO WET	3'	6'-6"	SILT LOAM WITH GRAVEL & COBBLES & POCKETS OF CLAY LOAM	BLOCKY & GRANULAR	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	1'	3'	CLAY LOAM	BLOCKY	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	1'	3'	CLAY LOAM	BLOCKY	COMMON MEDIUM DISTINCT	BROWN WITH RUST AND GRAY	SLIGHTLY MOIST
6'	6"	WITH FEW POCKETS OF MOTTLED CLAY LOAM			GRAY W/ CHANGE AND BLACK		6'-6"	9"	LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	3'	8'-6"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	3'	8'-6"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
NOTES: TEST HOLE DUG YESTERDAY 6" OF WATER AT BOTTOM OF HOLE FIELD OF GOLDENROD WITH FLAT SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED MAPLE FOREST WITH MODERATE SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA MILD SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA MILD SLOPES									
JOB No. 85256 TEST DATE: 10-26-91 LOT # 5						JOB No. 85256 TEST DATE: 10-24-91 LOT # 10						JOB No. 85256 TEST DATE: 10-26-91 LOT # 15						JOB No. 85256 TEST DATE: 10-23-91 LOT # 20									
SOIL TEST PIT LOG SOIL TEST PIT No. 5						SOIL TEST PIT LOG SOIL TEST PIT No. 10						SOIL TEST PIT LOG SOIL TEST PIT No. 15						SOIL TEST PIT LOG SOIL TEST PIT No. 20									
0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	18"	TOPSOIL WITH CLAY	GRANULAR	NONE	BLACK	VERY MOIST	0'	18"	TOPSOIL WITH CLAY	GRANULAR	NONE	BLACK	VERY MOIST
6'	3'-6"	SANDY LOAM	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	5'-6"	7'-6"	LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	2'	5'-6"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	18"	2'-6"	CLAY LOAM	BLOCKY	COMMON MEDIUM DISTINCT	BROWN WITH RUST AND GRAY	VERY MOIST
5'-6"	6"	SANDY LOAM WITH COBBLES POCKETS OF CLAY LOAM	GRANULAR	FEW MEDIUM DISTINCT	OLIVE BROWN & RUST	SLIGHTLY MOIST	7'-6"	8'-6"	WATER IN BOTTOM OF HOLE					5'-6"	9"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	2'-6"	5'	SANDY LOAM	GRANULAR	NONE	BROWN	VERY MOIST TO WET
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED FIELD OF GOLDENROD WITH FLAT SLOPE						NOTES: HOLE WAS DUG YESTERDAY NO SIGN OF GROUNDWATER SEEPAGE ABOVE 7'-6" NO BEDROCK ENCOUNTERED MAPLE FOREST WITH MODERATE SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE TO MILD SLOPES						NOTES: HEAVY GROUNDWATER SEEPAGE ENCOUNTERED AT 2'-6" WATER PUDDLES ON GROUND SURFACE NO BEDROCK ENCOUNTERED FLAT WOODED AREA WITH TREE ROOTS AT SURFACE									
JOB No. 85256 TEST DATE: 10-26-91 LOT # 6						JOB No. 85256 TEST DATE: 10-24-91 LOT # 11						JOB No. 85256 TEST DATE: 10-26-91 LOT # 16						JOB No. 85256 TEST DATE: 10-23-91 LOT # 21									
SOIL TEST PIT LOG SOIL TEST PIT No. 6						SOIL TEST PIT LOG SOIL TEST PIT No. 11						SOIL TEST PIT LOG SOIL TEST PIT No. 16						SOIL TEST PIT LOG SOIL TEST PIT No. 21									
0'	6"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	1'	TOPSOIL WITH MANY ROOTS	GRANULAR	NONE	BLACK	MOIST
6'	3'	SANDY LOAM	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	8'	5'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	8'	2'-6"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	1'	5'	CLAY LOAM WITH GRAVEL AND COBBLES	BLOCKY	MANY MEDIUM DISTINCT	BROWN WITH RUST AND GRAY	MOIST TO VERY MOIST
3'	6"	SANDY LOAM WITH COBBLES POCKETS OF CLAY LOAM	GRANULAR	FEW MEDIUM DISTINCT	OLIVE BROWN & RUST	SLIGHTLY MOIST	5'	6'-6"	CLAY LOAM WITH GRAVEL	BLOCKY	MANY MEDIUM DISTINCT	BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	5'	6'-6"	CLAY LOAM WITH GRAVEL	BLOCKY	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	5'	8'-6"	LOAM WITH GRAVEL AND COBBLES	BLOCKY	NONE	BROWN	VERY MOIST TO WET
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED BRUSH COVERED AREA WITH FLAT SLOPE						NOTES: HOLE OPENED YESTERDAY NO SIGN OF GROUNDWATER SEEPAGE ABOVE 8'-6" NO BEDROCK ENCOUNTERED MAPLE FOREST WITH FLAT SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE TO MILD SLOPES						NOTES: GROUNDWATER SEEPAGE ENCOUNTERED AT 5' NO BEDROCK ENCOUNTERED FLAT AREA NEAR TOE OF SLOPE, WOODED WITH MAPLES & ELMS									
JOB No. 85256 TEST DATE: 10-24-91 LOT # 7						JOB No. 85256 TEST DATE: 10-24-91 LOT # 12						JOB No. 85256 TEST DATE: 10-26-91 LOT # 18						JOB No. 85256 TEST DATE: 10-23-91 LOT # 22									
SOIL TEST PIT LOG SOIL TEST PIT No. 7						SOIL TEST PIT LOG SOIL TEST PIT No. 12						SOIL TEST PIT LOG SOIL TEST PIT No. 17						SOIL TEST PIT LOG SOIL TEST PIT No. 22									
0'	1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	10"	TOPSOIL WITH GRAVEL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	10"	TOPSOIL WITH GRAVEL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
1'	3'	CLAY LOAM WITH GRAVEL	BLOCKY AND GRANULAR	COMMON MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	8'	3'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	10'	2'-6"	SILT LOAM WITH GRAVEL	LOOSE GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	10'	2'-6"	SILT LOAM WITH GRAVEL	LOOSE GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
3'	8"	SILT LOAM WITH POCKETS OF CLAY LOAM & MANY COBBLES	GRANULAR AND BLOCKY	FEW FINE FAINT	BROWN WITH RUST	SLIGHTLY MOIST	3'	6"	SILT LOAM WITH MANY COBBLES POCKETS OF CLAY LOAM	BLOCKY & GRANULAR	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	SLIGHTLY MOIST	2'-6"	9"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	MOIST TO WET	2'-6"	9"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	MOIST TO WET
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA (MAPLE & ELM) WITH FLAT SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MAPLES & ELMS						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED ON STEEP SLOPE, WOODED AREA						NOTES: LIGHT GROUNDWATER SEEPAGE ENCOUNTERED FROM 3' DOWN TO BOTTOM NO BEDROCK ENCOUNTERED MAPLE FOREST WITH GENTLE SLOPES									

SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 APR 27 1998
 BY *Edward Sten*
 EDWARD STEN
 SECRETARY

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

THIS SHEET 9 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 16 SHEET SET.

TOWN APPROVAL BOX - FILE NO. 97-41



REVISIONS:
 A JUNE 7, 1993
 B OCT 31, 1994 / HEALTH DEPT REVISIONS
 C JUNE 19, 1997 / INDICATE PHASE III

SHEET NO. 9 OF 16
 SCALE: NONE
 DATE: DECEMBER 16, 1991
 JOB NO. 85-256 DRAWN BY: M.M.M.

SOIL TEST INFORMATION FOR
 SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK
 ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976

JOB No. 85256 TEST DATE: 10-23-91 LOT # 23						JOB No. 85256 TEST DATE: 10-23-91 LOT # 28						JOB No. 85256 TEST DATE: 10-23-91 LOT # 34								
SOIL TEST PIT LOG SOIL TEST PIT No. 23						SOIL TEST PIT LOG SOIL TEST PIT No. 28						SOIL TEST PIT LOG SOIL TEST PIT No. 33								
DEPTH	SOIL DESCRIPTION		STRUCTURE	MOTTILING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION		STRUCTURE	MOTTILING	COLOR	MOISTURE	DEPTH	SOIL DESCRIPTION		STRUCTURE	MOTTILING	COLOR	MOISTURE
FROM	TO	SOIL TEXTURE					FROM	TO	SOIL TEXTURE					FROM	TO	SOIL TEXTURE				
0'	1'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	10'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	6'	TOPSOIL	GRANULAR	NONE	DK BROWN	MOIST
1'	3'	SILT LOAM WITH GRAVEL	LOOSE GRANULAR	NONE	BROWN	SLIGHTLY MOIST	10'	2'-6'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'	8'	SILT LOAM WITH MUCH GRAVEL & COBBLES WITH POCKETS OF CLAY LOAM	GRANULAR	FEW	BROWN	MOIST
3'	7'	SILT LOAM WITH GRAVEL COBBLES BOULDERS AND POCKETS OF CLAY LOAM	BLOCKY HARD	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	2'-6'	6'	SILT LOAM WITH GRAVEL COBBLES AND POCKETS OF CLAY LOAM	HARD GRANULAR	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES						
7'	9'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'	9'	LOAM WITH GRAVEL COBBLES & BOULDERS	GRANULAR	NONE	BROWN	DRY	JOB No. 85256 TEST DATE: 10-23-91 LOT # 34						
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED MAPLE FOREST WITH GENTLE SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED AT EDGE OF CLEARING ON MILD SLOPES						JOB No. 85256 TEST DATE: 10-23-91 LOT # 24								
JOB No. 85256 TEST DATE: 10-23-91 LOT # 24						JOB No. 85256 TEST DATE: 10-26-91 LOT # 29						JOB No. 85256 TEST DATE: 10-23-91 LOT # 30								
SOIL TEST PIT LOG SOIL TEST PIT No. 24						SOIL TEST PIT LOG SOIL TEST PIT No. 29						SOIL TEST PIT LOG SOIL TEST PIT No. 30								
SOIL DESCRIPTION						SOIL DESCRIPTION						SOIL DESCRIPTION								
DEPTH						DEPTH						DEPTH								
FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE								
0' 10' TOPSOIL WITH MANY ROOTS GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 10' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 6' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST								
10' 2' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST						10' 2'-6' SILT LOAM WITH GRAVEL GRANULAR NONE BROWN DRY						6' 2' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST								
2' 8'-6' SILT LOAM WITH GRAVEL COBBLES BOULDERS AND POCKETS OF CLAY LOAM BLOCKY COMMON MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY DRY						2'-6' 6' SILT LOAM WITH GRAVEL COBBLES AND POCKETS OF CLAY LOAM GRANULAR FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY DRY						2' 6' SILT LOAM WITH MANY COBBLE AND FEW POCKETS OF CLAY LOAM GRANULAR & BLOCKY FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST								
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED ABUNDANT POISON IVY GROUND COVER WOODED AREA WITH MILD SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH STEEP SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES								
JOB No. 85256 TEST DATE: 10-23-91 LOT # 25						JOB No. 85256 TEST DATE: 10-23-91 LOT # 31						JOB No. 85256 TEST DATE: 10-23-91 LOT # 34								
SOIL TEST PIT LOG SOIL TEST PIT No. 25						SOIL TEST PIT LOG SOIL TEST PIT No. 31						SOIL TEST PIT LOG SOIL TEST PIT No. 35								
SOIL DESCRIPTION						SOIL DESCRIPTION						SOIL DESCRIPTION								
DEPTH						DEPTH						DEPTH								
FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE								
0' 10' TOPSOIL WITH MANY ROOTS GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 10' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 6' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST								
10' 3' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST						10' 2'-6' SILT LOAM WITH GRAVEL GRANULAR FEW FINE FAIN LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST						6' 2' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST								
3' 8'-6' SILT LOAM WITH POCKETS OF CLAY LOAM HARD BLOCKY & GRANULAR FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY DRY						2'-6' 7' SILT LOAM WITH MANY COBBLES AND BOULDERS GRANULAR NONE BROWN DRY						2' 5' SILT LOAM WITH MANY COBBLE AND FEW POCKETS OF CLAY LOAM GRANULAR & BLOCKY FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST								
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MILD SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH STEEP SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES								
JOB No. 85256 TEST DATE: 10-23-91 LOT # 26						JOB No. 85256 TEST DATE: 10-23-91 LOT # 32						JOB No. 85256 TEST DATE: 10-23-91 LOT # 34								
SOIL TEST PIT LOG SOIL TEST PIT No. 26						SOIL TEST PIT LOG SOIL TEST PIT No. 32						SOIL TEST PIT LOG SOIL TEST PIT No. 35								
SOIL DESCRIPTION						SOIL DESCRIPTION						SOIL DESCRIPTION								
DEPTH						DEPTH						DEPTH								
FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE								
0' 8' TOPSOIL WITH MANY ROOTS GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 1' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 6' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST								
8' 3'-6' SILT LOAM WITH GRAVEL GRANULAR NONE BROWN SLIGHTLY MOIST						1' 2'-6' SILT LOAM WITH GRAVEL GRANULAR FEW FINE FAIN LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST						6' 2' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST								
3'-6' 8' SILT LOAM WITH GRAVEL COBBLES AND POCKETS OF CLAY LOAM GRANULAR & BLOCKY FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST						2'-6' 7' SILT LOAM WITH MANY COBBLES AND BOULDERS GRANULAR NONE BROWN DRY						5' 9' SILT LOAM WITH GRAVEL AND COBBLES GRANULAR NONE BROWN SLIGHTLY MOIST								
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA MODERATE SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH STEEP SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES								
JOB No. 85256 TEST DATE: 10-24-91 LOT # 27						JOB No. 85256 TEST DATE: 10-23-91 LOT # 33						JOB No. 85256 TEST DATE: 10-23-91 LOT # 34								
SOIL TEST PIT LOG SOIL TEST PIT No. 27						SOIL TEST PIT LOG SOIL TEST PIT No. 33						SOIL TEST PIT LOG SOIL TEST PIT No. 35								
SOIL DESCRIPTION						SOIL DESCRIPTION						SOIL DESCRIPTION								
DEPTH						DEPTH						DEPTH								
FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE						FROM TO SOIL TEXTURE STRUCTURE MOTTILING COLOR MOISTURE								
0' 10' TOPSOIL WITH MANY ROOTS GRANULAR NONE DK BROWN SLIGHTLY MOIST						0' 8' TOPSOIL GRANULAR NONE DK BROWN MOIST						0' 6' TOPSOIL GRANULAR NONE DK BROWN SLIGHTLY MOIST								
10' 3' SILT LOAM WITH GRAVEL AND COBBLES GRANULAR NONE BROWN SLIGHTLY MOIST						8' 8' SILT LOAM WITH MUCH GRAVEL & COBBLES WITH POCKETS OF CLAY LOAM GRANULAR FEW BROWN MOIST						6' 2' SILT LOAM WITH GRAVEL LOOSE GRANULAR NONE BROWN SLIGHTLY MOIST								
3' 5'-6' SILT LOAM WITH MANY COBBLES AND POCKETS OF CLAY LOAM BLOCKY & GRANULAR COMMON MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY DRY						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH STEEP SLOPES						2' 5' SILT LOAM WITH MANY COBBLE AND FEW POCKETS OF CLAY LOAM GRANULAR & BLOCKY FEW MEDIUM DISTINCT LT BROWN WITH RUST AND GRAY SLIGHTLY MOIST								
5'-6' 8'-6' LOAM WITH GRAVEL AND COBBLES GRANULAR NONE BROWN DRY						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES						5' 9' SILT LOAM WITH GRAVEL AND COBBLES GRANULAR NONE BROWN SLIGHTLY MOIST								
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED AT EDGE OF CLEARING BELOW STONE WALL MILD SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED WOODED AREA WITH MODERATE SLOPES								

ZONING DATA TABLE REQUIREMENTS & PROVISIONS

LOT NUMBER	GROSS AREA (S.F.)	EASEMENT AREA (S.F.)	NET AREA (S.F.)	LOT WIDTH	FRONT YARD	ONE SIDE YARD	BOTH SIDE YARDS	REAR YARD	STREET FRONTAGE	LOT NUMBER
MINIMUM REQUIREMENTS			43,560	125'	45'	20'	40'	50'	70'	MINIMUM REQUIREMENTS
3	253,000	105,000	148,000	290'	50'	30'	230'	350'	180'/640'	3
4	112,000	63,000	49,000	185'	50'	30'	30'	530'	130'	4
5	95,000	11,000	84,000	150'	50'	30'	30'	580'	130'	5
6	90,000	10,000	80,000	150'	50'	30'	30'	580'	130'	6
7	92,000	38,800	53,200	180'	50'	30'	30'	300'	150'	7
8	88,000	2,500	85,500	170'	50'	30'	30'	250'	150'	8
9	57,000	5,800	51,200	120'	50'	30'	30'	510'	110'	9
10	73,000	8,100	64,900	125'	55'	35'	30'	270'	140'	10
11	80,000	7,800	72,200	100'	50'	25'	30'	150'	110'	11
12	91,000	7,800	83,200	200'	50'	30'	30'	170'	170'	12
13	73,000		73,000	200'	55'	35'	30'	125'	300'	13
14	31,000		31,000	100'	50'	20'	30'	250'	100'	14
15	17,000	3,000	14,000	125'	75'	20'	30'	200'	120'	15
16	97,000	6,800	90,200	150'	110'	30'	30'	130'	140'	16
17	33,000		33,000	150'	110'	30'	30'	150'	180'	17
18	60,500		60,500	150'	55'	20'	110'	300'	150'	18
19	63,000		63,000	240'	55'	30'	110'	300'	300'	19
20	88,000	14,000	74,000	350'	50'	110'	250'	50'	300'	20
21	52,000	8,400	43,600	280'	125'	40'	100'	85'	310'	21
22	46,000		46,000	210'	70'	60'	160'	60'	190'	22
23	52,000		52,000	240'	110'	50'	180'	65'	240'	23
24	58,000		58,000	215'	140'	30'	160'	90'	215'	24
25	50,000		50,000	165'	200'	25'	105'	60'	165'	25
26	50,000		50,000	200'	190'	40'	100'	50'	220'	26
27	65,000		65,000	350'	90'	65'	155'	60'	610'	27
28	55,500		55,500	250'	130'	10'	150'	50'	740'	28
29	55,000		55,000	225'	50'	40'	130'	180'	240'/150'	29
30	44,500		44,500	125'	50'	25'	55'	260'	135'/120'	30
31	51,000		51,000	125'	120'	25'	60'	240'	135'/120'	31
32	57,000		57,000	125'	140'	25'	60'	270'	135'/120'	32
33	61,500		61,500	125'	145'	20'	55'	320'	135'/120'	33
34	68,000		68,000	150'	60'			50'	670'	34
35	177,110 AC.	18,330 AC.	158,780	380'	740'	100'	300'	80'	860'	35

NOTES: 1) THE DIMENSIONS SHOWN IN THE ABOVE TABLE ARE APPROXIMATE. IN ALL CASES THE HOUSE LOCATIONS & BUILDING SETBACK REQUIREMENTS ARE TO BE VERIFIED ON THE PLOT PLANS FOR EACH INDIVIDUAL LOT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2) THE DIMENSIONS SHOWN IN THE ABOVE TABLE ARE SHOWN TO ILLUSTRATE EACH LOT'S CONFORMANCE WITH THE BULK ZONING REGULATIONS.

Lot	Field Size (LF)	Chamber Selection	Siphon Selection	Required Volume Reduction (CF)	Dimensions of 3,000 psi Shelf to be Constructed inside Siphon Chamber (See Detail Sheet 12)	
					Height (ft)	Width (ft)
3	574	SC 6X6	3"	0.0	Not Applicable	
4	604	SC 6X6	3"	0.0	Not Applicable	
5	702	SC 6X6	3"	0.0	Not Applicable	
6	711	SC 6X6	3"	0.0	Not Applicable	
7	711	SC 6X6	3"	0.0	Not Applicable	
8	711	SC 6X6	3"	0.0	Not Applicable	
9	711	SC 6X6	3"	0.0	Not Applicable	
10	711	SC 6X6	3"	0.0	Not Applicable	
11	711	SC 6X6	3"	0.0	Not Applicable	
12	711	SC 6X6	3"	0.0	Not Applicable	
13	711	SC 6X6	3"	0.0	Not Applicable	
14	711	SC 6X6	3"	0.0	Not Applicable	
15	711	SC 6X6	3"	0.0	Not Applicable	
16	711	SC 6X6	3"	0.0	Not Applicable	
17	711	SC 6X6	3"	0.0	Not Applicable	
18	711	SC 6X6	3"	0.0	Not Applicable	
19	711	SC 6X6	3"	0.0	Not Applicable	
20	711	SC 6X6	3"	0.0	Not Applicable	
21	590	SC 6X6	3"	0.0	Not Applicable	
22	590	SC 6X6	3"	0.0	Not Applicable	
23	590	SC 6X6	3"	0.0	Not Applicable	
24	534	SC 6X6	3"	0.0	Not Applicable	
25	531	SC 6X6	3"	0.0	Not Applicable	
26	531	SC 6X6	3"	0.0	Not Applicable	
27	531	SC 6X6	3"	0.0	Not Applicable	
28	531	SC 6X6	3"	0.0	Not Applicable	
29	600	SC 6X6	4"	8.9	1	1.5
30	593	SC 6X6	3"	0.0	Not Applicable	
31	756	SC 6X6	4"	0.0	Not Applicable	
32	831	PC 6X8	4"	10.0	1.11	1.5
33	799	SC 6X6	4"	0.0	Not Applicable	
34	756	SC 6X6	4"	0.0	Not Applicable	
35	756	SC 6X6	4"	0.0	Not Applicable	

* Precast Pump Chamber adapted for use as a siphon chamber.

ORANGE COUNTY DEPARTMENT OF HEALTH
 DIVISION OF ENVIRONMENTAL HEALTH
 These plans are hereby approved pursuant to the
 Public Health Law. See first sheet for date and
 signature.

TOWN APPROVAL BOX - FILE NO. 97-41

REVISIONS:
 ▲ JUNE 7, 1993
 ▲ OCT. 31, 1994 / HEALTH DEPT. REVISIONS
 ▲ JUNE 19, 1997 / INDICATE PHASE III

SUB DIVISION APPROVAL GRANTED BY TOWN OF NEW WINDSOR PLANNING BOARD ON APR 27 1998

By *Edward Stent*
 EDWARD STENT
 SECRETARY

GERALD J. ZIMMERMAN P.E./C. NO. 47391

SHEET NO. 10 OF 16
 SCALE: NONE
 DATE: DECEMBER 16, 1991
 JOB NO. 85-256 DRAWN BY: M.M.M.

**SOIL TEST INFORMATION FOR
 SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK**

**ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926**

PHONE: (914) 782-7976

THIS SHEET 10 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 16 SHEET SET.

SOIL TEST PIT No. 36 TEST DATE: 7/22/92						SOIL TEST PIT No. 41 TEST DATE: 7/23/92						SOIL TEST PIT No. 46 TEST DATE: 7/23/92						SOIL TEST PIT No. 51 TEST DATE: 7/24/92						SOIL TEST PIT No. 56 TEST DATE: 7/24/92																							
LOT # 14						LOT # 3						LOT # 32						LOT # 24						LOT # 18																							
DEPTH	FROM	TO	SOIL TEXTURE	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	FROM	TO	SOIL TEXTURE	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	FROM	TO	SOIL TEXTURE	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	FROM	TO	SOIL TEXTURE	STRUCTURE	MOTTLING	COLOR	MOISTURE	DEPTH	FROM	TO	SOIL TEXTURE	STRUCTURE	MOTTLING	COLOR	MOISTURE								
0'	0'	10'	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
10'	10'	10'	CLAY LOAM WITH GRAVEL	BLOCKY	FEW MEDIUM DISTINCT	LT BROWN WITH RUST AND GRAY	DRY	12"	12"	2'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	LT BROWN	DRY	8"	8"	2'	SILT LOAM WITH GRAVEL AND GRAVEL	GRANULAR FINE	FEW FINE FAINT	LT BROWN WITH RUST AND GRAY	DRY	1'	1'	3'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	DRY	1'	1'	4'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	BROWN	DRY	1'	1'	4'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	BROWN	DRY
3'	3'	8'	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	DRY TO MOIST	2'	2'	8'	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	2'	2'	6'	SILT LOAM WITH GRAVEL AND BOULDERS	GRANULAR	NONE	BROWN	DRY	3'	3'	7'-6"	SILT LOAM WITH FEW CLAY POCKETS GRAVEL COBBLE BOULDERS	GRANULAR	NONE	LT BROWN	DRY	4'	4'	5'-6"	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	FEW FINE FAINT	LT BROWN WITH RUST AND GRAY	DRY	5'-6"	5'-6"	8'	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED STOPPED DIGGING AT 7'-6" DUE TO BOULDERS						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																							
SOIL TEST PIT No. 37 TEST DATE: 7/22/92						SOIL TEST PIT No. 42 TEST DATE: 7/23/92						SOIL TEST PIT No. 47 TEST DATE: 7/23/92						SOIL TEST PIT No. 52 TEST DATE: 7/24/92						SOIL TEST PIT No. 57 TEST DATE: 7/24/92																							
LOT # 17						LOT # 28						LOT # 33						LOT # 23						LOT # 17																							
0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST								
8"	8"	8"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	DRY	8"	8"	2'-6"	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	LT BROWN	DRY	8"	8"	3'-6"	SANDY LOAM WITH GRAVEL	GRANULAR FINE	NONE	LT BROWN	DRY	1'	1'	2'-6"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	DRY	1'	1'	6"	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	DRY								
4'	4'	6'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	FEW FINE FAINT	LT BROWN WITH RUST AND GRAY	DRY	2'-6"	2'-6"	6'-6"	SANDY LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	3'-6"	3'-6"	8"	SILT LOAM WITH MUCH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	2'-6"	2'-6"	6'	SILT LOAM WITH POCKETS OF CLAY GRAVEL COBBLES BOULDERS	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	6'	6'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST								
6'	6'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'-6"	6'-6"	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																			
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																							
SOIL TEST PIT No. 38 TEST DATE: 7/22/92						SOIL TEST PIT No. 43 TEST DATE: 7/23/92						SOIL TEST PIT No. 48 TEST DATE: 7/23/92						SOIL TEST PIT No. 53 TEST DATE: 7/24/92						SOIL TEST PIT No. 58 TEST DATE: 7/24/92																							
LOT # 35						LOT # 29						LOT # 27						LOT # 22						LOT # 16																							
0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST								
8"	8"	4'	SANDY LOAM	GRANULAR	NONE	BROWN	DRY	8"	8"	3'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	LT BROWN	DRY	8"	8"	5'	SILT LOAM WITH FEW CLAY POCKETS	GRANULAR	FEW	LT BROWN WITH RUST AND GRAY	DRY	1'	1'	3'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'	6'	3'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	DRY								
4'	4'	5'-6"	SANDY LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	IN CLAY POCKETS	BROWN WITH RUST	DRY	3'	3'	6'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	5'	5'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	3'	3'	8"	LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	NONE	BROWN	MOIST	3'	3'	5'-6"	SILT LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	BLOCKY	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY								
5'-6"	5'-6"	8'-6"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	6'	6'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																			
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																							
SOIL TEST PIT No. 39 TEST DATE: 7/22/92						SOIL TEST PIT No. 44 TEST DATE: 7/23/92						SOIL TEST PIT No. 49 TEST DATE: 7/23/92						SOIL TEST PIT No. 54 TEST DATE: 7/24/92						SOIL TEST PIT No. 59 TEST DATE: 7/24/92																							
LOT # 35						LOT # 30						LOT # 26						LOT # 21						LOT # 15																							
0'	0'	6"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	BLACK BROWN	MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST								
6"	6"	5'	SANDY LOAM WITH GRAVEL AND COBBLES	LOOSE	NONE	BROWN	SLIGHTLY MOIST	8"	8"	2'-6"	SILT LOAM WITH MUCH GRAVEL	GRANULAR	NONE	LT BROWN	DRY	8"	8"	4'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	DRY	8"	8"	4'	CLAY LOAM WITH GRAVEL AND COBBLES	BLOCKY	MANY	DK BROWN WITH RUST AND GRAY	MOIST	8"	8"	4'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	LT BROWN	DRY								
5'	5'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	MOIST	2'-6"	2'-6"	6'-6"	SILT LOAM WITH COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	4'	4'	8"	SANDY LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	4'	4'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	VERY MOIST	8"	8"	3'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	LT BROWN	DRY								
NOTES: LIGHT GROUNDWATER SEEPAGE AT BOTTOM OF HOLE NO BEDROCK ENCOUNTERED						6'-6"	6'-6"	8'-6"	LOAM WITH GRAVEL & COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: LIGHT GROUNDWATER SEEPAGE AT 5 FT. NO BEDROCK ENCOUNTERED						3'	3'	5'-6"	LOAM WITH GRAVEL & COBBLES AND CLAY POCKETS	BLOCKY	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY														
NOTES: LIGHT GROUNDWATER SEEPAGE AT BOTTOM OF HOLE NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																							
SOIL TEST PIT No. 40 TEST DATE: 7/22/92						SOIL TEST PIT No. 45 TEST DATE: 7/23/92						SOIL TEST PIT No. 50 TEST DATE: 7/23/92						SOIL TEST PIT No. 55 TEST DATE: 7/24/92						SOIL TEST PIT No. 60 TEST DATE: 7/24/92																							
LOT # 32						LOT # 31						LOT # 25						LOT # 19						LOT # 14																							
0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL WITH GRAVEL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	0'	0'	8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST								
8"	8"	2'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	LT BROWN	DRY	0'	0'	12"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST	8"	8"	3'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	DRY	1'	1'	3'	SILT LOAM WITH GRAVEL	GRANULAR FINE	NONE	BROWN	DRY	8"	8"	3'	SILT LOAM WITH GRAVEL	GRANULAR	NONE	LT BROWN	DRY								
2'	2'	5'-6"	SILT LOAM WITH COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	1'	1'	3'	SILT LOAM WITH GRAVEL	GRANULAR	FEW FINE FAINT	LT BROWN WITH RUST AND GRAY	DRY	3'	3'	8"	SILT LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	3'	3'	6'-6"	SILT LOAM WITH CLAY POCKETS AND GRAVEL & COBBLES	GRANULAR	FEW IN CLAY POCKETS	LT BROWN WITH RUST AND GRAY	DRY	8"	8"	3'	CLAY LOAM WITH GRAVEL	BLOCKY	FEW FINE FAINT	LT BROWN WITH RUST AND GRAY	DRY								
5'-6"	5'-6"	7'	LOAM WITH GRAVEL & COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	3'	3'	6'	SILT LOAM WITH MANY COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						6'	6'	8'-6"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST	3'	3'	8"	LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	DRY TO MOIST										
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED STOPPED DIGGING AT 7' DUE TO BOULDERS						6'	6'	7'	LOAM WITH GRAVEL & COBBLES AND BOULDERS	GRANULAR	NONE	BROWN	DRY	NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																					
NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED STOPPED DIGGING AT 7' DUE TO BOULDERS						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED STOPPED DIGGING DUE TO BOULDERS AT 7'						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED						NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED NO BEDROCK ENCOUNTERED																							

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
By creation of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

THIS SHEET 11 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 1/2 SHEET SET.

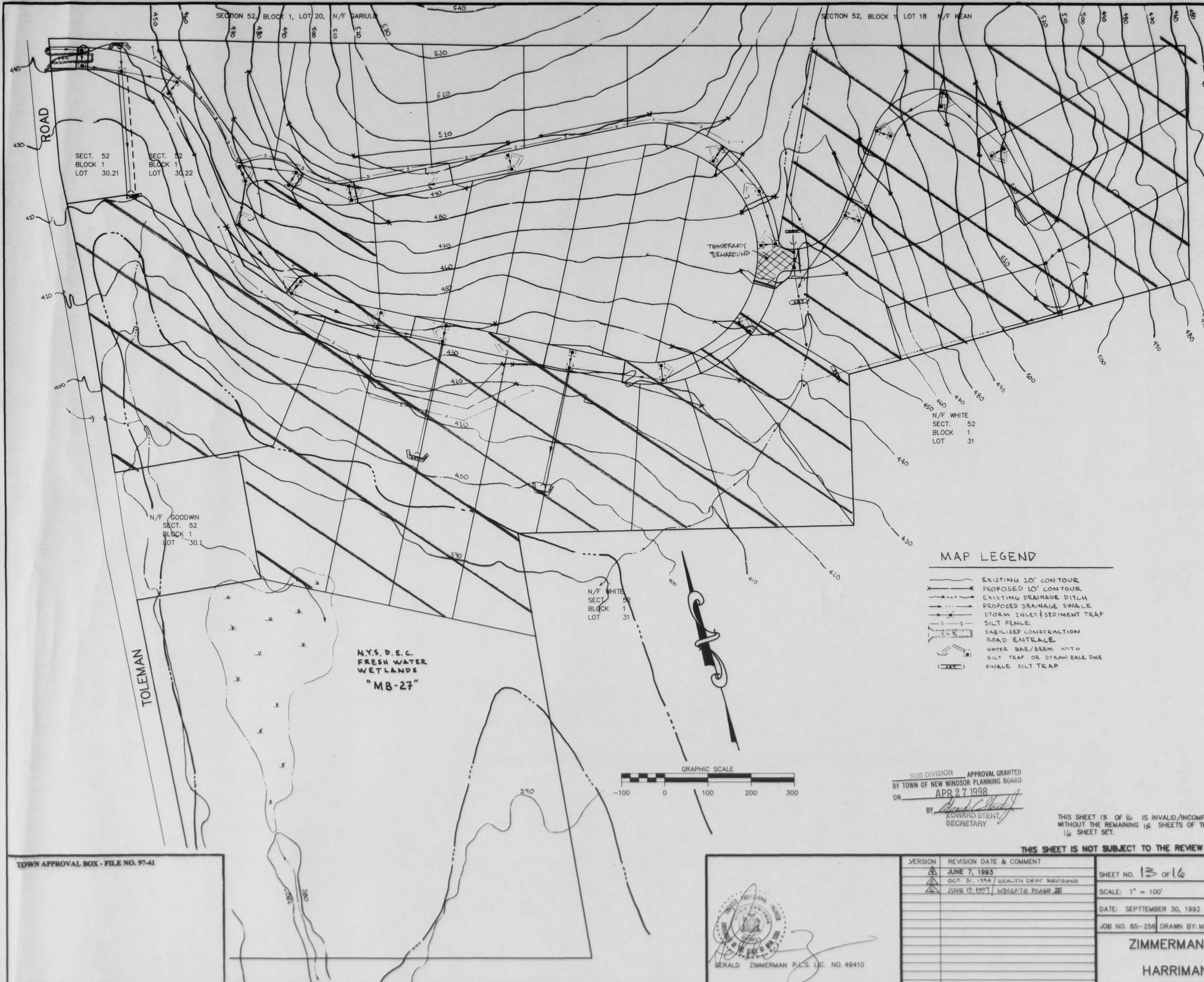
TOWN APPROVAL BOX - FILE NO. 97-41

REVISIONS:
 ▲ JUNE 7, 1993
 ▲ OCT 31, 1994 / HEALTH DEPT. REVISIONS
 ▲ JUNE 19, 1997 / INDICATED PHASE III
 SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 APR 27 1998
 BY *[Signature]*
 EDWARD STENT,
 SECRETARY

SHEET NO. 11 OF 16
 SCALE: AS NOTED
 DATE: AUGUST 18, 1992
 JOB NO. 85-256 DRAWN BY: M.M.M.

SOIL TEST INFORMATION
 FOR SUBDIVISION OF LANDS OF
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK
 ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976





EROSION CONTROL NOTES

- VEGETATION REMOVAL—SOIL DISTURBANCE**
- SMALL TREES AND SHRUBS WILL BE CLEARED BY MEANS OF A BUSH HOG (A LARGE ROTARY MOWER SIMILAR TO A LAWN MOWER). THIS BUSH HOG CAN CUT WOODY VEGETATION UP TO 3 INCHES IN DIAMETER, AND BLOW IT BACK ONTO THE GROUND SURFACE.
 - SHORT TERM VEGETATION (RYE GRASS SEED @ 1/2 LB./1,000 S.F.) MAY BE PLANTED IN THOSE AREAS WHICH ARE GRADED/CLEARED BUT NOT IMMEDIATELY SUBJECT TO CONSTRUCTION.
 - IN AREAS WHERE TEMPORARY VEGETATION IS NOT APPROPRIATE, THE SOIL MAY BE STABILIZED WITH MULCH, WHICH WILL CONSERVE MOISTURE, PREVENT SURFACE COMPACTION, REDUCE WEEDS AND REDUCE RUNOFF AND EROSION.
 - LAND WHICH IS STRIPPED OF VEGETATION DURING CONSTRUCTION WILL BE LEFT BARE FOR THE SHORTEST TIME POSSIBLE.
 - TOPSOIL WHICH IS REMOVED DURING CONSTRUCTION WILL BE SAVED FOR LATER USE IN GRADING OR LANDSCAPING. SAID TOPSOIL SHALL BE STOCKPILED AT CONVENIENT LOCATIONS THROUGHOUT THE PROJECT SITE. ALL TOPSOIL STOCKPILES WILL BE SURROUNDED BY HAY BALES TO PREVENT EROSION.
 - SILTATION FENCING SHALL BE USED TO PROTECT THE STREAM AND NEIGHBORING PROPERTIES FROM SILTATION.
- DUST CONTROL**
- THE USE OF MULCH OR TEMPORARY VEGETATION ON DISTURBED SOIL AREAS WILL PROTECT AGAINST WIND EROSION.
 - TILLING THE SOIL MAY ALSO BE USED TO ROUGHEN THE SURFACE AND REDUCE SOIL BLOWING.
 - DURING DRY WEATHER CONDITIONS, DAILY SPRAYING WITH WATER ON ALL UNPAVED AREAS SUBJECT TO DISTURBANCE WILL ALSO HELP CONTROL DUST.
- LAND GRADING**
- LAND TO BE CUT OR FILLED WILL BE CLEARED OF THOSE TREES WHICH CANNOT BE SAVED.
 - ONCE THE ROUGH GRADING IS COMPLETED, A TEMPORARY COVER CONSISTING OF RYE GRASS WOULD BE SEED AT A RATE OF 1/2 LB./1,000 S.F. OF AREA.
 - FILL MATERIAL WILL BE FREE OF ALL DECOMPOSABLE MATERIAL.
- SILTATION CONTROL**
- CATCH BASINS SHALL BE TEMPORARILY CAPPED AND PROTECTED BY A FILTER TO PREVENT ENTRY OF SEDIMENT CARRIED BY THE RUNOFF UNTIL THE SITE IS PAVED AND THE VEGETATION IS WELL ESTABLISHED.
 - IT IS RECOMMENDED THAT ALL SEDIMENT BASINS OR TRAPS BE CLEARED WHEN THEY BECOME SOX FILLED.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE PRECAUTIONS TAKEN SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
- TREE PROTECTION**
- A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
 - IN AREAS OF CONCENTRATED ACTIVITY, TREES WILL BE FENCED AT OUTER DRIP LINE.
 - NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
 - IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS, OR THROUGH THE USE OF RETAINING WALLS.
 - IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS.

SITE SPECIFIC EROSION CONTROL NOTES

- AREA OF EXTENSIVE RE-GRADING**
- TEMPORARY SILTATION FENCING SHALL BE INSTALLED AT THE TOE OF THE SLOPES ALONG ALL MAJOR EMBANKMENTS WHERE THE SOILS HAVE BEEN DISTURBED AS INDICATED ON THIS PLAN AND AS SITE CONDITIONS DICTATE.
 - ALL FINISHED EMBANKMENTS WITH SLOPES OF 3 ON 1 (33%) OR GREATER SHALL BE TREATED TOPSOIL (3" MIN.), GRASS SEED (3-4 lbs./1,000 s.f.) AND EROSION CONTROL MATTING. A GRASS SEEDING MAINTENANCE PROGRAM SHALL BE FOLLOWED UNTIL THE VEGETATION OF THE EMBANKMENTS IS WELL ESTABLISHED.
 - ALL WORK WITHIN THE AREAS OF EXTENSIVE RE-GRADING SHALL BE PERFORMED WITH STRICT COMPLIANCE TO ALL APPLICABLE "GENERAL EROSION CONTROL NOTES" STATED ABOVE.
- FRESHWATER WETLANDS (NYSDEC MB-27)**
- A CONCENTRATED EFFORT SHALL BE MADE BY THE DEVELOPER AND THE SITE EXCAVATOR TO PREVENT ANY SILTATION FROM RUNNING DOWN STREAM INTO THE WETLANDS AREA.

MAP LEGEND

- EXISTING 10' CONTOUR
- PROPOSED 10' CONTOUR
- EXISTING DRAINAGE DITCH
- PROPOSED DRAINAGE SWALE
- STORM INLET/SEDIMENT TRAP
- SILT FENCE
- STABILIZED CONSTRUCTION ROAD ENTRANCE
- WATER BAR/BERM WITH SILT TRAP OR STRAW BALE DIKE
- SWALE SILT TRAP



SUB DIVISION APPROVAL GRANTED
 BY TOWN OF NEW WINDSOR PLANNING BOARD
 ON APR 27 1998
 BY EDWARD STENT
 SECRETARY

THIS SHEET 13 OF 16 IS INVALID/INCOMPLETE
 WITHOUT THE REMAINING 15 SHEETS OF THIS
 16 SHEET SET.

THIS SHEET IS NOT SUBJECT TO THE REVIEW / APPROVAL OF THE ORANGE COUNTY HEALTH DEPARTMENT

TOWN APPROVAL BOX - FILE NO. 97-41

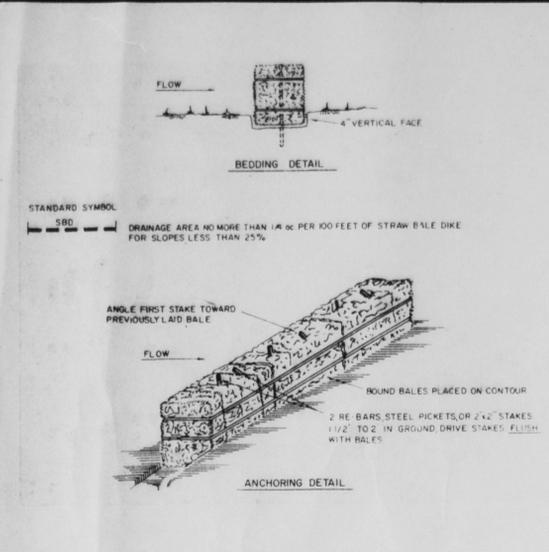
GERALD ZIMMERMAN P.L.S. L.C. NO. 49410

VERSION	REVISION DATE & COMMENT
1	JUNE 7, 1993
2	OCT. 31, 1994 / HEALTH DEPT REVISIONS
3	JUNE 19, 1997 / INDICATE PHASE III

SHEET NO. 13 OF 16
 SCALE: 1" = 100'
 DATE: SEPTEMBER 30, 1992
 JOB NO. 85-256 DRAWN BY: M.M.M.

**EROSION CONTROL PLAN FOR
 PHASE III OF SUBDIVISION FOR
 BLOOMING GROVE OPERATING CO.
 TOWN OF NEW WINDSOR
 ORANGE COUNTY NEW YORK**

**ZIMMERMAN ENGINEERING & SURVEYING, P.C.
 ROUTE 17M
 HARRIMAN, NEW YORK 10926** PHONE: (914) 782-7976



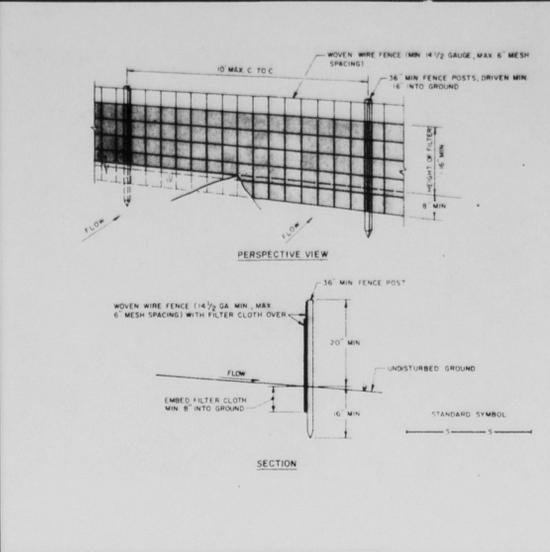
CONSTRUCTION SPECIFICATIONS

- Bales shall be placed at the toe of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
- Each bale shall be embedded in the soil a minimum of (4) inches, and placed so the bindings are horizontal.
- Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the bale.
- Inspection shall be frequent and repair replacement shall be made promptly as needed.
- Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

STRAW BALE DIKE

STANDARD DRAWING
SFB-1



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

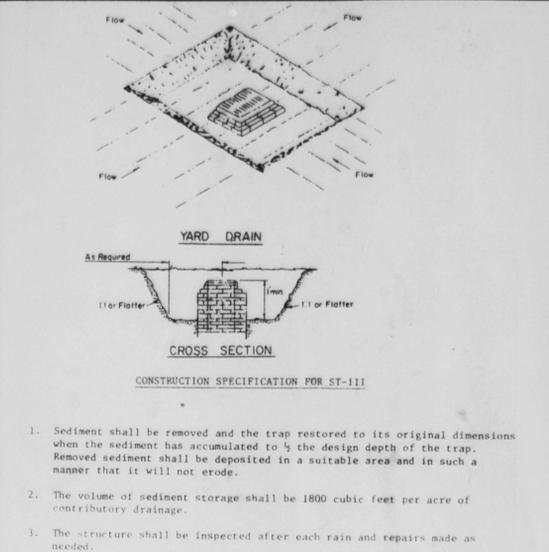
- Woven wire fence to be fastened securely to fence posts with wire ties or staples.
- Filter cloth to be fastened securely to woven wire fence with ties spaced every 24" at top and mid section.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, TRAP L, STABILINKA 1200N OR APPROVED EQUAL
PREFABRICATED UNIT: GEOPAB, ENVROFENCE, OR APPROVED EQUAL.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

SILT FENCE

STANDARD DRAWING
SF-1



CONSTRUCTION SPECIFICATION FOR ST-111

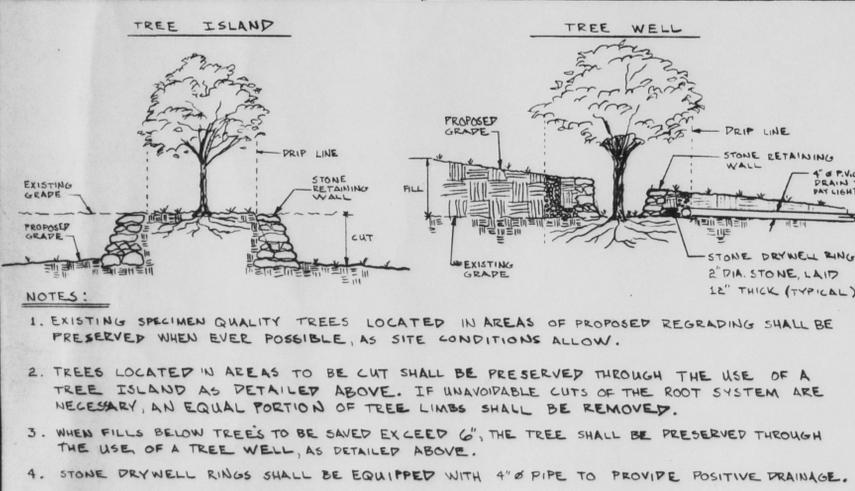
- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 5/8 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The volume of sediment storage shall be 1800 cubic feet per acre of contributory drainage.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.

Maximum Drainage Area: 3 Acres

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

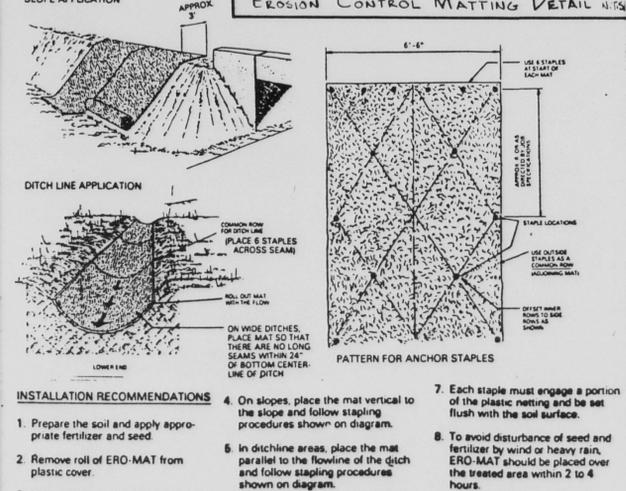
STORM INLET
SEDIMENT TRAP

STANDARD DRAWING
ST-111



TREE PRESERVATION DETAILS N.T.S.

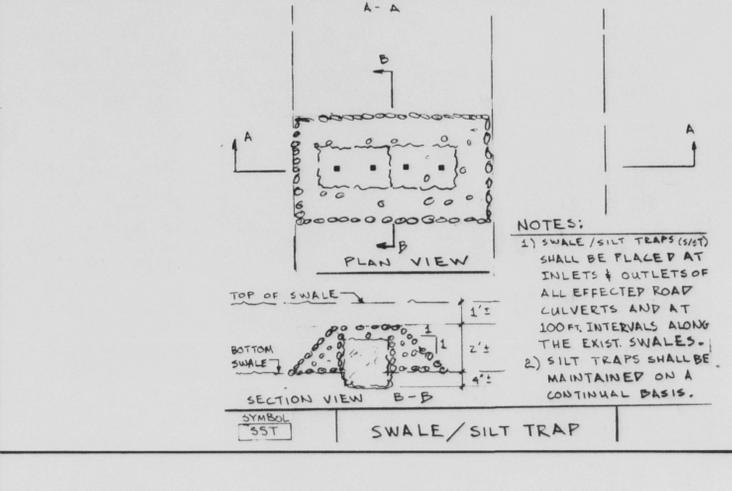
- EXISTING SPECIMEN QUALITY TREES LOCATED IN AREAS OF PROPOSED REGRADING SHALL BE PRESERVED WHEN EVER POSSIBLE, AS SITE CONDITIONS ALLOW.
- TREES LOCATED IN AREAS TO BE CUT SHALL BE PRESERVED THROUGH THE USE OF A TREE ISLAND AS DETAILED ABOVE. IF UNAVOIDABLE CUTS OF THE ROOT SYSTEM ARE NECESSARY, AN EQUAL PORTION OF TREE LIMBS SHALL BE REMOVED.
- WHEN FILLS BELOW TREES TO BE SAVED EXCEED 6", THE TREE SHALL BE PRESERVED THROUGH THE USE OF A TREE WELL, AS DETAILED ABOVE.
- STONE DRYWELL RINGS SHALL BE EQUIPPED WITH 4" PIPE TO PROVIDE POSITIVE DRAINAGE.



EROSION CONTROL MATTING DETAIL NOTES

INSTALLATION RECOMMENDATIONS

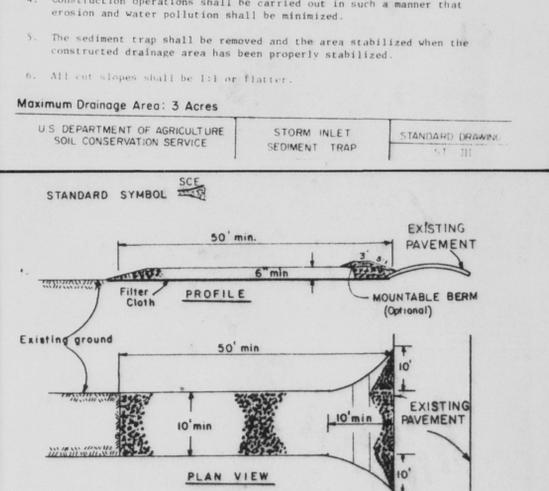
- Prepare the soil and apply appropriate fertilizer and seed.
- Remove roll of ERO-MAT from plastic cover.
- Unroll the mat with netting on top and straw fibers in contact with the soil.
- On slopes, place the mat vertical to the slope and follow stapling procedures shown on diagram.
- In ditchline areas, place the mat parallel to the flowline of the ditch and follow stapling procedures shown on diagram.
- Ends and sides of adjoining mats must be butted snugly together before stapling.
- Each staple must engage a portion of the plastic netting and be set flush with the soil surface.
- To avoid disturbance of seed and fertilizer by wind or heavy rain, ERO-MAT should be placed over the treated area within 2 to 4 hours.
- Where difficult soil or grade conditions exist, a closer spacing of staples may be required.



SWALE/SILT TRAP

NOTES:

- SWALE/SILT TRAPS (S/S) SHALL BE PLACED AT INLETS & OUTLETS OF ALL EFFECTED ROAD CULVERTS AND AT 100 FT. INTERVALS ALONG THE EXIST SWALES.
- SILT TRAPS SHALL BE MAINTAINED ON A CONTINUAL BASIS.



CONSTRUCTION SPECIFICATIONS

- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - Not less than six (6) inches.
- Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

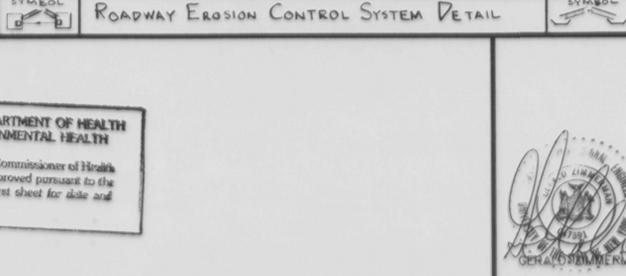
STABILIZED CONSTRUCTION
ENTRANCE

Standard
Drawing
SCE-1



STONE RETAINING WALL DETAIL N.T.S.

- STONE USED FOR RETAINING WALLS SHALL BE CLEAN, HARD AND DURABLE.
- ALL EXPOSED RETAINING WALL FACES SHALL BE PLACED AND PACKED TO ENSURE PROPER ALIGNMENT AND A NEAT, COMPACT, SQUARE APPEARANCE.



ROADWAY EROSION CONTROL SYSTEM DETAIL

THIS SHEET 14 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS SHEET SET.

REVISIONS:

- ▲ JUNE 7, 1993
- ▲ OCT 31, 1994 / HEALTH DEPT REVISIONS
- ▲ AUG 1, 1995
- ▲ AUG 22, 1995
- ▲ JUNE 19, 1997 / INDICATE PHASE III

SUB DIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON APR 27 1998
BY EDWARD STERN
SECRETARY

SHEET NO. 14 OF 16

SCALE: AS NOTED

DATE: SEPTEMBER 30, 1992

JOB NO. 85-256 DRAWN BY: M.M.M.

EROSION CONTROL DETAIL SHEET
PHASE III OF SUBDIVISION FOR
BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926
PHONE: (914) 782-7976

TOWN APPROVAL BOX

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

GERARD ZIMMERMAN P.E. Lic. No. 47391

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 3-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-9"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
9-30"	SILT LOAM W/ CLAY	GRANULAR	NONE	LT BROWN	SLIGHTLY MOIST
30-7'	SANDY SILT LOAM W/ GRAVEL COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST

NOTES: NO GROUNDWATER SEEPAGE ENCOUNTERED
NO BEDROCK ENCOUNTERED
DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 7-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-1'	TOPSOIL	GRANULAR	FINE	NONE	DK BROWN VERY MOIST
1-3'	CLAY LOAM WITH GRAVEL	MASSIVE	COMMON	BROWN	VERY MOIST
3-8'	SANDY LOAM WITH GRAVEL & SHALE FRAG.	LOOSE GRANULAR	NONE	BROWN	WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
MUCH MOSS COVER ON THE GROUND W/ RIVULETS
HEAVY GW FLOW FROM 3' DOWN
NO BEDROCK

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 14-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-8"	TOPSOIL	GRANULAR	FINE	NONE	DK BROWN SLIGHTLY MOIST
8-3'	SILT LOAM	GRANULAR	FINE	BROWN WITH RUST AND GRAY	SLIGHTLY MOIST W/ WET SPOTS
3-7'	SILT LOAM WITH GRAVEL AND COBBLES	BLOCKY	COMMON	BROWN WITH RUST AND GRAY	SLIGHTLY MOIST W/ WET SPOTS

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AT 6" LIGHT GROUNDWATER SEEPAGE ENCOUNTERED
AT 6" NIGHT GROUNDWATER SEEPAGE ENCOUNTERED

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 21-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-9"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
9-3'	SILT LOAM WITH GRAVEL	GRANULAR	FEW	BROWN	SLIGHTLY MOIST
3-4'	CLAY LOAM WITH GRAVEL	BLOCKY	COMMON	LT BROWN WITH RUST AND GRAY	VERY MOIST
4-8'	CLAY/SILT LOAM WITH GRAVEL	GRANULAR	NONE	BROWN	MOIST TO WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AT 6" MEDIUM GROUNDWATER SEEPAGE ENCOUNTERED

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-12-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 30-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-2"	TOPSOIL WITH GRAVEL	GRANULAR		DK BROWN	MOIST
2-7'	CLAY LOAM WITH GRAVEL	GRANULAR	COMMON	BROWN WITH RUST	MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AT 6" GROUNDWATER SEEPAGE ENCOUNTERED
TEST HOLE IN EMBANKMENT ON SIDE OF RD: 1" DEEP X 1' WIDE DRAINAGE FLOW ACROSS FIELD.

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-12-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 2-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-14"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
14-30"	GRAVELLY SILT LOAM	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
30-4'	GRAVELLY SILT LOAM	GRANULAR	NONE	LT BROWN	SLIGHTLY MOIST
4-8'	GRAVELLY LOAM WITH SILT	GRANULAR	NONE	BROWN	MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO GROUNDWATER SEEPAGE ENCOUNTERED
NO BEDROCK ENCOUNTERED
SIMILAR TO LOT #3

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 10-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-10"	TOPSOIL	FINE GRANULAR	NONE	DK BROWN	VERY MOIST
10-2'	GRAVELLY SILT LOAM	GRANULAR	COMMON	BROWN YELLOW GRAY	VERY MOIST
2-8'	SANDY SILT LOAM W/ GRAVEL	GRANULAR	NONE	BROWN	MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AT 6" POCKETS OF LIGHT GW SEEPAGE

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 17-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-16"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
16-24"	SILT LOAM WITH GRAVEL AND BOULDERS	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
24-36"	SILT LOAM WITH GRAVEL	GRANULAR	COMMON	GRAY WITH RUST	SLIGHTLY MOIST
36-7'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 24-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-8"	TOPSOIL	GRANULAR	NONE	DK BROWN	SLIGHTLY MOIST
8-8'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	VERY MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AT 7' GROUNDWATER SEEPAGE ENCOUNTERED

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 33-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-11"	TOPSOIL WITH BOULDERS	GRANULAR	NONE	DK BROWN	MOIST
11-30"	CLAY LOAM WITH GRAVEL	GRANULAR	COMMON	BROWN	VERY MOIST TO WET
30-6'	SANDY LOAM WITH GRAVEL	GRANULAR	FINE	COMMON	BROWN WITH RUST AND GRAY VERY MOIST TO WET
6-9'	CLAY LOAM	GRANULAR	FINE	COMMON	BROWN WITH RUST AND GRAY VERY MOIST TO WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
HEAVY GROUNDWATER SEEPAGE ENCOUNTERED 11" TO 9"

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-12-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 5-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-1'	TOPSOIL	GRANULAR	FINE	NONE	DK BROWN VERY MOIST
1-4'	GRAVELLY CLAY LOAM WITH SILT	GRANULAR	FAINT MANY	BROWN WITH LIGHT RUST	WET
4-7'	GRAVELLY LOAM WITH CLAY	LOOSE GRANULAR	FAINT MANY	BROWN LIGHT RUST	WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
AFTER 15 MINUTES OF GROUNDWATER AT BOTTOM OF HOLE

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 11-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-12"	TOPSOIL	GRANULAR	FINE	NONE	DK BROWN VERY MOIST
12-30"	CLAY LOAM WITH GRAVEL	MASSIVE	COMMON	RUST AND GRAY	WET
30-7.5'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	COMMON	RUST AND GRAY	WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
GROUND WATER SEEPAGE 1" THRU 7.5' SPOTS THRU-OUT

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-11-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 20-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-14"	TOPSOIL	GRANULAR	FEW	DK BROWN	MOIST
14-3'	CLAY LOAM WITH GRAVEL AND SAND	GRANULAR	COMMON		VERY MOIST
3-7'	SILT LOAM W/ SAND, GRAV. AND COBBLES	GRANULAR	NONE	GREEN-BROWN	MOIST
7-8'	SANDY CLAY LOAM WITH GRAVEL AND COBBLES	GRANULAR	COMMON	BROWN	WET

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
GROUND WATER SEEPAGE ENCOUNTERED AT 2' - 3' AND AT 6' - 8'

GERALD ZIMMERMAN P.E. L.S.
JOB No. 185-256
TEST DATE: 5-12-94
TESTED BY: PPM

B.G.O.C. 11
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

SOIL TEST PIT LOG
SOIL TEST PIT No.: 28-C

DEPTH	SOIL DESCRIPTION	STRUCTURE	MOTTLING	COLOR	MOISTURE
0-7"	TOPSOIL	GRANULAR	NONE	DK BROWN	MOIST
7-3'	SILT LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST
3-4'	CLAY LOAM	BLOCKY	NONE	BROWN	SLIGHTLY MOIST
4-7'	SILT/LOAM WITH GRAVEL AND COBBLES	GRANULAR	NONE	BROWN	SLIGHTLY MOIST

NOTES: DEEP HOLE TEST WITNESSED BY ORANGE COUNTY HEALTH DEPARTMENT
NO BEDROCK ENCOUNTERED
NO GROUND WATER SEEPAGE ENCOUNTERED

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH
By Creation of the State Commissioner of Health
these plans are hereby approved pursuant to the
Public Health Law. See first sheet for date and
signature.

THIS SHEET 15 OF 16 IS INVALID/INCOMPLETE
WITHOUT THE REMAINING 15 SHEETS OF THIS
1/6 SHEET SET.

TOWN APPROVAL BOX - FILE NO. 97-41

GERALD ZIMMERMAN P.E. L.S.
P.L.S. LIC. NO. 49410

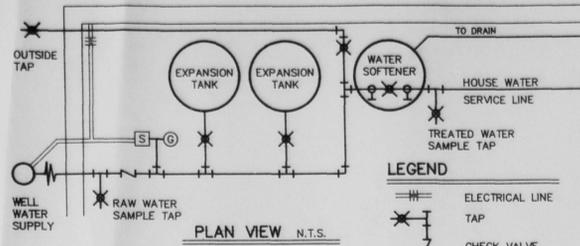
REVISIONS:
1. JUNE 12, 1997 INDICATE PHASE III

SUB DIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON APR 27 1998
BY EDWARD STENT
SECRETARY

SHEET NO. 15 OF 16
SCALE: 1" = 50'
DATE: OCTOBER 31, 1994
JOB NO. 85-256 DRAWN BY: J.F.

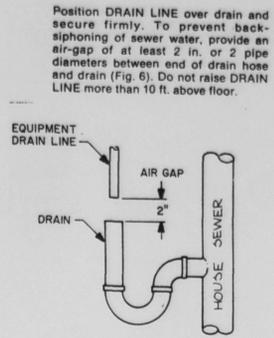
SOIL TEST INFORMATION
FOR SUBDIVISION FOR
BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

ZIMMERMAN ENGINEERING & SURVEYING, P.C.
ROUTE 17M
HARRIMAN, NEW YORK 10926 PHONE: (914) 782-7976

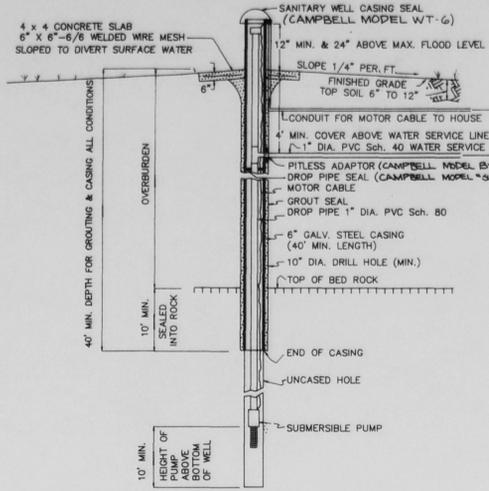


WATER SUPPLY TREATMENT SYSTEM SCHEMATIC

- ONCE THE NEW WELL ON EACH LOT HAS BEEN DRILLED, DISINFECTED AND SUFFICIENTLY FLUSHED, A WATER SAMPLE SHALL BE TAKEN FOR LABORATORY ANALYSIS. ALL PARAMETERS SHALL PASS N.Y.S.D.O.H. DRINKING WATER STANDARDS. IF THE WATER ANALYSIS INDICATES A HIGH LEVEL OF HARDNESS (>150 mg/l) AND THE HOME OWNER SO CHOOSES, A WATER SOFTENER MAY BE INSTALLED AS INDICATED ABOVE.
- ⑤ PRESSURE SWITCH TO OPERATE THE WELL PUMP (SET AT 30 TO 50 PSI).
- ⑥ PRESSURE GAUGE, 0 TO 100 PSI, 2 1/2" DIAL SIZE.
- EXPANSION TANKS - SMITH AQUA-AIR TANK MODEL # W-260, 26.2 GAL. DRAWDOWN/TANK.
- WATER SOFTENER - MAC CLEAN MODEL # ARC-1000.
- ALL SPECIFIED COMPONENTS MAY BE SUBSTITUTED WITH APPROVED EQUALS, AS REVIEWED AND APPROVED BY THE DESIGN ENGINEER.

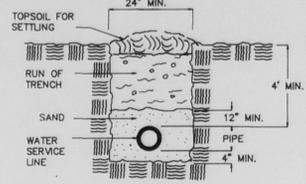


Position DRAIN LINE over drain and secure firmly. To prevent back-siphoning of sewer water, provide an air-gap of at least 2 in. or 2 pipe diameters between end of drain hose and drain (Fig. 6). Do not raise DRAIN LINE more than 10 ft. above floor.



WELL DETAIL-TYPICAL

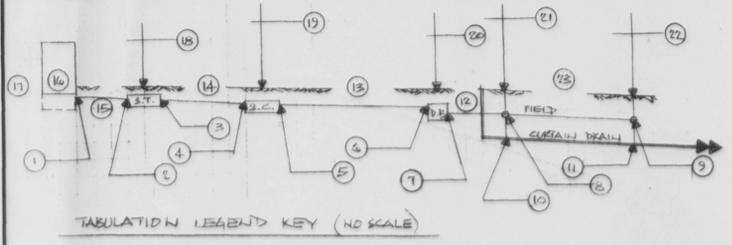
- WELL NOTES**
- PUMP SETTING TO BE ESTABLISHED IN FIELD. MIN. YIELD TO BE 5 G.P.M. (STABILIZED RATE).
 - GROUTING AROUND PIPE CASING SHALL EXTEND AT LEAST 40' BELOW GRADE AND SHALL BE NEAT CEMENT GROUT. GROUT SHALL BE PLACED UPWARD FROM THE BOTTOM AS ONE CONTINUOUS MASS. MIX: 1 BAG CEMENT (94 lb.) & 5 TO 6 GAL. WATER.
 - STEEL CASING, 6" DIA. (IN ACCORDANCE WITH A.W.W.A. STANDARD A100-MOST CURRENT EDITION) DRILL HOLE 10" DIA. THE MINIMUM CASING DEPTH SHALL BE THROUGH THE OVERBURDEN AND AT LEAST 10' INTO BED ROCK. CASING SHALL BE GROUTED INTO FIRM BEDROCK. UNDER NO CONDITION SHOULD CASING AND GROUTING EXTEND LESS THAN 40' DEEP.
 - USE OF TEMPORARY OUTSIDE CASING MAY BE NECESSARY TO PERMIT GROUTING WHERE CAVING IN IS ENCOUNTERED.



WATER LINE TRENCH DETAIL

SEPTIC SYSTEM INVERT TABULATION FOR LOTS WITH CURTAN DRAINS

	LOT 21	LOT 29	LOT 30	LOT 31	LOT 32	LOT 33	LOT 34
1	487.05	486.00	484.70	461.34	463.57	464.38	465.88
2	486.81	485.55	463.50	460.74	462.77	463.58	465.58
3	486.56	485.30	463.25	460.49	462.52	463.33	465.33
4	486.46	485.20	456.92	460.39	462.42	462.92	464.04
5	484.37	483.11	454.83	458.00	460.00	460.50	461.62
6	484.27	484.77	448.70	457.77	459.77	457.92	461.27
7	484.10	482.60	448.60	457.60	459.60	457.75	461.10
8	484.00	482.50	448.50	457.50	459.50	461.00	461.00
9	478.50	472.50	443.50	446.50	454.50	455.00	457.50
10	480.50	479.00	445.00	454.00	456.00	457.00	457.50
11	475.00	469.00	440.00	443.00	451.00	451.50	454.00
12	10'@1.0%	10'@1.0%	10'@1.0%	10'@1.0%	10'@1.0%	25'@1.0%	10'@1.0%
13	10'@1.0%	35'@1.0%	30'@2.0%	10'@2.0%	20'@1.0%	25'@1.0%	35'@1.0%
14	5'@1.0%	10'@1.0%	50'@1.2%	2'@2.0%	5'@2.0%	5'@2.2%	5'@2.5%
15	12'@2.0%	20'@2.0%	60'@2.0%	30'@2.0%	40'@2.0%	40'@2.0%	15'@2.0%
16	L.S.E. 487.50	L.S.E. 486.00	L.S.E. 484.70	L.S.E. 462.00	L.S.E. 464.00	L.S.E. 465.00	L.S.E. 466.00
17	SLAB= 490.00	SLAB= 484.00	SLAB= 491.00	SLAB= 480.00	SLAB= 480.00	SLAB= 474.00	SLAB= 463.00
18	488.54	486.97	465.00	462.16	464.27	465.00	467.00
19	488.54	487.62	459.00	462.47	464.50	465.00	466.12
20	486.85	485.35	451.35	460.35	462.35	460.50	463.85
21	485.50	484.00	450.00	459.00	461.00	462.50	462.50
22	480.00	474.00	445.00	448.12	456.00	456.50	459.00
23	S=13.1%	S=14.3%	S=12.5%	S=14.7%	S=8.3%	S=10.0%	S=9.73%



THIS SHEET 16 OF 16 IS INVALID/INCOMPLETE WITHOUT THE REMAINING 15 SHEETS OF THIS 16 SHEET SET.

PHASE III

TOWN APPROVAL BOX- FILE NO. 97-41

ORANGE COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH

By direction of the State Commissioner of Health these plans are hereby approved pursuant to the Public Health Law. See first sheet for date and signature.

GERALD ZIMMERMAN P.E. LIC. NO. 47391
P.L.S. LIC. NO. 49410

REVISIONS:
Δ JUNE 19, 1997/ INDICATE PHASE III

SUB DIVISION APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON APR 27 1998
BY Edward Stent
EDWARD STENT
SECRETARY

SHEET NO. 16 OF 16
SCALE: AS NOTED
DATE: OCTOBER 31, 1994
JOB NO. 85-256
DRAWN BY: J.F.

DETAIL SHEET
SUBDIVISION FOR
BLOOMING GROVE OPERATING CO.
TOWN OF NEW WINDSOR
ORANGE COUNTY, NEW YORK

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